



## Committee of Adjustment

**APPLICATION # A-2023-0095**  
**WARD #7**

## APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SATINDERJIT BAJWA, LAL BAJWA AND SURJIT BAJWA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 217, Plan M-74 municipally known as **48 MADRAS PLACE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a two unit dwelling on a property zoned open space whereas the by-law does not permit a two unit dwelling on lands zoned open space.

### OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  
Application for Consent: NO

File Number: \_\_\_\_\_  
File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, May 9, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

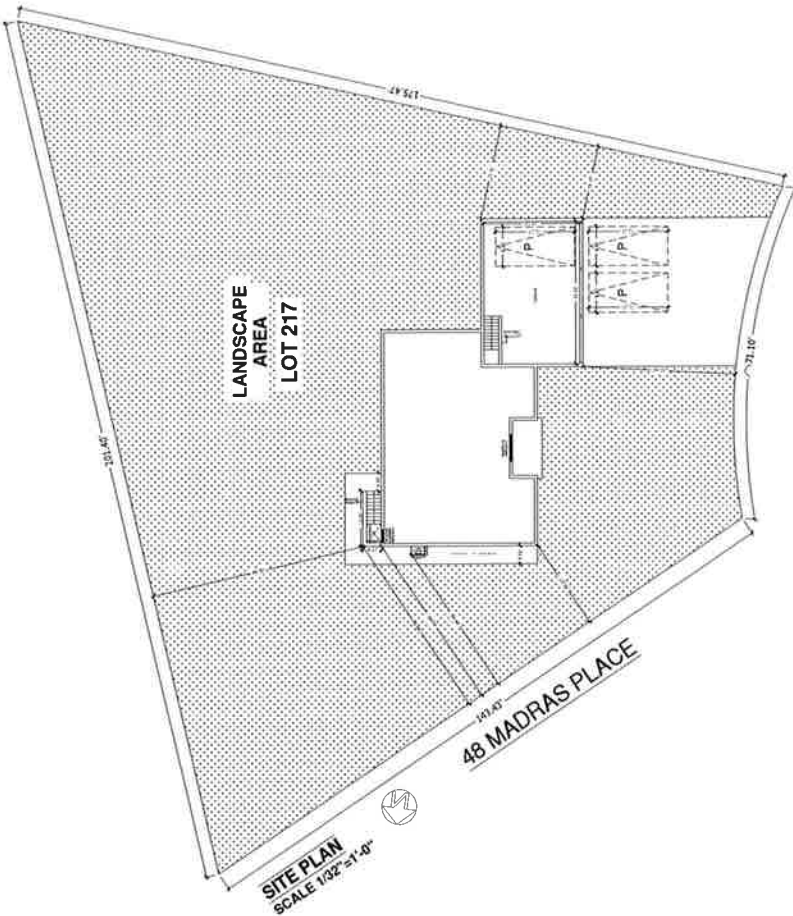
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this this 27th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

**Jeanie Myers, Secretary-Treasurer**  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117 Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



RG PERMITS

SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT WITH  
BELOW GRADE ENTRANCE

GENERAL NOTES

DO NOT SCALE DRAWINGS  
PROPERTY RIGHTS RETAINED BY:  
BG CONSTRUCTION DESIGN  
ANY REPRODUCTION IN WHOLE OR IN PART  
UNDER THE RULES AND BY-LAWS OF THE  
CORPORATION IS STRICTLY FORBIDDEN.  
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AUTHORIZED BY  
ALL DRAWINGS ARE IN METRIC SCALE

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
A-1	JAN 2023
	SCALE 1/32"=1'-0"

**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, May 4, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER:

A-2023-0095

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Satinderjit Bajwa, Lal Bajwa, Surjit Bajwa

Address 48 Madras PIBrampton, ON L6S 2Z2

Phone # (416) 371-6713 Fax #

Email Jas\_milton@hotmail.com

2. Name of Agent Rahul Gupta

Address 27 Drum Oak Crescent, Brampton L6T 1M3

Phone # 647 961 2407 Fax #

Email info.rgpermits@gmail.com

3. Nature and extent of relief applied for (variances requested):

The above property is currently zoned as open space. client want to convert it into residential zone, so that they can apply for second dwelling unit permit.

