



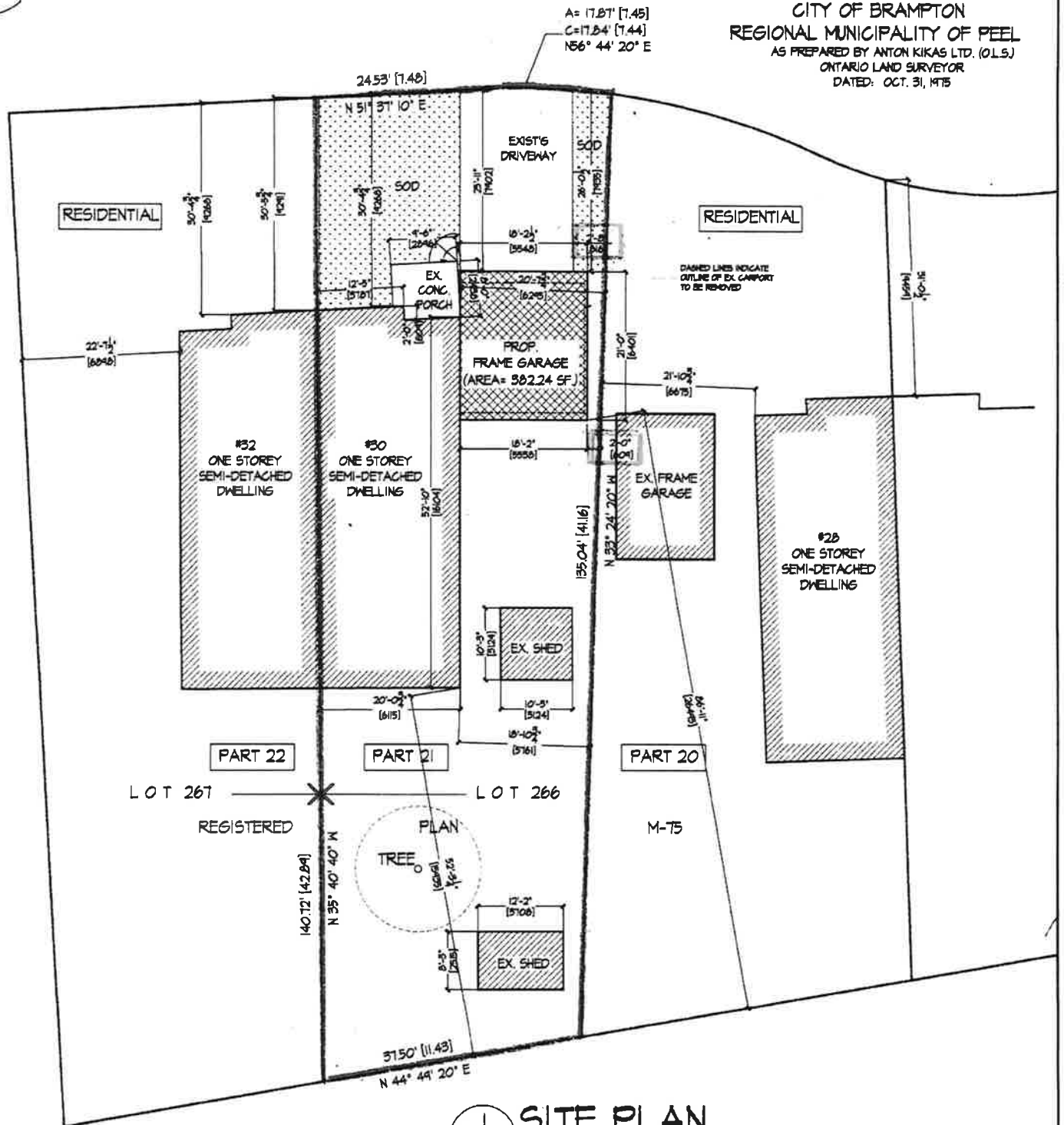
APPLICATION # A-2023-0094
WARD #7

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca



MANDERLEY PLACE

SEE SURVEY BY: OLS FOR VERIFICATION SURVEY INFORMATION
TAKEN FROM PLAN OF SURVEY OF
LOT 254-257 & 275 &
LOTS 261 TO 267 BOTH INCLUSIVE
REGISTERED PLAN M-75
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEE
AS PREPARED BY ANTON KIKAS LTD. (O.L.S.)
ONTARIO LAND SURVEYOR
DATED: OCT. 31, 1975



