

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **DANTE LIMBAGA AND FRANCIS LIMBAGA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 529, Plan 889 municipally known as **96 RUTHERFORD ROAD NORTH**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard setback of 7.49m (24.57 ft.) whereas the by-law requires a minimum rear yard setback of 8.48m (27.82 ft.);
2. To permit a driveway width of 7.74m (25.39 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.).

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, April 18, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

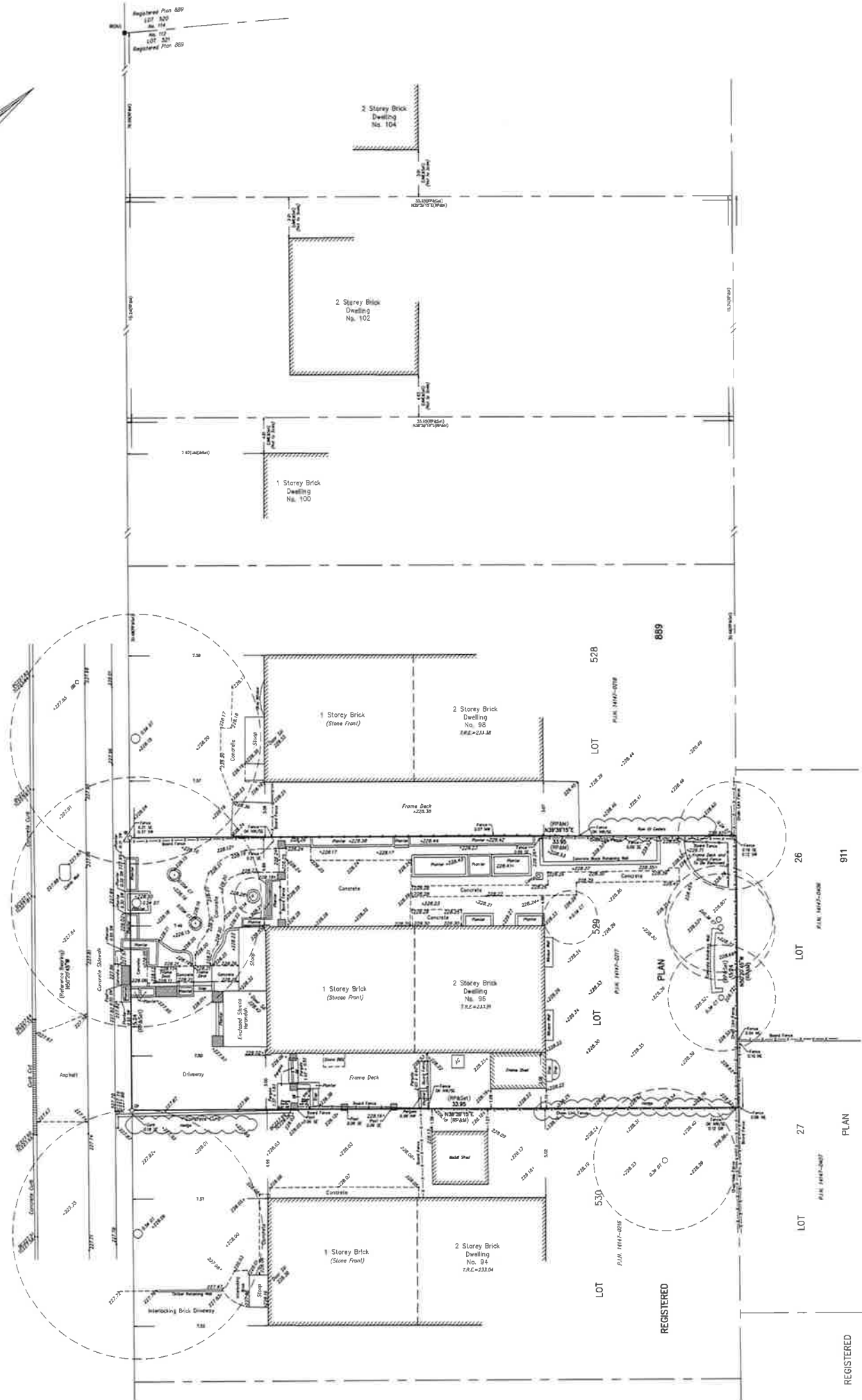
**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 5th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF SURVEY OF  
LOT 529  
REGISTERED PLAN 889  
CITY OF BRAMPTON  
Regional Municipality of Peel  
SCALE: 1 : 100  
GTA SURVEYING INC.  
© COPYRIGHT 2022



METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.  
SURVEYOR'S CERTIFICATE  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE  
REGULATIONS MADE UNDER THEM.  
2. THIS SURVEY WAS COMPLETED ON THE 17th DAY OF  
JUNE, 2022.  
JUNE 20, 2022  
DATE  
JAMES WALCUM  
ON-BOARD LAND SURVEYOR

THIS PLAN WAS PREPARED FOR  
SACRE LUNDIA  
ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-27835  
THIS PLAN IS NOT VALID  
UNLESS IT IS AN EXEMPTION  
FROM THE SURVEY ACT  
(ISSUED BY THE SURVEYOR)  
Registration 1008, Section 26(2)

LEGEND  
SURVEY MONUMENT SET  
REGISTERED PLAN 889  
PLAN 51 (WEN, MURPHY  
& ESTER, O.L.S.)  
DATED NOVEMBER 27, 1970  
NORTH-SOUTHEAST, WEST  
MEASURED  
CONCRETE PIN  
IRON BAR  
ORIGIN UNKNOWN  
WINDING  
PROPERTY IDENTIFIER NUMBER  
AIR CONDITIONER  
BELL BOX

LEGEND Continued  
BOTTOM OF CURB  
TOP OF CURB  
CONTIGUOUS TREE  
DECEASED TREE  
MANHOLE  
TOP OF ROOF ELEVATION  
ELEVATION NOTE  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE  
NAD83-CRCS COORDINATE SYSTEM DERIVED FROM THE  
GLOBAL POSITIONING SYSTEM OBSERVATIONS.  
BEARING NOTE  
BEARINGS ARE ASTROMETRIC AND ARE REFERRED TO THE  
NORTH-EAST LAMT OF RUTHERFORD ROAD NORTH,  
HAVING A BEARING OF 100°54'49\"/>

PART 2 - SURVEY REPORT  
1) PLEASE NOTE LOCATION OF RANGES, PLANNED POSTS,  
AND CONCRETE DUMPS  
2) REGISTERED ELEVATIONS AND/OR NORTH-OF-0-0-00, MORE  
3) THIS PLAN DOES NOT COMPLY COMPLIANCE WITH ZONING  
BY-LAW  
GTA  
Greater Toronto Area  
SURVEYING Inc.  
7000 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2  
Tel: (416) 679-0572  
E-MAIL: jwalcumsurveying.co  
Sheet 62 OF 62 PROJECT 22130

**Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **April 18, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, April 13, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, April 13, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, April 13, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, April 13, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER:

A-2023-0042

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s) Dante Limbaga, Francis Limbaga

Address 96 Rutherford North Brampton, ON L6V2J2

Phone # 905-301 0148

Fax #

Email danfran\_l@yahoo.com

2.

Name of Agent

Address

Phone #

Fax #

Email

3.

Nature and extent of relief applied for (variances requested):

To permit a rear yard setback of 7.49 metres whereas the by-law requires a minimum rear yard setback of 8.48 metres.

To permit a driveway width 7.74 m

4.

Why is it not possible to comply with the provisions of the by-law?

The property is within the Mature Neighbourhood must also comply with section 10.27 of the zoning by-law, and which is minimum Rear Yard Depth: equal to 25% of the depth of the lot or, the minimum rear yard depth required by the zone designation of the lot, whichever is greater. And here section 12.7 is greater.

5.

Legal Description of the subject land:

Lot Number 529

Plan Number/Concession Number RP-889

Municipal Address 96 RUTHERFORD RD N

6.

Dimension of subject land (in metric units)

Frontage 15.24

Depth 33.53

Area 511

7.

Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

One Single family dwelling unit and has gross area of 111.56m<sup>2</sup>

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Addition to the existing structure of 29.56m<sup>2</sup> gross area which equal to 3.28m depth x 8.9m width. The addition structure consists of one storey to match the existing main floor in order to obtain more bedrooms and space

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	4.9
Rear yard setback	16.4
Side yard setback	5.11
Side yard setback	2.92

**PROPOSED**

Front yard setback	4.9
Rear yard setback	7.5
Side yard setback	5.11
Side yard setback	1.22

10. Date of Acquisition of subject land: June 2013
11. Existing uses of subject property: One single family dwelling unit
12. Proposed uses of subject property: One single family dwelling unit and 2nd dwelling unit at the basement
13. Existing uses of abutting properties: Single family dwelling units
14. Date of construction of all buildings & structures on subject land: 1988
15. Length of time the existing uses of the subject property have been continued: 35 yrs

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE 23rd January OF 2023

THIS 23rd DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Dante Limbaga, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 7th DAY OF

February, 2023

Jeanie Myers  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

February 7, 2023

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17

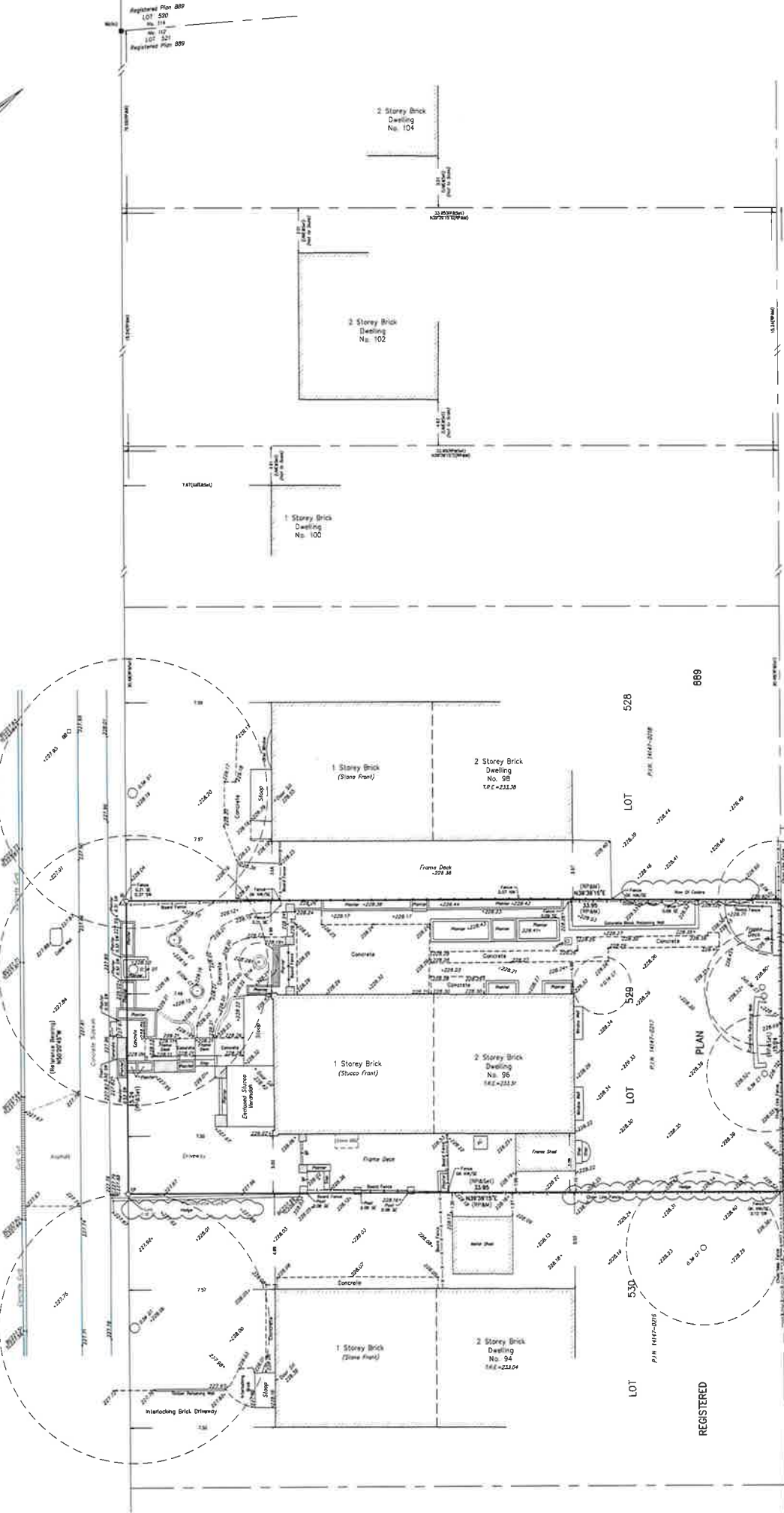
Project : 96 Rutherford North Brampton, ON L6V2J2

PROPOSED ADDITIONAL & ALTERATION TO  
EXISTING ONE STOREY DETACHED  
DWELLING UNIT  
BUILDING PERMIT



Rev.	Issue Date:	Description
0	03 / 31 / 2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
William Saito 111805 Name BCIN		
Registration information		
Required unless design exempt under section C- 3.2.4.1 of the Building Code		
WH Leaders Contracting Inc. 119 718 Firm Name BCIN		
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Cover Sheet		
Designed WS	Checked: WS	Date: 03/31/2022
Discipline Architectural	Sheet no A0.1	Scale: 1/8"=1'

SURVEYOR'S REAL PROPERTY REPORT - PART 1  
PLAN OF SURVEY OF  
LOT 529  
REGISTERED PLAN 889  
CITY OF BRAMPTON  
Regional Municipality of Peel  
SCALE 1:100  
GTA SURVEYING INC.  
© COPYRIGHT 2022



METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.  
SURVEYOR'S CERTIFICATE  
I CERTIFY THAT  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE  
REGULATIONS MADE UNDER THEM.  
2. THIS SURVEY WAS COMPLETED ON THE 17th DAY OF  
JUNE, 2022.  
DATE  
GUYAN MALCUM  
SURVEYOR

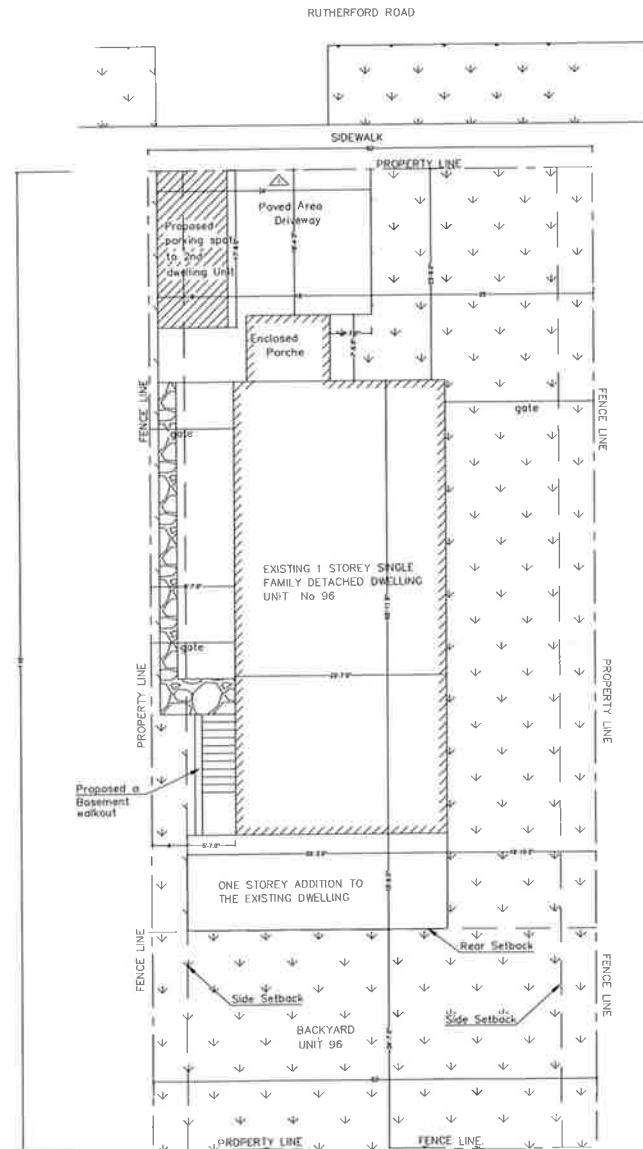


LEGEND  
SYMBOLS  
SURVEY MONUMENT SET  
SURVEY MONUMENT FOUND  
REGISTERED PLAN 889  
PLAN BY W.M. BARRY  
& LESTER, O.L.S.  
DATED NOVEMBER 27, 1970  
N.S.E.W. NORTH-SOUTH EAST-WEST  
MEASURED  
CONCRETE PIN  
IRON BAR  
ORIGIN UNKNOWN  
WITNESS  
PROPERTY IDENTIFIER NUMBER  
AC AIR CONDITIONER  
BS BELL BOX

LEGEND Continued  
SYMBOLS  
TOP OF CURB  
CONCRETE TREE  
DECIDUOUS TREE  
MARKER  
TOP OF ROOF ELEVATION  
ELEVATION NOTE  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE  
NAD83-CRS COORDINATE SYSTEM DERIVED FROM THE  
GLOBAL POSITIONING SYSTEM OBSERVATIONS  
BEARING NOTE  
BEARINGS ARE ASTROMONOMIC AND ARE REFERRED TO THE  
NORTH-EAST LIMIT OF RUTHERFORD ROAD NORTH,  
HAVING A BEARING OF N20°0'45\"/>