4. Why is it not possible to comply with the provisions of the by-law?

As per by-laws, currently zoned as open space.

5. Legal Description of the subject land:

Lot Number 217

Plan Number/Concession Number M-74

Municipal Address 48 Madras PIBrampton, ON L6S 2Z2

6. Dimension of subject land (in metric units)

Frontage 61.26 meter

Depth 53.48 meters

Area 1788.10 sq meter

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

two story dwelling- Single dwelling unit  
GFA= 258.63

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

two unit dwelling with below grade in backyard

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 10.4 meters

Rear yard setback 18.13 meters

Side yard setback 6.8 meters

Side yard setback 6.5 meters

**PROPOSED**

Front yard setback 10.4 meters

Rear yard setback 18.13 meters

Side yard setback 6.8 meters

Side yard setback 6.5 meters

10. Date of Acquisition of subject land: 2022
11. Existing uses of subject property: Single family dwelling
12. Proposed uses of subject property: Two Unit Dwelling
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1978
15. Length of time the existing uses of the subject property have been continued: 45 years

16. (a) What water supply is existing/proposed?

Municipal ☒  
Well ☐

Other (specify) \_\_\_\_\_

- (b) What sewage disposal is/will be provided?

Municipal ☒  
Septic ☐

Other (specify) \_\_\_\_\_

- (c) What storm drainage system is existing/proposed?

Sewers ☒  
Ditches ☐  
Swales ☐

Other (specify) \_\_\_\_\_



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Rahul Gupta  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY \_\_\_\_\_ OF BRAMPTON \_\_\_\_\_

THIS 06 DAY OF MARCH April, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, RAHUL GUPTA, OF THE City OF Brampton  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF \_\_\_\_\_

Peel THIS 6<sup>th</sup> DAY OF

April, 2023

Jeanie Myers  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

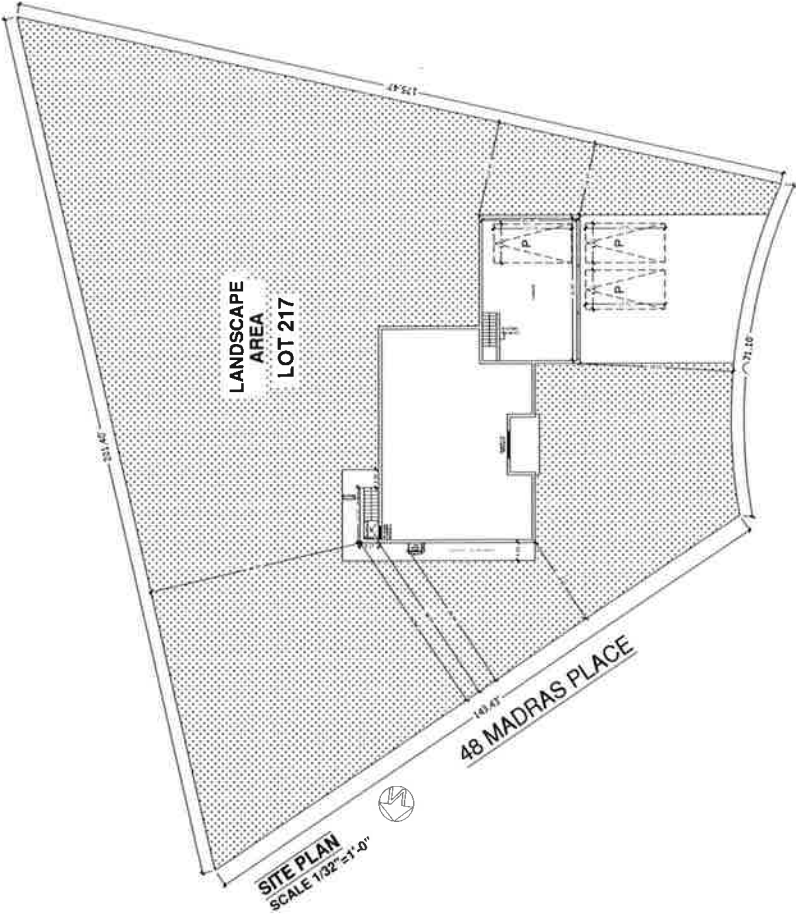
\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17



SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT WITH  
BELOW GRADE ENTRANCE

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

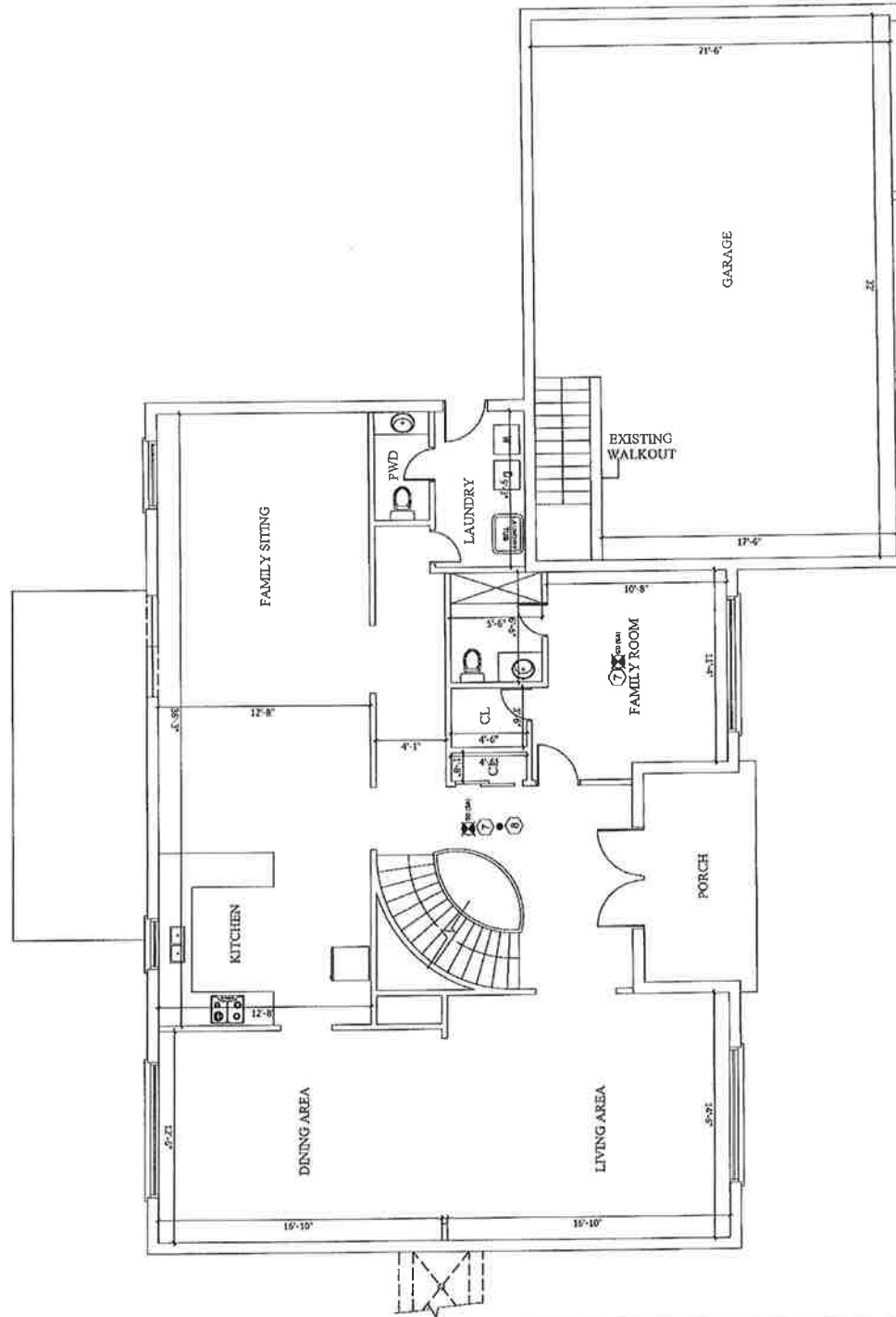
48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
A-1	JAN 2023
	SCALE 1/32"=1'-0"







