

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **KUSUM BAHL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 28, Plan M-41 municipally known as **72 ARTHURS CRESCENT**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an as-built above grade side door having an interior side yard setback of 0.94m (3.08 ft.) whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) from an interior side yard to an above grade door;
2. To permit a 0.94m (3.08 ft.) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard with of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit;
3. To permit a driveway width of 6.81m (22.34 ft) whereas the by-law permits a maximum driveway width of 5.56m (18.24 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, April 18, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

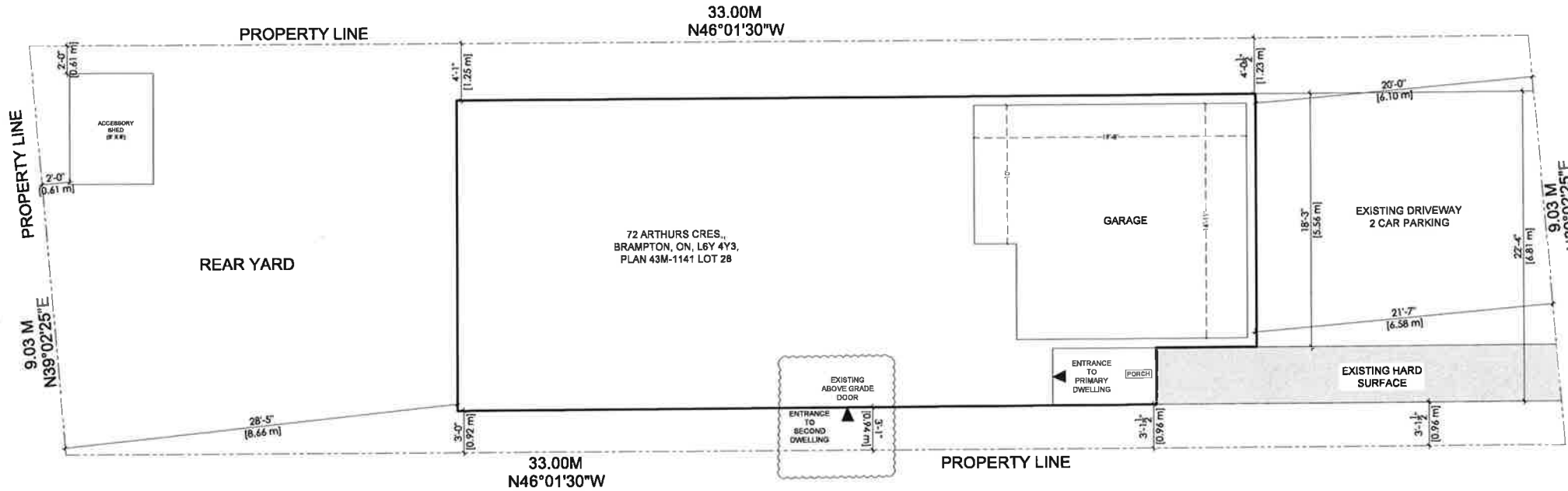
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



SITE PLAN  
SC: 1/8" - 1'-0"

General Notes

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
- DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION NO.	DATE	DESCRIPTION	BY

Firm Name and Address  
**MEM ENGINEERING INC**  
 2355 DERRY ROAD EAST  
 MISSISSAUGA, ON, L5S 1V6  
 905-517-8755  
 Email: harry@memengineering.ca

PROJECT TITLE:

72 Arthurs Cres.,  
Brampton, ON

SHEET TITLE:

SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: 1/8" - 1'-0"	DRAWING NO.:
PLT DATE: 14-03-2023	<b>A100</b>
DRAWN BY: SB	
CHECKED BY: HS	

**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, April 13, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, April 13, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

2023-03-14

COVER LETTER

A-2023-0079

To  
The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

Subject: Minor Variance application for 72 Arthurs Cr., Brampton, ON L6Y 4Y3

Sir/ Madam,

We hope this letter finds you well. Please accept our minor variance application for our client at 72 Arthurs Cr, Brampton, ON. L6Y 4Y3

We have proposal for an as built above grade side door in interior side yard with setback of 0.94 m from lot line and a driveway width of 6.81 m

Therefore, we request you to kindly consider our application for minor variance.