PART 2 - SURVEY REPORT  
1) PLEASE NOTE LOCATION OF TOWERS, PLANTERS, POSTS,  
AND CONCRETE CURB  
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY, NONE  
3) THIS PLAN DOES NOT CONSTITUTE COMPLIANCE WITH ZONING  
BY-LAWS  
GTA  
Greater Toronto Area  
SURVEYING Inc.  
7003 Steeles Ave. West, Unit 12, Toronto ON M3H 5A2  
Tel: (416) 578-0572  
E-MAIL: jmc@gtasurveying.ca  
DRAWN BY: CHECKED BY: PROJECT 22130





EXISTING RESIDENTIAL R1B	LOT NO. 529	PLAN NO. 889	LOT AREA 5,500.0sqft (511.0m2)	LOT FRONTAGE 50'-0" (15.24m)	LOT DEPTH 110'-0" (33.53m)		
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	% SETBACKS	PERMITTED	PROPOSED
LOT COVERAGE	1,325.04 sqft (123.20 m2)	318.2 sqft (29.56 m2)	1,644.04 sqft (152.76 m2)			FRONT YARD	16'-0" (5.0 m)
GROSS FLOOR AREA	1200.8 sqft (111.56 m2)	318.2 sqft (29.56 m2)	1,519.0 sqft (141.12 m2)			REAR YARD 25% OF THE LOT	1,230.3 sqft (114.3 m2)
LOWER FLOOR AREA	574.0 sqft (53.33 m2)	318.2 sqft (29.56 m2)	892.2 sqft (82.88 m2)				
MAIN FLOOR AREA	1200.8 sqft (111.56 m2)	318.2 sqft (29.56 m2)	1,519.0 sqft (141.12 m2)			INTERIOR SIDE (West)	8'-7" (2.63 m)
NO. OF STOREY HEIGHT	1 STOREY 13'-5" (4.1m)		1 STOREY 13'-5" (4.1m)			INTERIOR SIDE (East)	16'-10" (5.13 m)
WIDTH	23'-7" (7.2 m)	5'-9" (1.71 m)	29'-2" (8.90 m)				
DEPTH	50'-11" (15.52 m)	10'-8" (3.28 m)	61'-7" (18.78 m)				
LANDSCAPE AREA	726.35 sqft (67.5 m2)	-16.0 sqft (-1.5 m2)	638.35 sqft (58.56 m2)	60%	600.0 sqft (55.74 m2)		
LOT COVERAGE UPPER DWELLING			1,644.04 sqft (152.76 m2)				
LOT COVERAGE LOWER DWELLING			892.2 sqft (82.88 m2)				

### Legend

- Existing structure
- Additional structure
- Outside landscaping

Rev.	Issue Date	Description
0	03 / 31 / 2022	Issued for approval
1	04 / 15 / 2022	Issued for approval
2	01 / 22 / 2022	Issued for approval

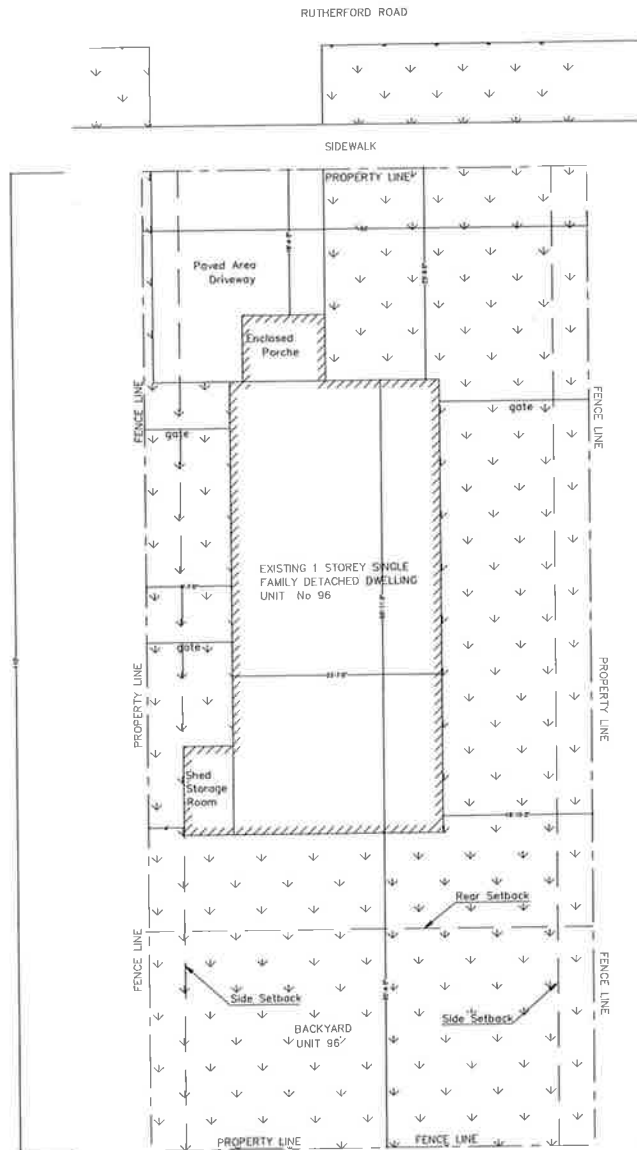
Owner Name & Address:  
Dante Limbaga, email: denfran\_l@yahoo.com  
96 Rutherford North Brampton, ON L6V2J2

Designer:  
The Undersigned has reviewed & takes responsibility for the design work on behalf of a firm registered under section 3.2.4 of Div C of building code.  
Qualification information  
Name: Wissam Sali 111625 BCIN  
Registration information  
Required unless design exempt under section C-3.2.4.1 of the Building Code  
Firm Name: WM Leaders Contracting Inc. 119 716 BCIN

Project Title:  
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:  
Proposed Site Plan

Designed WS	Checked: WS	Date: 01/22/2022
Discipline Architectural	Sheet no A0.3	Scale: 1/8"=1'



ZONING	LOT NO.	PLAN NO.	LOT AREA	LOT FRONTAGE	LOT DEPTH
Residential R1B	529	888	5,500.0 sqft (511.0m <sup>2</sup> )	50'-0" (15.24m)	110'-0" (33.53m)
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	SETBACKS
LOT COVERAGE	1,325.84 sqft (123.20 m <sup>2</sup> )		1,325.84 sqft (123.20 m <sup>2</sup> )		FRONT YARD
GROSS FLOOR AREA	1300.8 sqft (121.56 m <sup>2</sup> )		1300.8 sqft (121.56 m <sup>2</sup> )		REAR YARD
LOWER FLOOR AREA	574.0 sqft (53.33 m <sup>2</sup> )		574.0 sqft (53.33 m <sup>2</sup> )		INTERIOR SIDE (West)
MAIN FLOOR AREA	1200.8 sqft (111.56 m <sup>2</sup> )		1200.8 sqft (111.56 m <sup>2</sup> )		INTERIOR SIDE (East)
NO. OF STORIES	1		1		
HEIGHT	13'-5" (4.1m)		13'-5" (4.1m)		
WIDTH	23'-7" (7.2 m)		23'-7" (7.2 m)		
DEPTH	50'-11" (15.52 m)		50'-11" (15.52 m)		
Landscaps area	726.35 sqft (67.3 m <sup>2</sup> )		726.35 sqft (67.3 m <sup>2</sup> )	60%	



Rev:	Issue Date:	Description:
0	03 / 31 / 2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com 86 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wassam Saifi	111855	BCIN
Name:		
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.	119 710	BCIN
Firm Name:		
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Existing Site Plan		
Designed	Checked:	Date:
VS	WS	03/31/2022
Discipline	Sheet no	Scale:
Architectural	A0.2	1/8"=1'

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

ROOF JOISTS (WHERE CEILING IS INSTALLED)

FLOOR JOISTS

## DOOR & WINDOW SCHEDULES

[illegible]

## WALL TYPES

- EXISTING SUBFLOOR
- EXISTING WOOD JOIST 2"x8" SPACED 24" O.C
- 89mm THK ROXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

- 2"x4" WOOD STUD SPACED @ 16" O.C
- R20ci INSULATION PLUS VAPOR/AIR BARRIER
- 1 LAYER OF 1/2" REGULAR GYPSUM BOARD

- BRICK VENEER 4" FACE TO FACE
- 2"x6" WOOD STUD SPACED @ 16" O.C
- R19 +5CI INSULATION PLUS VAPOR/AIR BARRIER
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 1 LAYER OF 1/2" REGULAR GYPSUM BOARD

- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD
- 2"x4" WOOD STUD SPACED @ 16" O.C
- 89mm THK ROXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

- 1 LAYER OF 1/2" TYPE REGULAR GYPSUM BOARD
- 2"x4" WOOD STUD SPACED @ 16" O.C
- 1 LAYER OF 1/2" TYPE REGULAR GYPSUM BOARD

## SUBFLOORING

## ROOF SHEATHING

Rev	Issue Date	Description
0	01 / 08 / 2021	Issued for approval

**Designer:**  
The Undersigned has reviewed & takes responsibility for  
the design work on behalf of a firm registered under section  
3.2.4 of Div C of building code.  
Qualification information

Registration information

Required unless design exempt under section C-3.2.4.1 of the Building Code

**Project Title:**  
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:  
Door & Window schedules and Calculation Tables

Designed WS	Checked: WS	Date: 01/08/2021
Discipline Architectural	Sheet no A0.4	Scale: 3/8"=1'

# GENERAL NOTES

CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012

ALL CONSTRUCTION PRACTICES TO COMPLY W/ ONTARIO BUILDING CODE REGULATIONS  
ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL

## 1.0 EXCAVATION & BACKFILL

(SEE O.B.C. 9.12.)