SITE PLAN
SCALE: 1/16" = 1'-0"
METRIC SCALE: 1:200

FRONT YARD LANDSCAPING AREA

FRONT YARD AREA 1198.70 SQ. FT. [111.35 m²]

MIN. LANDSCAPE OPEN SPACE REQ'D
(50.0% OF FRONT YARD) 599.35 SQ. FT. [55.68 m²]

LANDSCAPED OPEN SPACE
PROVIDED 690.18 SQ. FT. [64.12 m²]

LOT AREA = 3462.06 S.F. [309.28 m²]

PERMITTED LOT COVERAGE = 1825.55 S.F. [169.59 m²] (52.73%)

PROPOSED LOT COVERAGE = 1745.22 S.F. [166.76 m²] (50.41%)

escala
designsinc.

1726 St. Clair Ave. W.
Toronto, Ontario
M6N 1J1

T: (416) 556-3000
F: (416) 568-3728

nelson@escaladesigns.com

DO NOT SCALE DRAWINGS DIMENSIONS TO TAKE
PRECEDENT OVER SCALE.

ALL WORK TO CONFORM WITH ALL GOVERNING
CODES AND BY-LAWS. ALL DRAWINGS AND RELATED
DOCUMENTS ARE INSTRUMENTS OF SERVICE AND
SHALL REMAIN THE PROPERTY OF
ESCALA DESIGNS INC.; THIS REPRODUCTION SHALL
NOT BE DISCLOSED, USED OR REPRODUCED
EXCEPT IN CONNECTION WITH SUCH USE OR
WITH PRIOR WRITTEN CONSENT.

CONTRACTOR(S) SHALL CHECK AND VERIFY ALL
DIMENSIONS ON THE JOB SITE AND REPORT
ANY OMISSIONS OR DISCREPANCIES TO
ESCALA DESIGNS INC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

Project :

**PROPOSED FRAME GARAGE
AT 30 MANDERLEY PLACE
CITY OF BRAMPTON**

Drawing Title:

SITE PLAN

Drawn by: B.B.

Date: JULY, 2020

Project No.

2021-24

Checked by: N.E.

Scale: AS SHOWN

Drawing No.

A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** FATIMA ARRUDA AND VITALINO PEREZ
Address 30 MANDERLEY PLACE, BRAMPTON - ONTARIO - L6L-2S5

Phone # 905-790-0072 **Fax #** _____
Email nelson@escaladesigns.com

2. **Name of Agent** NELSON ESPINOLA (ESCALA DESIGNS INC.)
Address 1726 ST. CLAIR AVE. WEST, TORONTO - ONTARIO - M6N-1J1

Phone # 416-536-3000 **Fax #** _____
Email nelson@escaladesigns.com

3. **Nature and extent of relief applied for (variances requested):**
A MINIMUM SIDE YARD SETBACK OF 1.20M IS REQUIRED, WHEREAS A SETBACK OF 0.609M IS PROPOSED.

4. **Why is it not possible to comply with the provisions of the by-law?**
THE ADDITIONAL GARAGE SPACE IS NEEDED FOR THE STORAGE OF GARBAGE BINS, BICYCLES, LAWN MOWERS, SNOW BLOWERS TOOLS ETC.

5. **Legal Description of the subject land:**
Lot Number PART OF LOT 267
Plan Number/Concession Number M-75
Municipal Address 30 MANDERLEY PLACE

6. **Dimension of subject land (in metric units)**
Frontage 12.92 M +/-
Depth 41.16 M
Area 509.28 SQ. M.