We appreciate your cooperation in this matter.

Thank You



Harjinder Singh

*P Eng. PMP, CET, RCJI*



*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** KUSUM BAHL  
**Address** 72 ARTHURS CRES., BRAMPTON L6Y 4Y3  
  
**Phone #** 647-291-6860 **Fax #** \_\_\_\_\_  
**Email** mr.vishal.bahl@gmail.com

2. **Name of Agent** HARJINDER SINGH / MEM ENGINEERING INC  
**Address** UNIT -28, 2355 DERRY ROAD EAST, MISSISSAUGA L5S1V6  
  
**Phone #** 905-517-6755 **Fax #** \_\_\_\_\_  
**Email** MEM.PENG@OUTLOOK.COM

3. **Nature and extent of relief applied for (variances requested):**

TO PERMIT AN AS - BUILT ABOVE GRADE SIDE WITH SETBACK OF 0.94M FROM LOT LINE

TO PERMIT A PASSAGE OF 0.94M TO BE USED TO ACCESS THE ENTRANCE TO SECOND UNIT DWELLING

TO PERMIT A DRIVEWAY WIDTH OF 6.81 M

4. **Why is it not possible to comply with the provisions of the by-law?**

BY LAW REQUIRES A MINIMUM OF 1.2 M TO ALLOW A SIDE DOOR AND TO USE SIDE YARD TO ACCESS SECOND UNIT DWELLING.

THE MAXIMUM DRIVEWAY WIDTH PERMITTED IS 5.56 M

5. **Legal Description of the subject land:**  
**Lot Number** 28  
**Plan Number/Concession Number** M1141  
**Municipal Address** 72 ARTHURS CRES., BRAMPTON L6Y 4Y3

6. **Dimension of subject land (in metric units)**  
**Frontage** 9.03 M  
**Depth** 33.0 M  
**Area** 296.80 SQ.M.

7. **Access to the subject land is by:**

Provincial Highway <input type="checkbox"/> Municipal Road Maintained All Year <input checked="" type="checkbox"/> Private Right-of-Way <input type="checkbox"/>	Seasonal Road <input type="checkbox"/> Other Public Road <input type="checkbox"/> Water <input type="checkbox"/>
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8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY BRICK DWELLING  
SINGLE FAMILY DWELLING  
GFA - 171.35 SQ.M.  
HEIGHT OF PROPERTY - 9.0M, WIDTH - 6.83 M, LENGTH- 17.59 M.  
EXISTING ACCESSORY SHED ( 2.44m X 1.83m)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

TWO UNIT DWELLING  
AN AS-BUILT SIDE DOOR WITH SETBACK OF 0.94 M  
DRIVEWAY WIDTH OF 6.81 M

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.10 M  
Rear yard setback 8.66 M  
Side yard setback 0.92 M  
Side yard setback 1.23 M

PROPOSED

Front yard setback 6.10 M  
Rear yard setback 8.66 M  
Side yard setback 0.92 M  
Side yard setback 1.23 M

10. Date of Acquisition of subject land: 2010

11. Existing uses of subject property: SINGLE FAMILY DWELLING

12. Proposed uses of subject property: TWO UNIT DWELLING

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 2005

15. Length of time the existing uses of the subject property have been continued: 18 YEARS

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well

(b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic

(c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_  
File # \_\_\_\_\_ Decision \_\_\_\_\_ Relief \_\_\_\_\_

*Harjinder Singh*

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY \_\_\_\_\_ OF BRAMPTON \_\_\_\_\_

THIS 14 DAY OF MARCH, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, HARJINDER SINGH, OF THE CITY VAUGHAN OF VAUGHAN

IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Feb THIS 20<sup>th</sup> DAY OF