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES
- THE TOPSOIL & VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS & WOOD DEBRIS SHALL BE REMOVED TO A MIN. DEPTH OF 300mm (12") IN EXCAVATED AREAS UNDER A BUILDING & THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS & THE GROUND SHALL BE NO LESS THAN 450mm (18")
- BACKFILL WITHIN 600mm (24") OF THE FND. WALLS SHALL BE FREE OF DELETERIOUS DERRIS & BOULDERS OVER 250mm (10") IN DIA

## 2.0 FOOTINGS

(SEE O.B.C. 9.15.3.)

- FOOTING MIN. 15MPa POURED CONCRETE
- FOOTINGS SHALL BE MIN 1200mm (4'-0") BELOW FINISHED GRADE
- FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. BEARING CAPACITY OF 75KPa OR 100 KPa FOR ICW

## FOOTING SIZES

FLOORS SUPPORTED	SUPPORTING EXT. WALL	SUPPORTING INT. WALL	COLUMN AREA
1	250mm (9 7/8")	250mm (9 7/8")	0.4m <sup>2</sup> (4.3ft <sup>2</sup> )
2	350mm (13 3/4")	350mm (13 3/4")	0.75m <sup>2</sup> (8.1ft <sup>2</sup> )
3	450mm (17 3/4")	450mm (17 3/4")	1.0m <sup>2</sup> (10.9ft <sup>2</sup> )

- INCREASE EXTERIOR FOOTING WIDTH BY 65mm (2 5/8") FOR EACH STOREY OF BRICK VENEER SUPPORTED, BY 150mm FOR STOREY OF MASONRY (5 1/8") & BY 150mm (6") FOR ICW
- THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS

## 2.1 GRADE

- SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COARSE (FOR CONCRETE BLOCK FND. WALL) AT OR BELOW GRADE LEVEL

## FOUNDATION WALLS

(SEE O.B.C. 9.15.4.)

- FOUNDATION WALL TO BE POURED CONCRETE, UNIT MASONRY (CONC. BLOCK), ICW OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE & THICKNESS)
- DAMPPOOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL
- FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING
- FOUNDATION WALL TO EXTEND MIN. 150mm (6") ABOVE FIN. GRADE
- LATERAL SUPPORT OF WALL PROVIDED BY ANCHORED SILL PLATE
- DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE
- A DRAINAGE LAYER SHALL CONSIST OF
  - MIN. 19mm MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 kg/m<sup>3</sup> ;
  - MIN. 100mm OF FREE DRAINAGE GRANULAR MATERIAL; OR

## 3.0 FOUNDATION WALL (REINF. CONC.)

(SEE O.B.C. 9.15.4.)

- 250mm (10") POURED CONC. WALL 20 MPa (2900 PSI) STRENGTH @ 28 DAYS REINF. W/ 15M BARS @ 16" O.C. VERTICAL & 10M BARS HORIZ. @ 16" O.C. TIED TO THE FOOTING W/ 15M BARS DOWELS. ALL BARS SHALL BE EPOXY COVERING
- BITUMINOUS DAMPPROOFING & DRAINAGE LAYER WHEN BSMT. INSULATION EXTENDS 900mm (2'-11") BELOW GRADE
- MAX. WALL HT. 2850mm (9'-4") USING 250mm (10") POURED CONC. 20 MPa (2900 PSI) @ 28 DAYS
- FOUNDATION WALL TO EXTEND MIN. 150mm (6") ABOVE FIN. GRADE
- WATERPROOF THE EXTERIOR FACE OF WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.13.3 O.B.C
- DAMPPOOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE W/ SECTION 9.13.2 OF THE O.B.C. & PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO 9.14.2 (2) OF THE O.B.C.
- DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE

## 4.0 FLOOR FRAMING

- SEE PLANS FOR FLR. JOIST SIZES & SPACING (SEE O.B.C. 9.23.9.)
- JOISTS TO HAVE A MIN. 38mm (1 1/2") OF END BEARING
- JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FND. W/ 12.7mm (1/2") ANCHOR BOLTS @ 2400 (4'-0") O.C.
- HEADER JOISTS BETWEEN 1200mm (3'-11") & 3200mm (10'-6") IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 5200mm (10'-6") SHALL BE SIZED BY CALC.
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800mm (2'-7") & 2000mm (6'-7"). TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTER HEADER EXCEEDS 2000mm (6'-7")
- 38x35mm (2"x2") CROSS BRIDGING REQUIRED NOT MORE THAN 2100mm (6'-11") FROM EACH SUPPORT & FROM OTHER ROWS OF BRIDGING

- JOISTS SHALL BE SUPPORTED ON JOIST HANGERS @ ALL FLUSH BEAMS, TRIMMERS & HEADERS
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS
- JOISTS LOCATED UNDER PARALLEL NON-LOAD BEARING PARTITIONS SHALL BE DOUBLED

## NOTCHING & DRILLING OF JOISTS, TRUSSES & RAFTERS

(SEE O.B.C. 9.23.5.)

- HOLE IN FLOOR, ROOF & CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER & NOT LESS THAN 50mm (2") FROM EDGES
- NOTCHES IN FLOOR, ROOF & CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING & NOT GREATER THAN 1/3 THE JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, & 40mm (1 9/16") IF NON-LOAD BEARING
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

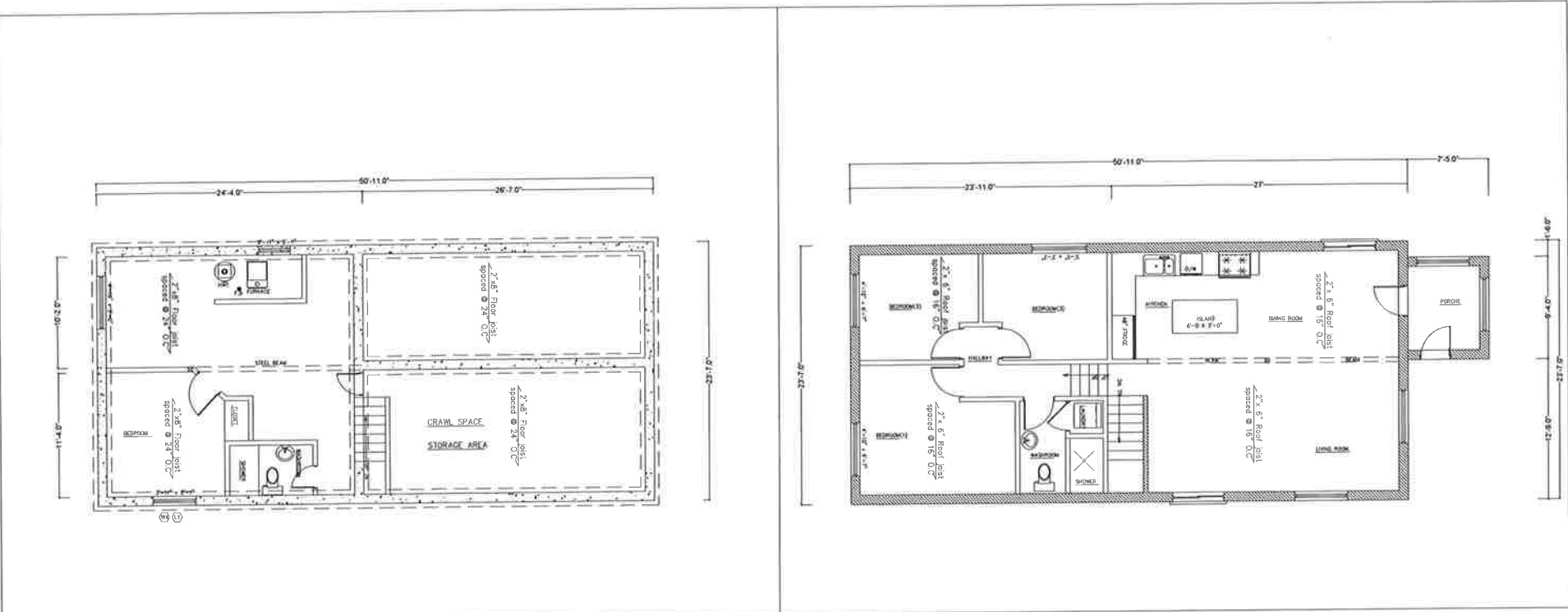
## 5.0 WOOD FRAME CONSTRUCTION

(SEE O.B.C. 9.23.)

- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP
- MAX. MOISTURE CONTENT 19% @ TIME OF INSTALLATION
- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONC. IN DIRECT CONTACT W/ SOIL SHALL BE SEPARATED FROM THE CONC. W/ 0.05mm (0.002") POLYETHYLENE OR TYPE 'S' ROLL ROOFING

## Legend

- Sections & elevations
- Construction Notes
- Reinforced Concrete Foundation wall
- Exterior partition wall
- Interior load bearing wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector



Existing Basement Floor Plan

Existing Main Floor Plan

Rev.	Issue Date:	Description
0	01 / 08 / 2021	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_l@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wissam Saifi	111855	BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.	110716	BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Existing Basement & Main Floor Plans		
Designed WS	Checked:	Date: 01/08/2021
Discipline Architectural	Sheet no A1.1	Scale: 3/16" = 1"

## WALLS

- 5.0 CEILING FINISH @ THE BASEMENT - 45min**  
(SEE SB-3 TYPE F5c)

- ## 5.1 BASEMENT INSULATION & FRAMING

- 5.2 FRAME WALL CONSTRUCTION (2"x6")  
BRICK VENEER

- 5.3 INTERIOR FIRE RATED STUD PARTITION-45min**  
(SEE 68-3 TYPE W3b.)

- 54 INTERIOR NON FIRE RATED STUD PARTITION**

- LUMBER

- END BEARING JOISTS - 38mm (1 1/2")  
BEAMS - 89mm (3 1/2")

- WOOD FRAMING NOT TREATED W/ A WOOD PRESERVATIVE & ARE IN CONTACT W/ CONCRETE THAT IS LESS THAN 150mm (6") ABOVE GROUND OR SLAB, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 0.15mm (0.006") POLYETHYLENE FILM OR NO. 50 (45lbs) ROLL ROOFING DAMPPROOFING BETWEEN WOOD & CONCRETE

- ## 5.0 SLAB ON GRADE

- ## 7.0 ROOF & CEILING

- ## ROOFING

- (SEE O B C 9 26 )

- FLASHING SHALL BE PROVIDED @ THE INTERSECTION OF SHINGLE ROOFS W/ EXTERIOR WALLS & CHIMNEYS
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1.73mm (1/16") SHEET LEAD, 0.33mm (0.013") GALV. STEEL, 0.33mm (0.018") COPPER, 0.35mm (0.018") ZINC, OR 0.48mm (0.019") ALUMINUM

## 7.1 ROOF CONSTRUCTION

- ## ROOF INSULATION

- ## 8.0 COLUMNS, BEAMS & LINTELS

**STEEL** (SEE O B C 434)

















- ### 8.1 STEEL PIPE COLUMN (INT.)

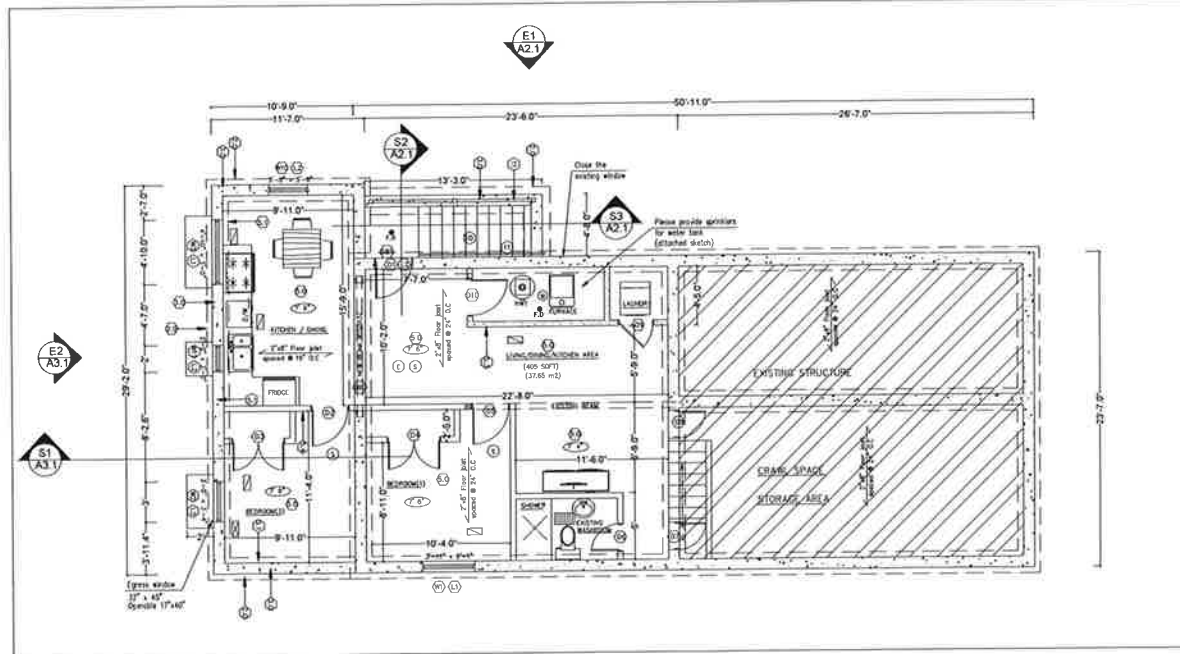
- (SEE O B C 9 17 3 )

- 90mm ( 3 1/2" ) DIA. W/ A WALL THICKNESS OF 4.76mm (3/16") NON ADJUSTABLE STEEL COLUMN W/ 150x150x9.5mm (6"x6"x3/8") STEEL TOP & BOTTOM PLATE. BASE PLATE 200x200x12.7mm (8"x8"x1/2") W/ 4-12.7mm DIA x 300mm LONG x50mm (4-1/2" DIA x 12" LONG x 2") HOOK ANCHORS


- FIELD WELD COLUMN TO BASE PLATE ON  
1067x1067x457mm (42"x42"x18") POURED CONC. FTG. ON  
UNDISTURBED SOIL OR ENG. FILL CAPABLE OF  
SUSTAINING A PRESSURE OF 125KPa (18 13psi) MIN. AS  
PER SOIL REPORT

Legend

- |   |                                     |
|---|-------------------------------------|
|  | Sections & elevations               |
|  | Construction Notes                  |
|  | Reinforced Concrete Foundation wall |
|  | Exterior partition wall             |
|  | Interior Fire rated partition wall  |
|  | Interior non-load bearing wall      |
|  | guards                              |
|  | Smoke Alarm                         |
|  | Carbon monoxide detector            |
|  | Floor Drainage (F.D.)               |
|  | Exhaust Fan                         |
|  | Ceiling Height                      |
|  | Supply vent                         |
|  | Return air                          |
|  | Exterior Light                      |
|  | Duct Smoke Detector                 |



### Proposed Basement Floor Plan

Rev.	Issue Date	Description
0	01 / 08 / 2021	issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_l@yahoo.com 86 Rutherford North Brampton, ON L6V2J2		
<b>Designer:</b>		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
 <b>W. Sam Saifi</b> Name		111695 BCIN
Registration information		
Required unless design exempt under section C- 3.2.4.1 of the Building Code		
VM Leaders Contracting Inc <b>VM Leaders Contracting Inc</b> Firm Name		119,718 BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Proposed Basement Floor Plan		
Designed WS	Checked: WS	Date: 01/08/2021
Discipline Architectural	Sheet no A1.2	Scale: 3/16"=1'



GENERAL NOTES (Continued)

- 8.2 BEAMS  
(SEE O.B.C. 9.23.4.2, O.B.C. 9.23.4.3, & 9.23.8.)
- SB-1 127x90x8 0mm (51/2"x3 1/2"x14")
  - SB-2 W150x37 ST. BEAM
  - SB-3 W200x31 ST. BEAM

- 8.3 WOOD COLUMNS & BUILT-UP BEAMS (SEE O.B.C. 9.17.3.)

•F" X 4" TREATED WOOD POST ANCHORED TO CONCRETE WALL W/METAL SHOE + 3" BOLT SHOE ANCHORED MIN 4" INTO 8" POURED CONCRETE WALL ON 1' 8" X 6" DEEP POURED CONCRETE FOOTING ON UNDISTRIBUTED SOIL.

•ALL BUILT UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH TRANSFER BLOCKING AT EACH FLOOR FRAMING. POSTS ARE TO CONTINUE TO FOUNDATIONS EVEN IF SUPPORTED ON LOAD BEARING STUD WALLS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

•PROVIDE DOUBLE FLOOR JOISTS AT ALL NON-LOAD BEARING AND LOAD BEARING PARTITION WALLS SPANNING PARALLEL TO THE FLOOR FRAMING UNLESS OTHERWISE NOTED.

•PROVIDE SOLID BLOCKING, MATCHING JOIST MEMBER SIZE, UNDER ALL LOAD BEARING WALLS OFFSET FROM THE SUPPORTS BELOW FOR FLOOR JOISTS SPANNING PERPENDICULAR TO THE WALLS.

•ALL NAILERS TO BE ANCHORED WITH 12mm (1/2") DIAMETER ANCHOR BOLTS x300mm (12") LONG AT 1200mm (4'-0") ON CENTER STAGGER ANCHOR BOLTS

- 9.0 DOORS & WINDOWS

(SEE O.B.C. 9.7.)