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING SEMI-DETACHED, SINGLE FAMILY DWELLING WITH APPROX. DIMENSIONS OF 6.115M X 16.10M, AND A TOTAL G.F.A. OF APPROX. 100.70 SQ.M.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED ATTACHED FRAME GARAGE WITH APPROX. DIMENSIONS OF 5.55M X 6.40M AND A TOTAL AREA OF 35.51 SQ. M.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.26
Rear yard setback	15.94
Side yard setback	18.90
Side yard setback	CENTER LINE

PROPOSED

Front yard setback	7.90
Rear yard setback	26.50
Side yard setback	0.6
Side yard setback	CENTER LINE

10. Date of Acquisition of subject land: 2013
11. Existing uses of subject property: SINGLE FAMILY DWELLING
12. Proposed uses of subject property: SINGLE FAMILY DWELLING
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1975
15. Length of time the existing uses of the subject property have been continued: SINCE CONSTRUCTION

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

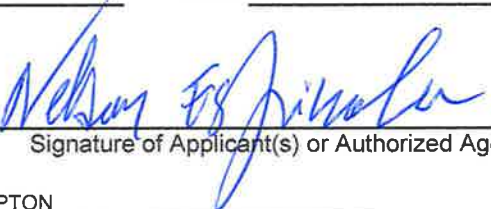
Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF _____ BRAMPTON

THIS 6th DAY OF MARCH APRIL, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, NELSON ESPINOLA, OF THE CITY _____ OF TORONTO

IN THE MUNICIPALITY _____ OF METROPOLITAN TORONTO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF


Peel THIS 6th DAY OF

April, 2023



A Commissioner etc.

Jamie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

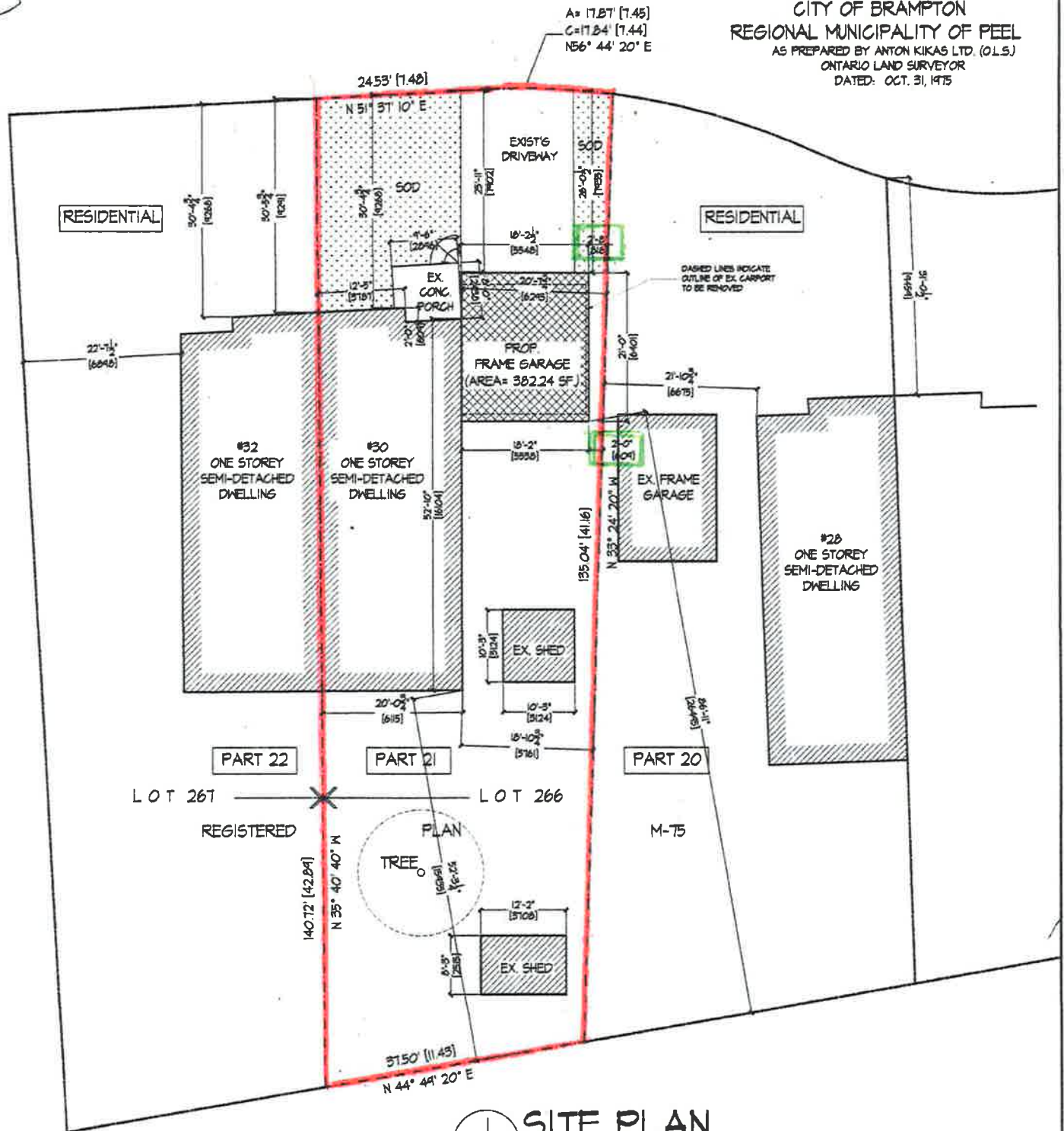
Date Application Deemed
Complete by the Municipality