**MAIN FLOOR PLAN**  
SCALE 1/8"=1'-0"



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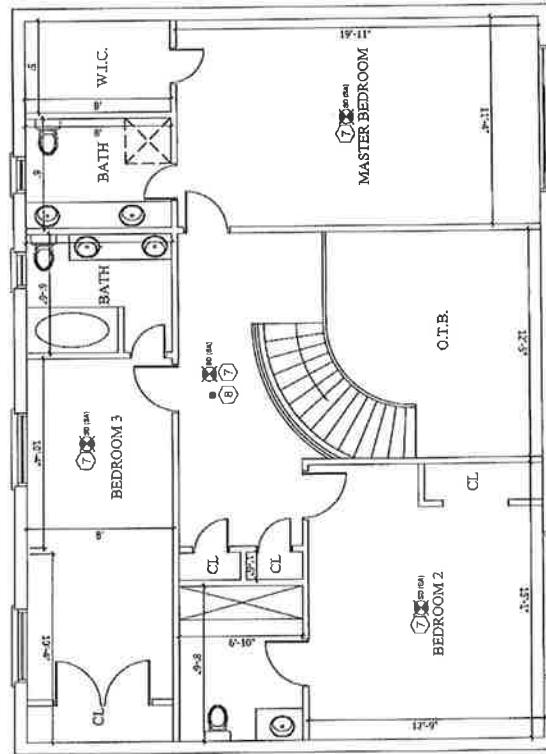
MAIN FLOOR PLAN

CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
<b>A-3</b>	JAN 2023
	SCALE 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE 1/8"=1'-0"



**RG PERMITS**

SCOPE OF WORK  
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SECOND FLOOR PLAN

CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
A-4	JAN 2023
	SCALE 1/8"=1'-0"

DOOR SCHEDULE

1- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"

2- EGRESS DOOR - EXISTING AT GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m2 W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1 M ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS SEE NOTE-1 ON BASEMENT FLOOR PLAN

1 FOUNDATION WALL INSULATION  
FOUNDATION WALL, MOISTURE BARRIER, R12 INSULATION, 2 BY 4 STUDS @ 16" O.C., 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED

2 INTERNAL WALLS  
NEW WOOD FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.

3 ALL CEILING 1/2" GYPSUM BOARD  
PROVIDE MINIMUM 15 MIN. HORIZONTAL FIRE SEPARATION  
ENSURE MINIMUM 15 MINUTES FIRE SEPARATION AROUND ALL STRUCTURE COLUMNS AND BEAMS

5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR

6 INSTALL MECHANICAL VENTILATION PER OBC DIV B 9.32.1.3(3) REQ'S. EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE. SEPARATE ANY INTAKE FROM BUILDING ENVELOP PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS( GAS VENTS, OIL FILL PIPES, ETC, BY MIN 900MM ( 2FT 11 IN)

7 IN COMPLIANCE WITH C152(b) SMOKE ALARMS TO BE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING

8 HARD WIRE CONNECTED CARBON MONOXIDE DETECTOR AS PER CAN/CSA-8.19

9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

10 LIGHT CONTROLLED BY A SWITCH IS BATHROOM, VESTIBULE, HALLWAY, REQUIRED IN EVERY KITCHEN, GARAGE AND CARPORT. A SWITCH BEDROOM, LIVING ROOM, UTILITY RECEPTACLE MAY BE PROVIDED ROOM, LAUNDRY ROOM, DINING INSTEAD OF LIGHT IN BEDROOMS AND ROOM AND LIVING ROOMS.

11 PROVIDE 30 MIN FIRE SEPERATION  
1/2" GYPSUM BOARD  
2" X 4" WOOD STUD AT 16" O.C  
3 1/2" ROXULL SAFE "N" SOUND INSULATION  
1/2" GYPSUM BOARD

NEW WALL

EXISTING WALL

3 OR 4 WAY SWITCH  
4  
INSTALL AT 3'-3" AFF  
3 DENOTES 3-WAY SWITCH  
SPECIFICATION GRADE  
WHITE, WITH WHITE COVER  
PLATE 4 DENOTES 4-WAY  
SWITCH SHALL BE  
INSTALLED AT THE ENDS OF  
EACH STAIRWAYS