•EVERY FLOOR LEVEL CONTAINING A BEDROOM & NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35m<sup>2</sup> (3.87ft<sup>2</sup>) AND NO DIMENSION LESS THAN 380mm (15"), WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAX. SILL HEIGHT 1000mm (3'-3 3/8") FOR FIN. FLOORS ABOVE GRADE

- EXT. HOUSE DOORS & WINDOWS WITHIN 2000mm (6'-7") FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT
- MAX. U-VALUE 1.6 FOR WNDOWS & SLIDING GLASS DOORS OR TO CONFORM TO SB-12 SUBSECTION 2.1. OF THE O.B.C.

- 10.0 MAIN STAIRS & EXTERIOR STAIRS

(SEE O.B.C. 9.8.)

- MAX. RISE 200mm (7 7/8")
- MAX. RUN 210mm (8 1/4")
- MIN. TREAD 235mm (9 1/4")
- MIN. HEAD 25 (1")
- MIN. HEAD ROOM 1950mm (6'-5")
- MIN. WIDTH 800mm (2'-10")
- CURVED STAIRS SHALL HAVE A MIN. RUN OF 150mm (5 7/8") @ ANY POINT & A MIN. AVG. RUN OF 200mm (7 7/8")
- WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90° W/ NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 1200mm ALONG THE RUN OF STAIRS.

- A LANDING IS REQUIRED @ THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING & OTHER EXTERIOR ENTRANCES W/ MORE THAN 3 RISERS
- EXTERIOR CONC. STAIRS W/ MORE THAN 2 RISERS REQUIRE FOUNDATIONS
- STAIRS TO HAVE UNIFORM TREADS & RISERS EXCEPT AS NOTED IN O.B.C. 9.8.4.4.

- 11.0 GUARDS & RAILINGS

(SEE O.B.C. 9.5.7 & 9.8.8.)

- INT. LANDINGS 900mm (2'-11")
- EXT. BALCONY 1070mm (3'-5")
- INT. STAIRS 900mm (2'-11")
- EXT. STAIRS 900mm (2'-11")
- MAX. BETWEEN PICKETS 100mm (4")

- GUARD HEIGHT IF DECK TO GRADE IS GREATER THAN 1800mm (5'-11") 1070mm (3'-5")
- 1800mm (5'-11") OR LESS 900mm (2'-11")

•A HANDRAIL IS REQUIRED FOR INT. STAIRS CONTAINING MORE THAN 2 RISERS & EXT. STAIRS CONTAINING MORE THAN 3 RISERS

•GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm (23 5/8") ABOVE THE ADJACENT LEVEL & WHERE THE ADJACENT SURFACE HAS A SLOPE MORE THAN 1:2.

•INTERIOR & EXTERIOR GUARDS MIN. 900mm (2'-11") HIGH EXTERIOR GUARDS SHALL BE 1070mm (3'-5") HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800mm (5'-11")

•GUARDS SHALL HAVE OPENINGS SMALLER THAN 100mm (4") & NO MEMBER BETWEEN 140mm (5 1/2") & 900mm (2'-11") THAT WILL FACILITATE CLIMBING

•CONSTRUCTION OF INTERIOR GUARDS & HANDRAILS TO COMPLY TO O.B.C. 9.8.9, SB-7 & SB-13

•EXTERIOR GUARDS SHALL BE ALUMINUM RAILING AND CONFORMING AS PER ATTACHED DETAIL STAMPED BY THE ENG.

•CONSTRUCTION OF RAILING FOR EXTERIOR GUARDS IS ALUMINUM ALLOY 6063-T5

- 12 WINDOWS

(SEE O.B.C. 9.7.)

•EVERY FLOOR LEVEL CONTAINING A BEDROOM & NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35m<sup>2</sup> (3.87ft<sup>2</sup>) AND NO DIMENSION LESS THAN 380mm (15"), WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAX. SILL HEIGHT 1000mm (3'-3 3/8") FOR FIN. FLOORS ABOVE GRADE

•5% OF FLOOR AREA OF BEDROOMS & 10% OF LIVING & DINING ROOMS TO EQUAL TRANSPARENT OPENINGS IN WINDOW (SEE 9.7.2.3. OF THE O.B.C.)

•WINDOWS DOUBLE GLAZED OR W/ STORM WINDOW

•WINDOWS LOCATED WITHIN 2 METERS (6'-7") OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY (SEE O.B.C. 9.7.5.3)

•WINDOWS SHALL HAVE A MAX. U-VALUE 1.8 OR CONFORM TO SB-12 SUBSECTION 2.1. OF THE O.B.C.

- 13 ELECTRICAL

(SEE O.B.C. 9.34.)

•AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED @ EVERY ENTRANCE

•A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE & CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS & LIVING ROOM

•STAIRS SHALL BE LIGHTED, & EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3-WAY SWITCH @ THE HEAD & FOOT OF THE STAIRS

•BASEMENTS REQUIRE A LIGHT FOR EACH 30m<sup>2</sup> (323FT<sup>2</sup>), CONTROLLED BY A SWITCH @ THE HEAD OF THE STAIRS

- 14 ALARMS & DETECTORS

SMOKE ALARMS (SEE O.B.C. 9.10.19.)

•SMOKE ALARMS CONFORMING TO CANULC-5531,

CEILING ON EACH STOREY OF A DWELLING UNIT

"SMOKE ALARMS" SHALL BE INSTALLED ON OR NEAR THE ADJACENT LEVEL IN EACH SLEEPING ROOM AND IN A INCLUDING BASEMENTS 900mm (36") OR MORE ABOVE AN

LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY

•SMOKE ALARMS SHALL BE INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NOT DISCONNECT SWITCH BETWEEN OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE OF POWER INTERRUPTION BE PROVIDED WITH BATTERIES OR AN ALTERNATIVE POWER SOURCE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM

•SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING TO SOUND AND SHOW VISUAL SIGNAL

•SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

CARBON MONOXIDE DETECTORS

(SEE O.B.C. 9.33.4.)

•CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" OR UL 2034, "SINGLE & MULTIPLE STATION CARBON MONOXIDE ALARMS" SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS W/ FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE

•CARBON MONOXIDE ALARMS SHALL BE MECHANICALLY FIXED AT THE MANUFACTURERS RECOMMENDED HEIGHT OR ON OR NEAR THE CEILING

•CARBON MONOXIDE ALARMS SHALL BE INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NOT DISCONNECT SWITCH BETWEEN OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE OF POWER INTERRUPTION BE PROVIDED WITH BATTERIES OR AN ALTERNATIVE POWER SOURCE TO PROVIDE POWER TO THE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM

•CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SO THAT ITS ACTIVATION WILL ACTIVATE ALL C.M. ALARMS LOCATED WITHIN THE DWELLING UNIT

•SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

- 15 HEATING/ COOLING SYSTEMS

(SEE O.B.C. 9.33.)

•CHECK MECHANICAL DRAWINGS FOR SPECIFICATIONS AND CALCULATIONS

•THE DESIGN AND INSTALLATION OF CENTRAL HEATING AND AIR CONDITIONING SYSTEMS SHALL CONFORM TO O.B.C. PART 6 AND 9.33

•HEATING/COOLING LOADS TO BE CALCULATED IN ACCORDANCE W/ SECTION O.B.C. 6.2.1.1.

•REQ'D HEATING SYSTEMS SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF NOT LESS THAN

- LIVING SPACES 22°C
- UNFINISHED SPACES 15°C
- HEATED CRAWL SPACES 15°C

Legend

Sections & elevations

Construction Notes

Unreinforced Concrete block Foundation wall

Exterior partition wall

Interior Fire rated partition wall

Interior non-load bearing wall

guards

Smoke Alarm

Carbon monoxide detector

Floor Drainage (F.D.)