April 6, 2023



MANDERLEY PLACE

SEE SURVEY BY O.L.S. FOR VERIFICATION SURVEY INFORMATION
TAKEN FROM PLAN OF SURVEY OF
LOT 254-257 & 275 &
LOTS 261 TO 267 BOTH INCLUSIVE
REGISTERED PLAN M-75
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
AS PREPARED BY ANTON KIKAS LTD. (O.L.S.)
ONTARIO LAND SURVEYOR
DATED: OCT. 31, 1975



SITE PLAN
SCALE : 1/16" = 1'-0"
METRIC SCALE: 1:200

FRONT YARD LANDSCAPING AREA

FRONT YARD AREA	1198.70 SQ. FT. [111.35 m ²]
MIN. LANDSCAPE OPEN SPACE REQ'D (50.0% OF FRONT YARD)	599.35 SQ. FT. [55.68 m ²]
LANDSCAPED OPEN SPACE PROVIDED	690.18 SQ. FT. [64.12 m ²]

LOT AREA = 5482.06 S.F. [509.28 m ²]
PERMITTED LOT COVERAGE = 1825.53 S.F. [169.54 m ²] (33.30%)
PROPOSED LOT COVERAGE = 1795.22 S.F. [166.78 m ²] (32.75%)

**escala
designsinc.**

1726 St. Clair Ave. W.
Toronto, Ontario
M6N-1J1

T: (416) 536-3000
F: (416) 588-3728

nelson@escaladesigns.com

DO NOT SCALE DRAWINGS DIMENSIONS TO TAKE
PRECEDENT OVER SCALE.

ALL WORK TO CONFORM WITH ALL GOVERNING
CODES AND BY-LAWS. ALL DRAWINGS AND RELATED
DOCUMENTS ARE INSTRUMENTS OF SERVICE AND
SHALL REMAIN THE PROPERTY OF
ESCALA DESIGNS INC. ; THIS REPRODUCTION SHALL
NOT BE DISCLOSED, USED OR REPRODUCED
EXCEPT IN CONNECTION WITH SUCH USE OR
WITH PRIOR WRITTEN CONSENT

CONTRACTOR(S) SHALL CHECK AND VERIFY ALL
DIMENSIONS ON THE JOB SITE AND REPORT
ANY OMISSIONS OR DISCREPANCIES TO
ESCALA DESIGNS INC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

Project :

**PROPOSED FRAME GARAGE
AT 30 MANDERLEY PLACE
CITY OF BRAMPTON**

Drawing Title:

SITE PLAN

Drawn by: B.B.

Checked by: N.E.