March, 2023

Jeanie Myers  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

*Harjinder Singh*

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: R1D - 3372, MATURE

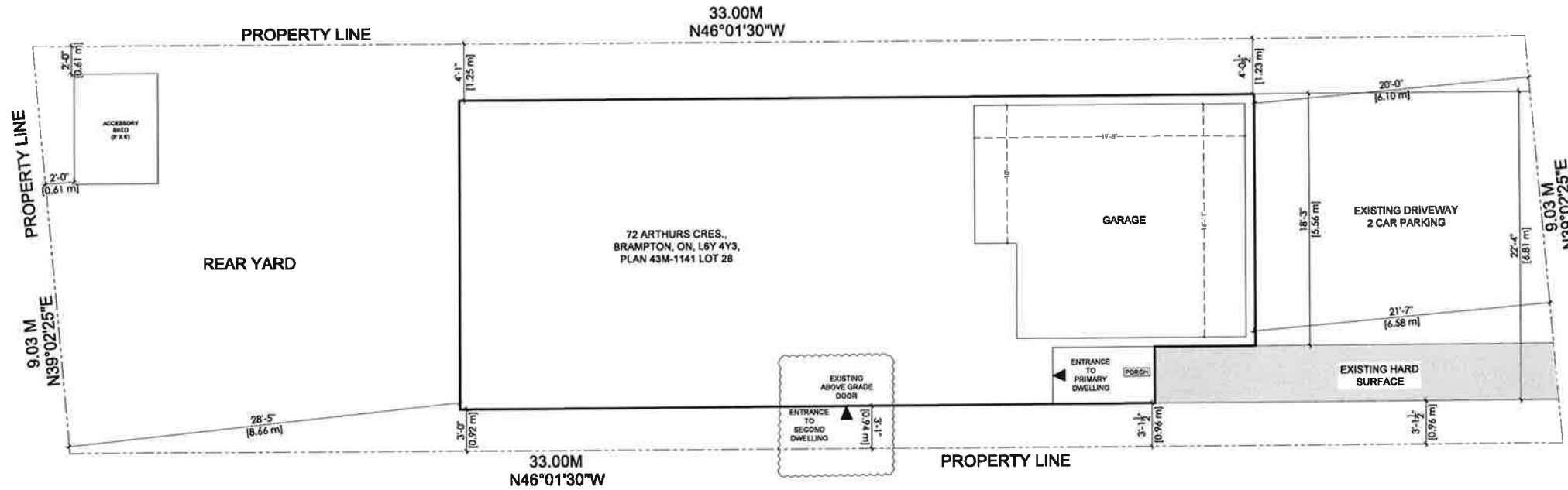
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.  
Zoning Officer

MARCH 17 2023  
Date

DATE RECEIVED March 20, 2023

Date Application Deemed Complete by the Municipality \_\_\_\_\_



**SITE PLAN**  
 SC: 1/8" - 1'-0"

**General Notes**

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**LEGENDS:-**

REVISION NO	DATE	DESCRIPTION	BY

Firm Name and Address  
**MEM ENGINEERING INC**  
 2365 DERRY ROAD EAST  
 MISSISSAUGA, ON, L5S 1V8  
 905-517-8755  
 Email: hary@memengineering.ca

PROJECT TITLE:  
**72 Arthurs Cres.,  
 Brampton, ON**

SHEET TITLE:  
**SITE PLAN**

CLIENT EMAIL:  
 CLIENT CONTACT:

SCALE: 1/8" = 1'-0"  
 PLOT DATE: 14-03-2023  
 DRAWN BY: SB  
 CHECKED BY: HS

DRAWING NO.:  
**A100**

**ARTHURS CRES**



**DOCUMENTS RELEASED PURSUANT TO A REQUEST  
UNDER THE  
MUNICIPAL FREEDOM OF INFORMATION AND  
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE  
USE AND REPRODUCTION OF THESE DOCUMENTS**

**SURVEYOR'S REAL PROPERTY REPORT  
PART I - PLAN OF  
LOTS 24 TO 32 BOTH INCLUSIVE  
REGISTERED PLAN 43M-1141  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL**