Exhaust Fan

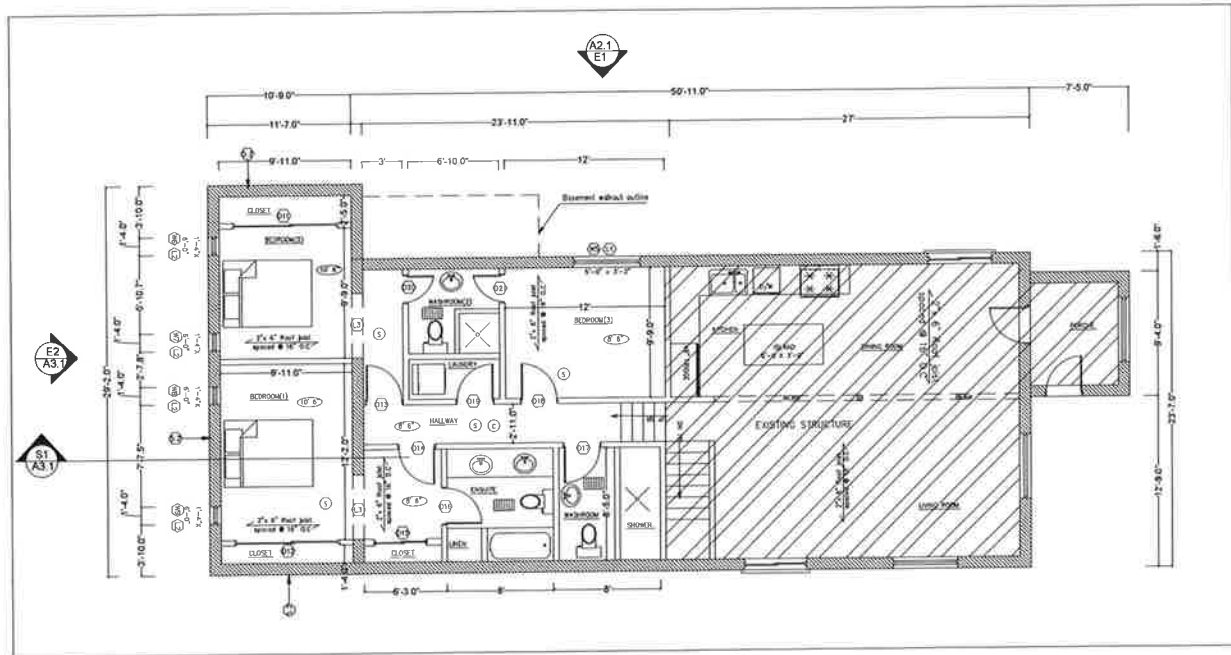
Ceiling Height

Supply vent

Return air

Exterior Light

Duct Smoke Detector



Proposed Main Floor Plan

Rev.	Issue Date:	Description
0	01 / 09 / 2021	Issued for approval

Owner Name & Address:  
Dante Limbaga, email: denfran\_l@yahoo.com  
96 Rutherford North Brampton, ON L6V2J2

Designer:  
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code

Qualification information:  
Wissam Saifi  
Name 111895 BCIN

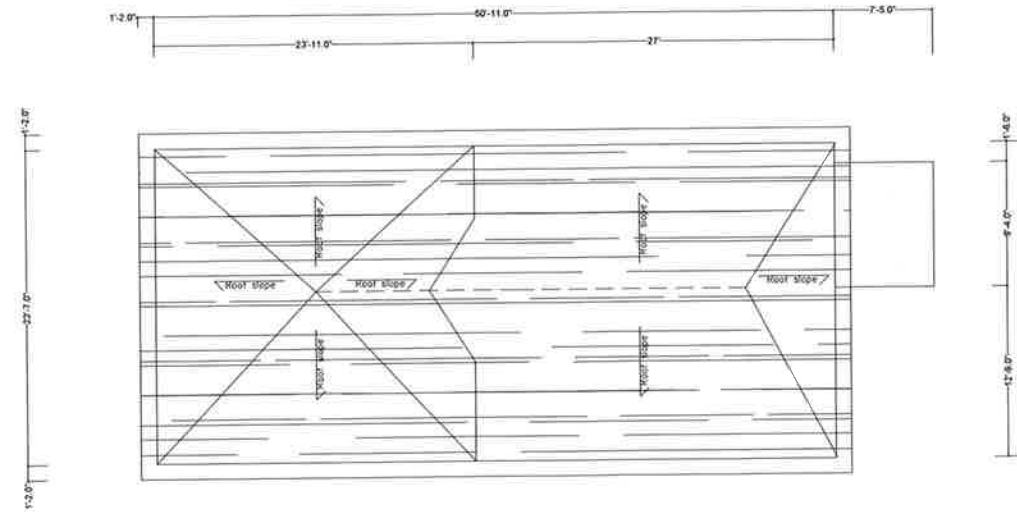
Registration information  
Required unless design exempt under section C- 3.2.4.1 of the Building Code

WH Leaders Contracting Inc.  
Firm Name 119 718 BCIN

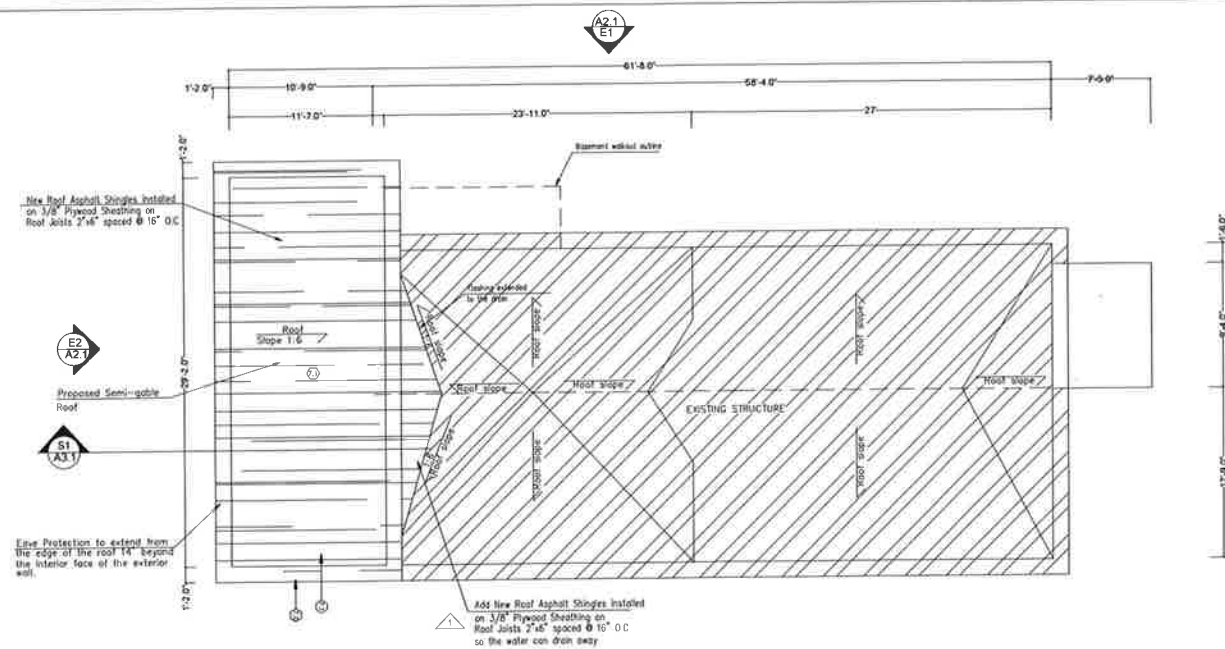
Project Title:  
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:  
Proposed Main Floor Plan

Designed WS	Checked: WS	Date: 01/09/2021
Discipline Architectural	Sheet no A1.3	Scale: 3/16" = 1"



Existing Roof Floor Plan



Proposed Roof Floor Plan

Rev.	Issue Date:	Description
0	01 / 08 / 2021	Issued for approval
1	11 / 28 / 2022	Issued for approval

Owner Name & Address:  
Dante Limbaga, email: danfran\_l@yahoo.com  
96 Rutherford North Bampton, ON L6V2J2

**Designer:**  
The Undersigned has reviewed & takes responsibility for the design work on behalf of a firm registered under section 3.2.4 of Div C of building code.

Qualification information  
Wissem Sali  
Name 111855  
BCIN

Registration information  
Required unless design exempt under section C-3.2.4.1 of the Building Code