Date: JULY, 2020

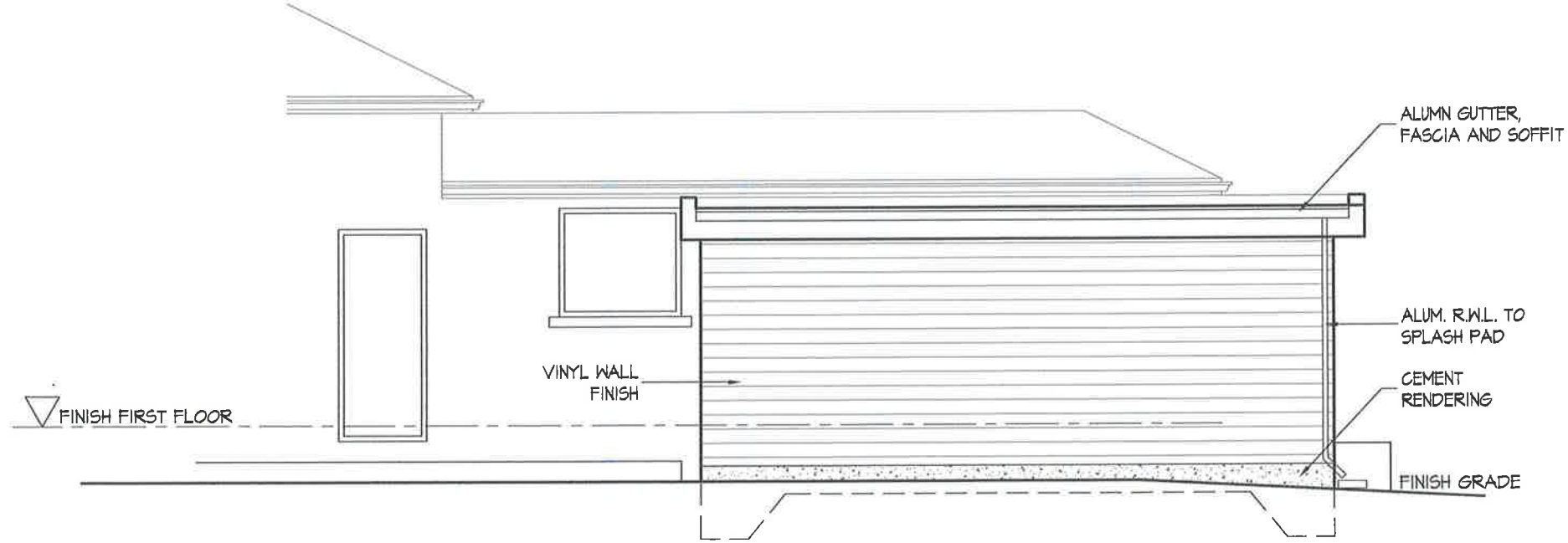
Scale : AS SHOWN

Project No.

Drawing No.

2021-24

A-1



1 SOUTH ELEVATION
A3 SCALE : 1/4" = 1'-0"
METRIC SCALE: 1:50

escala

designsinc.

1726 St. Clair Ave. W.
Toronto, Ontario
M6N 1J1
T: (416) 536-3000
F: (416) 568-3728
nelson@escaladesigns.com

DO NOT SCALE DRAWINGS DIMENSIONS TO TAKE PRECEDENT OVER SCALE.

ALL WORK TO CONFORM WITH ALL GOVERNING CODES AND BY-LAWS. ALL DRAWINGS AND RELATED DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF ESCALA DESIGNS INC.; THIS REPRODUCTION SHALL NOT BE DISCLOSED, USED OR REPRODUCED EXCEPT IN CONNECTION WITH SUCH USE OR WITH PRIOR WRITTEN CONSENT.

CONTRACTOR(S) SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY OMISSIONS OR DISCREPANCIES TO ESCALA DESIGNS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

Project :

PROPOSED FRAME GARAGE
AT 30 MANDERLEY PLACE
CITY OF BRAMPTON

Drawing Title:

SOUTH ELEVATION

Drawn by: B.B.

Checked by: N.E.