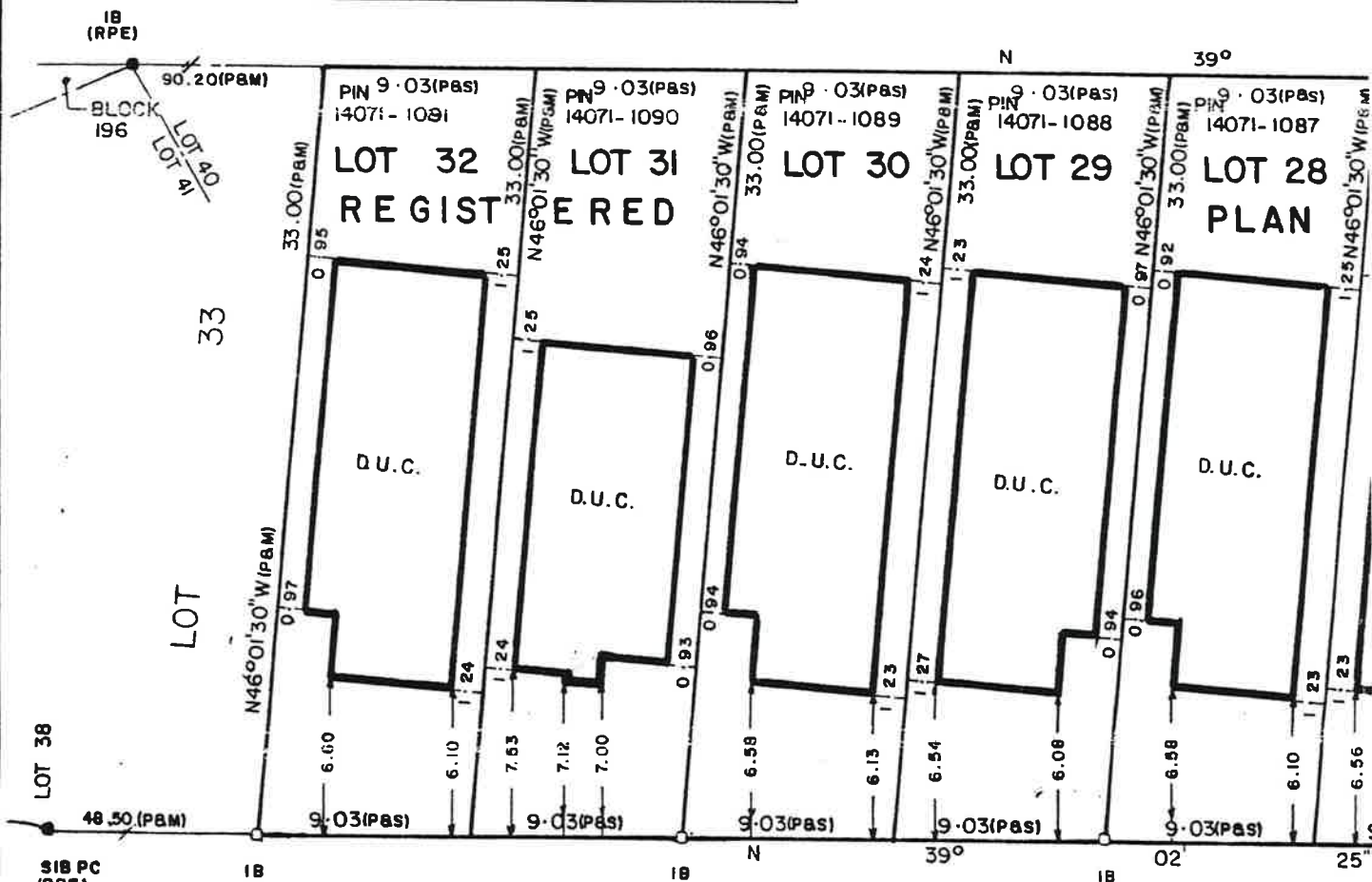


SCALE 1 : 300  
ANTON KIKAS LIMITED  
ONTARIO LAND SURVEYORS, 1996

METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

THIS REPORT WAS PREPARED FOR DOUBLETREE HOMES AND THE  
UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

BLOCK



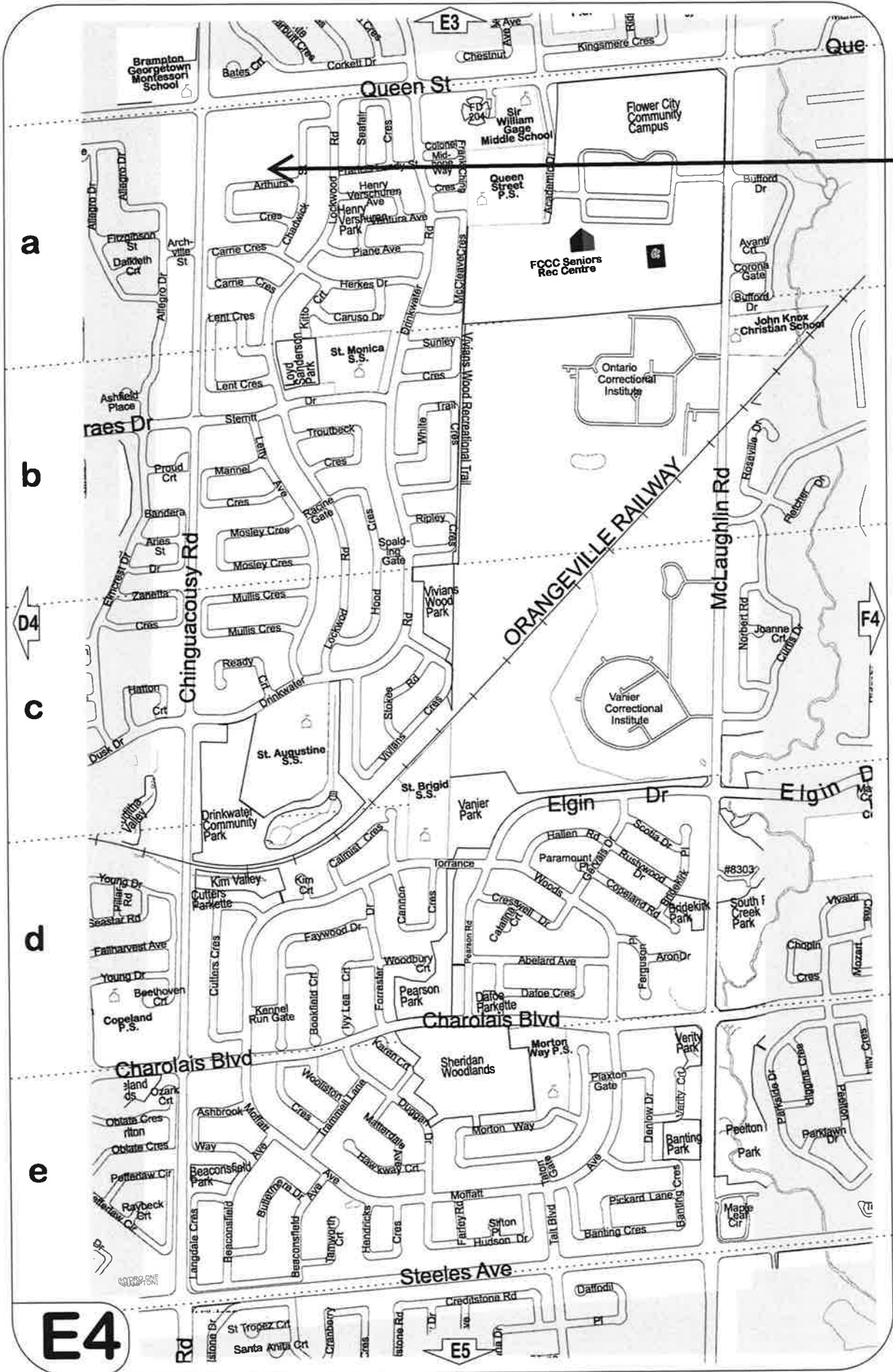
**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS  
COMPLETED ON THE 18th DAY OF Oct., 1996

Oct. 25, 1996  
DATE

A. Kikas  
ANTON KIKAS  
ONTARIO LAND SURVEYOR

**ARTHURS** **CRESC**  
(DEDICATED BY REGISTERED PLAN 43M-1141)



a

b

c

d

e

E4

E3

E5

Que

F4

D4

Brampton Georgetown Montessori School

Sir William Gage Middle School

Flower City Community Campus

FCC Seniors Rec Centre

John Knox Christian School

Ontario Correctional Institute

Varier Correctional Institute

St. Monica S.S.

St. Augustine S.S.

St. Brigid S.S.

Charolais Blvd

Sheridan Woodlands

Steeles Ave

raes Dr

Charolais Blvd

ORANGEVILLE RAILWAY

McLaughlin Rd

Elgin Dr

Elgin Dr

Beaconsfield Park

South Creek Park

Peelton Park

Beaconsfield Park

St. Tropez Ct

Santa Anita Ct

Crabtree

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