WM Leaders Contracting Inc.  
Firm Name 119 718  
BCIN

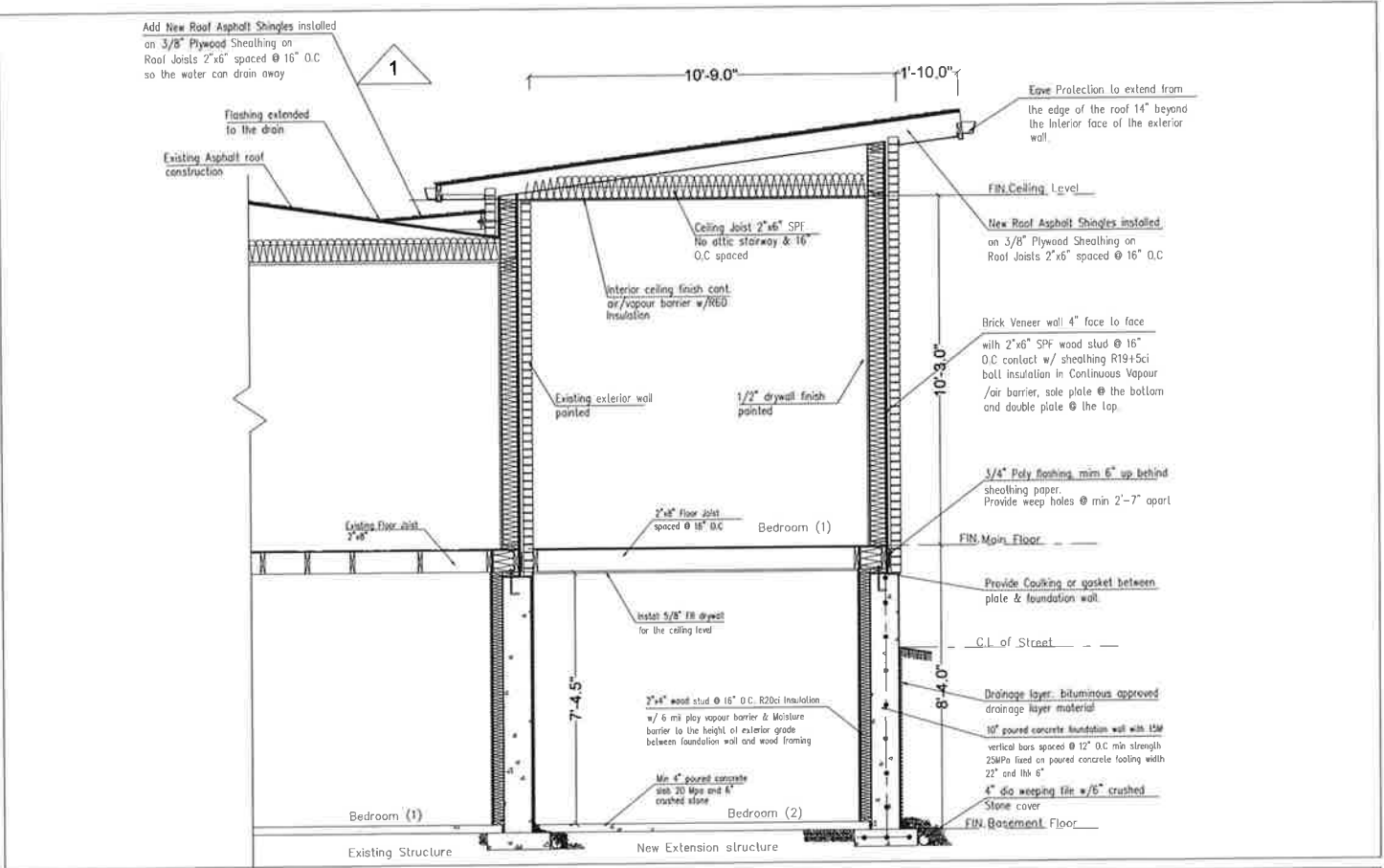
**Project Title:**  
Proposed Additional & Alteration to an existing one storey detached dwelling unit

**Drawing Title:**  
Existing & Proposed Roof Floor Plan

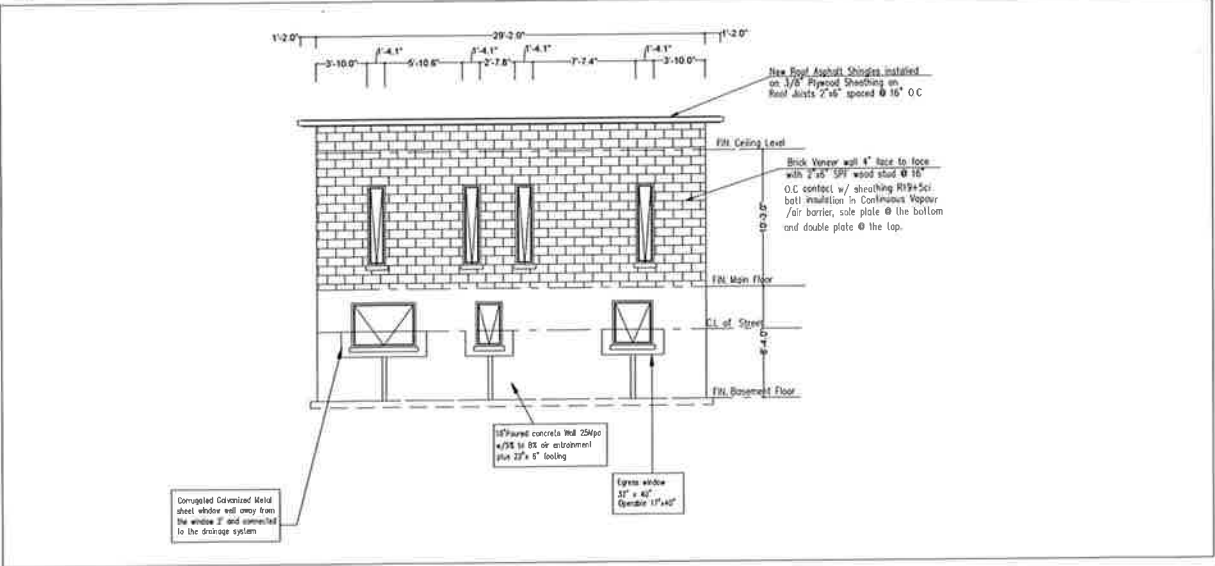
Designed WS	Checked: WS	Date: 11/28/2022
Discipline Architectural	Sheet no A1.4	Scale: 3/16"=1'



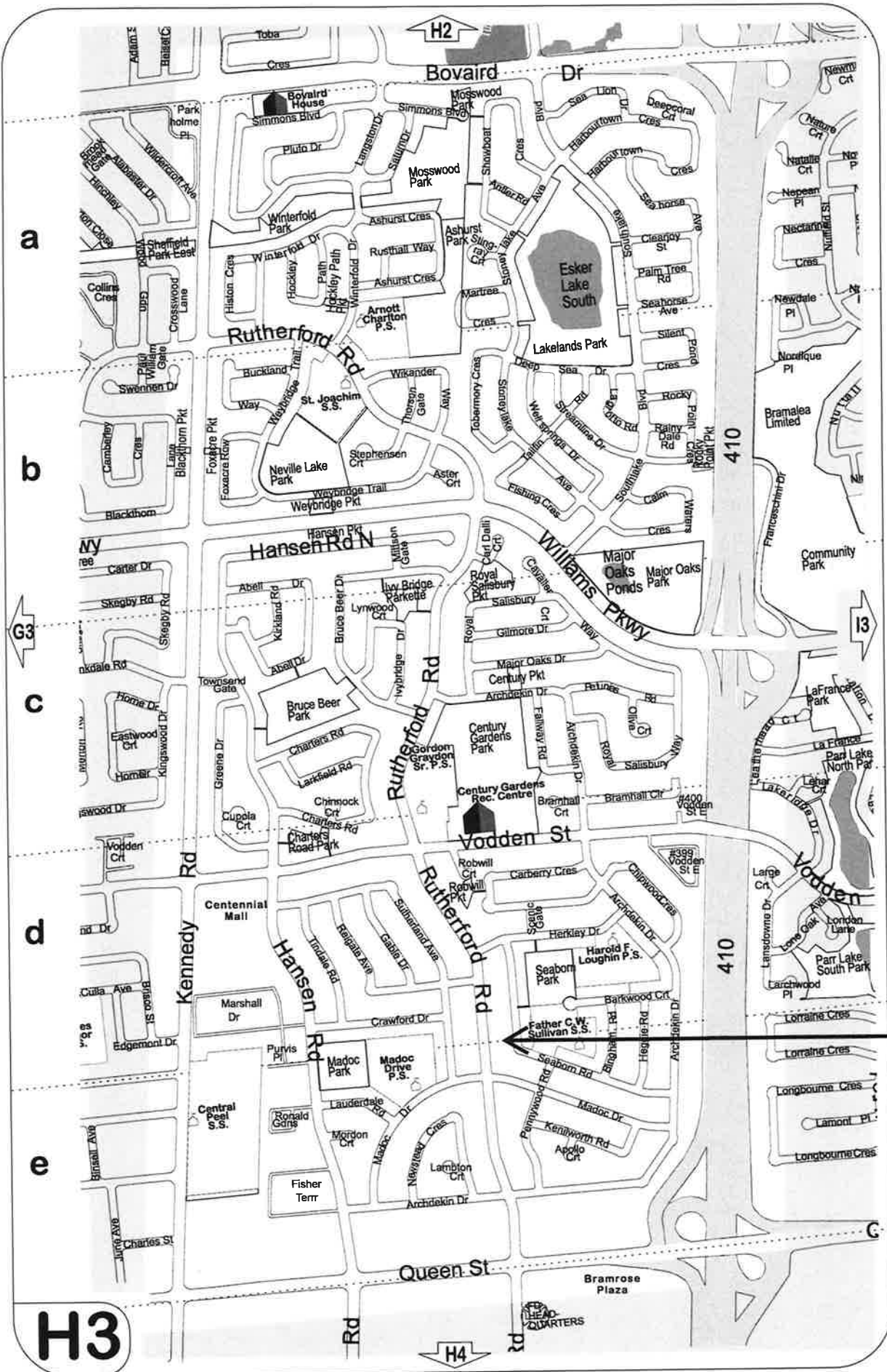
Proposed Section S1



Proposed Elevation E2



Rev.	Issue Date	Description
0	01 / 08 / 2021	Issued for approval
1	11 / 26 / 2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_l@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & taken responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wysam Sami	11/25/2022	BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WM Leaders Contracting Inc.	11/28/2021	BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Proposed Elevation & Sections ( Sheet 2 of 2 )		
Designed	Checked:	Date:
WS	WS	11/28/2021
Discipline	Sheet no	Scale:
Architectural	A3.1	3/16"=1'



A-2023-0042