Date: JULY, 2020

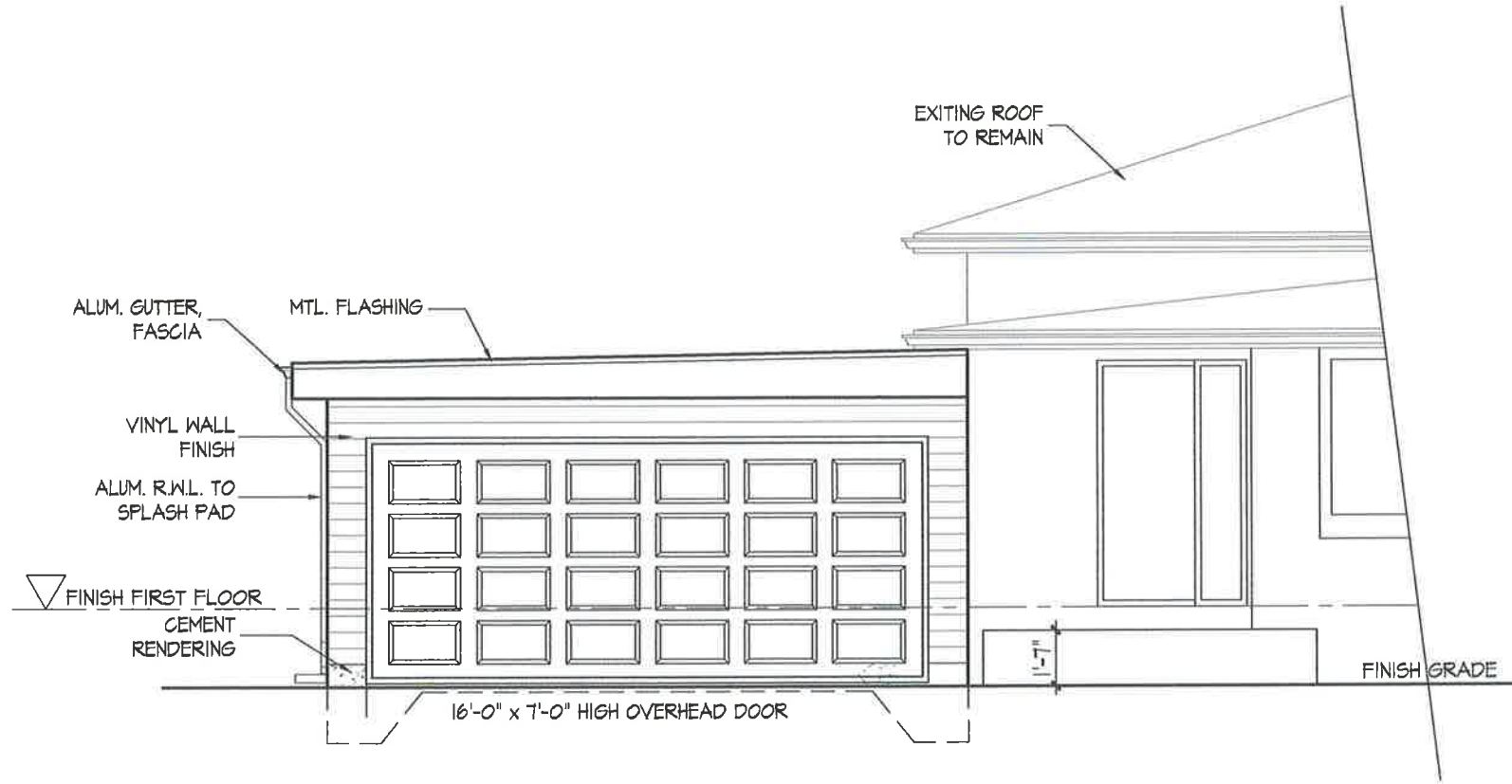
Scale : AS SHOWN

Project No.

2021-24

Drawing No.

A-3



1 EAST ELEVATION
A 4 SCALE : 1/4" = 1'-0"
METRIC SCALE: 1:50

DO NOT SCALE DRAWINGS DIMENSIONS TO TAKE PRECEDENT OVER SCALE

ALL WORK TO CONFORM WITH ALL COVERING CODES AND BY-LAWS. ALL DRAWINGS AND RELATED DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF ESCALA DESIGNS INC. ; THIS REPRODUCTION SHALL NOT BE DISCLOSED, USED OR REPRODUCED EXCEPT IN CONNECTION WITH SUCH USE OR WITH PRIOR WRITTEN CONSENT

CONTRACTOR(S) SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY OMISSIONS OR DISCREPANCIES TO ESCALA DESIGNS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

escala
designsinc.

1726 St. Clair Ave. W.
Toronto, Ontario
M6N 1J1

T: (416) 536-3000
F: (416) 508-3728

nelson@escaladesigns.com

Project :

**PROPOSED FRAME GARAGE
AT 30 MANDERLEY PLACE
CITY OF BRAMPTON**

Drawing Title:

EAST ELEVATION

Drawn by: B.B.

Checked by: N.E.

Date: JULY, 2020

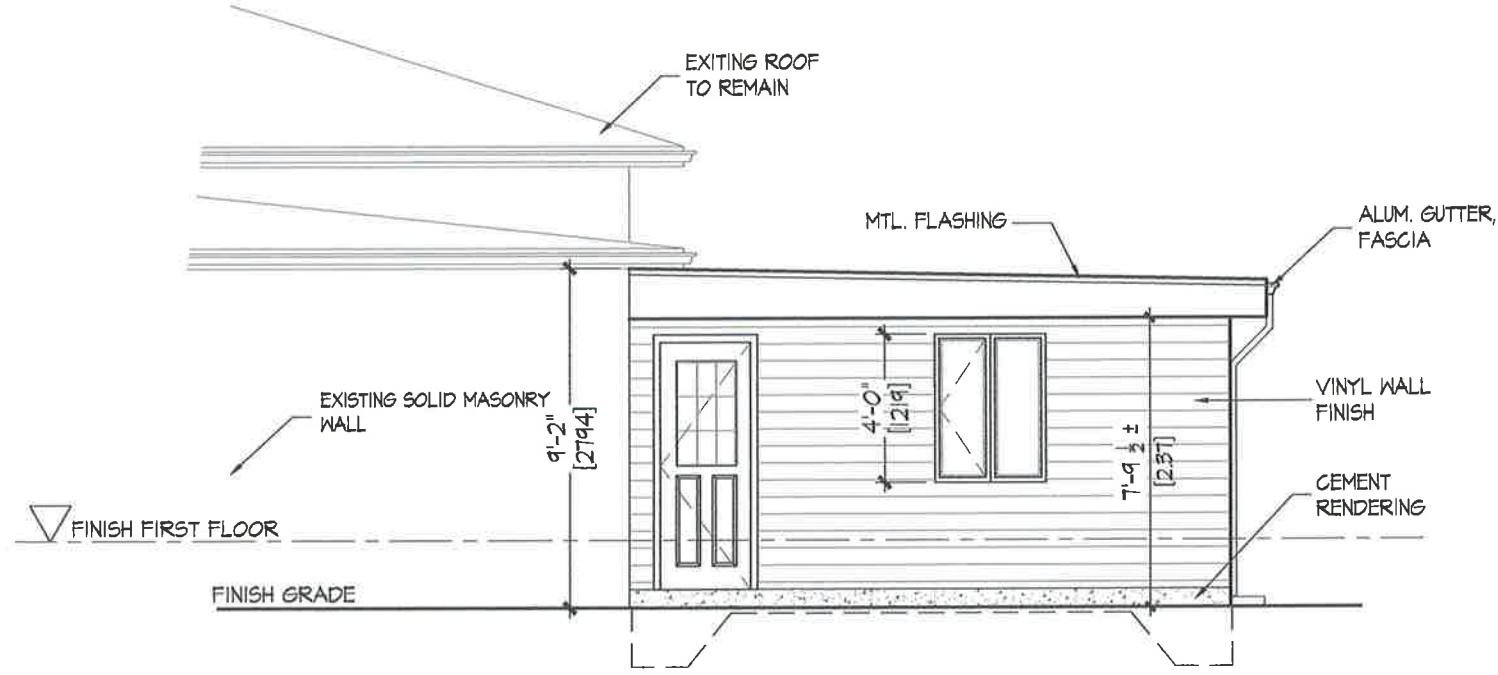
Scale : AS SHOWN

Project No.

Drawing No.

2021-24

A-4



1
A5 WEST ELEVATION
SCALE : 1/4" = 1'-0"
METRIC SCALE: 1:50

DO NOT SCALE DRAWINGS DIMENSIONS TO TAKE PRECEDENT OVER SCALE.

ALL WORK TO CONFORM WITH ALL COVERING CODES AND BY-LAWS. ALL DRAWINGS AND RELATED DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF ESCALA DESIGNS INC. ; THIS REPRODUCTION SHALL NOT BE DISCLOSED, USED OR REPRODUCED EXCEPT IN CONNECTION WITH SUCH USE OR WITH PRIOR WRITTEN CONSENT

CONTRACTOR(S) SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND REPORT ANY OMISSIONS OR DISCREPANCIES TO ESCALA DESIGNS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**escala
designsinc.**

1726 St. Clair Ave. W.
Toronto, Ontario
M6N 1J1

T: (416) 596-3000
F: (416) 596-3728

nelson@escaladesigns.com

Project :

**PROPOSED FRAME GARAGE
AT 30 MANDERLEY PLACE
CITY OF BRAMPTON**

Drawing Title:

WEST ELEVATION

Drawn by: B.B.

Checked by: N.E.

Date: JULY, 2020

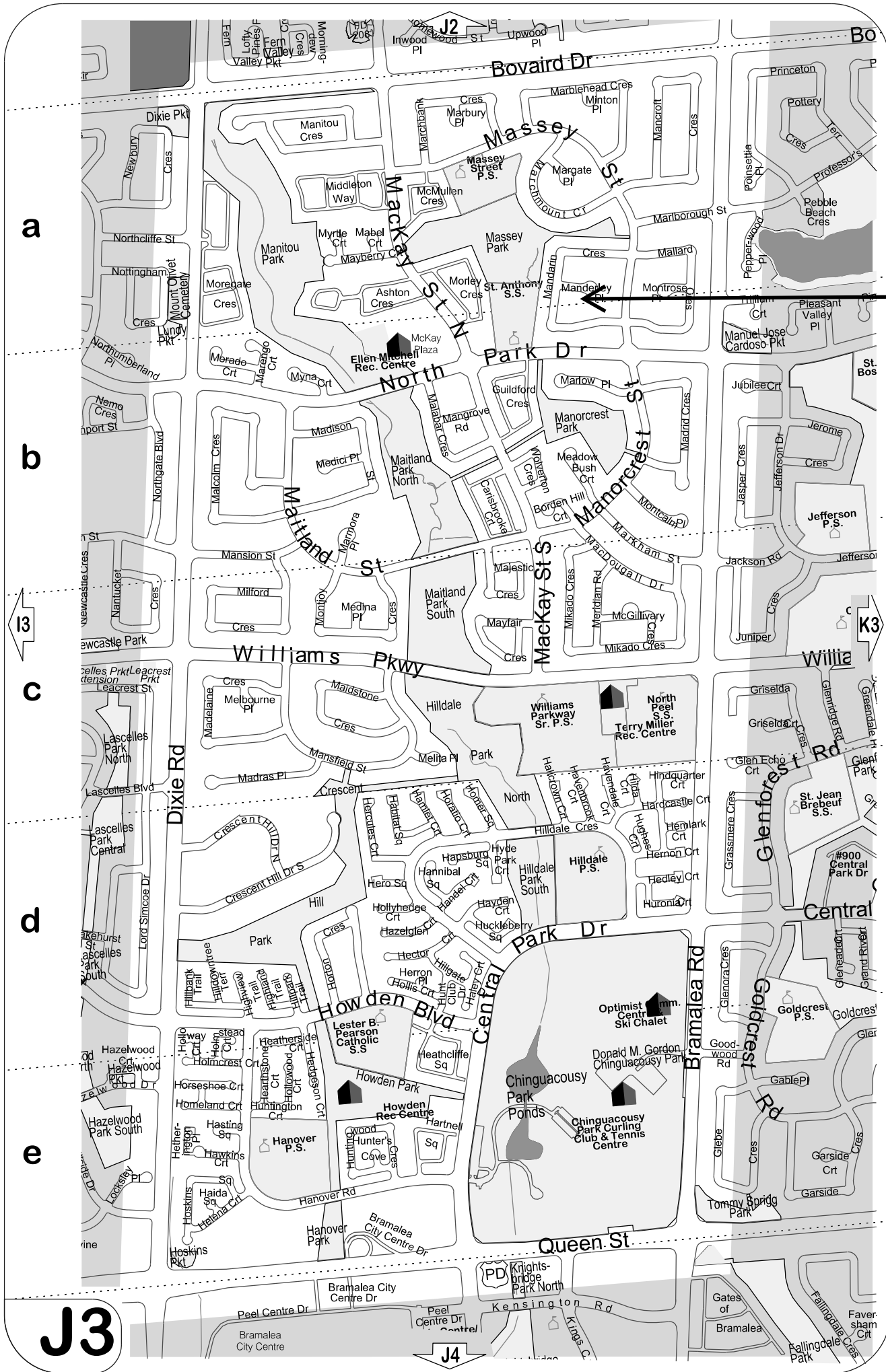
Scale : AS SHOWN

Project No.

Drawing No.

2021-24

A-5



A-2023-0094