LINTEL SCHEDULES:-

LINTEL NO.	HEADER	STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT
1	2'-2" X 8"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE
2	3'-2" X 8"	3 1/2" X 3 1/2" X 3/8" STEEL ANGLE

NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT B/S OF WALL

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

WOOD MEMBERS TO BE IN CONTACT WITH CONCRETE TO BE PROTECTED FROM DECAY AND DAMPNESS WITH MIN. 0.05 MM POLYETHYLENE FILM OR TYPE "S" ROLL ROOFING AS PER OBC DIV "B" 9.23.2.2 AND 9.23.2.3

THE RETURN AIR GRILL SHALL BE INSTALLED NEAR THE FLOOR LEVEL (HRAI REQ'S), UNDERCUT BY 1" THE DOOR TO ANY ROOM WITH OUT RETURN GRILL

ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTUR'S RECOMMENDATIONS.

PROVIDE MINIMUM 30 MINUTE FIRE RATED, 1/2" THICK DRYWALL OR 1" TYPE X DRY WALL UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

15A, 120V DUPLEX RECEPTACLE  
SPECIFICATION GRADE, WHITE  
C/W WHITE COVER PLATE  
GFI- GROUND FAULT TYPE  
WP- WEATHERPROOF COVER  
C - ABOVE COUNTER

RECEPTACLE 50A,  
208V,  
STOVE OR DRIER  
OUTLET.

SD: SMOKE  
DETECTOR

CO: CARBON  
MONOXIDE DETECTOR

LIGHT

SPOT LIGHT

RETURN AIR REGISTER

ELECTRICAL PANEL

EXHAUST FAN

FD: FLOOR DRAIN

SPRINKLER

SUPPLY AIR REGISTER

EMERGENCY LIGHT WITH  
BATTERY BACK UP 4 HRS

DRY EXHAUST FAN

SMOKE ALARM

CARBON MONO OXIDE DETECTOR

ELECTRICAL PANEL

SWITCH



RG PERMITS

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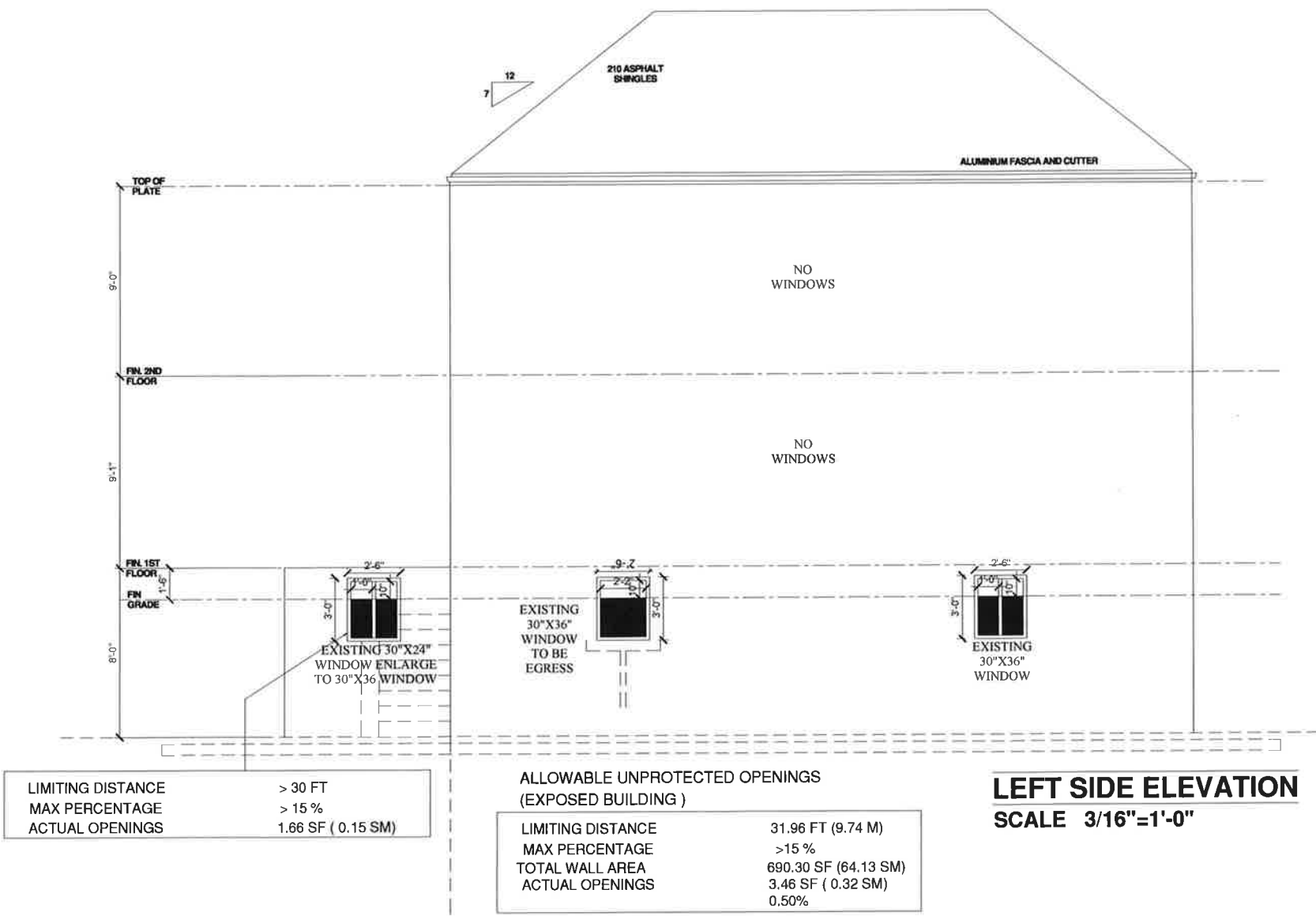
GENERAL NOTES

CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
A-5	JAN 2023
	SCALE 1/8"=1'-0"



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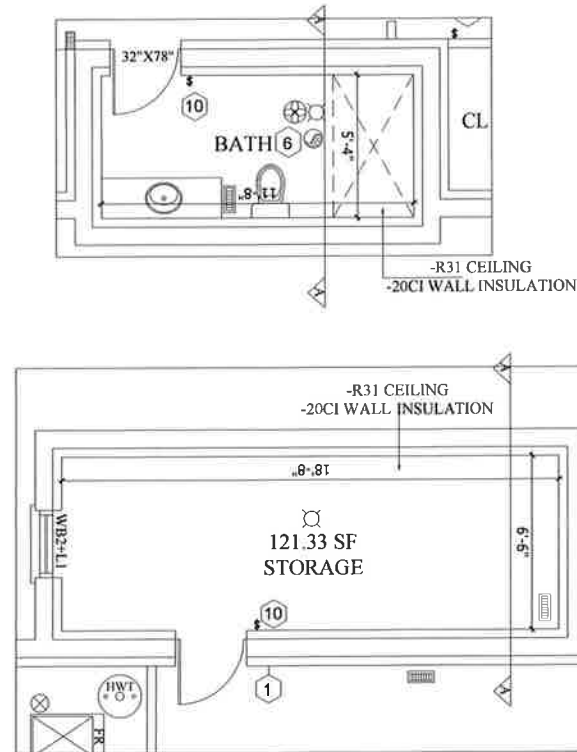
LEFT SIDE ELEVATION

CITY : BRAMPTON

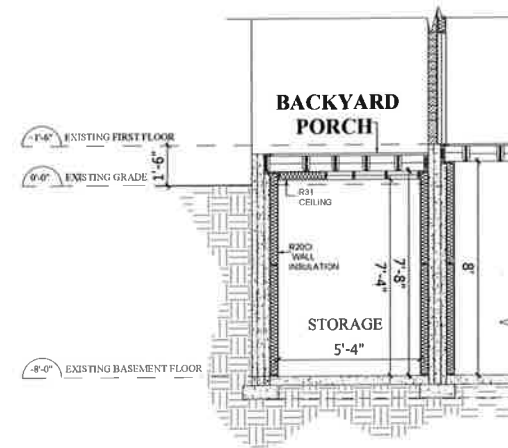
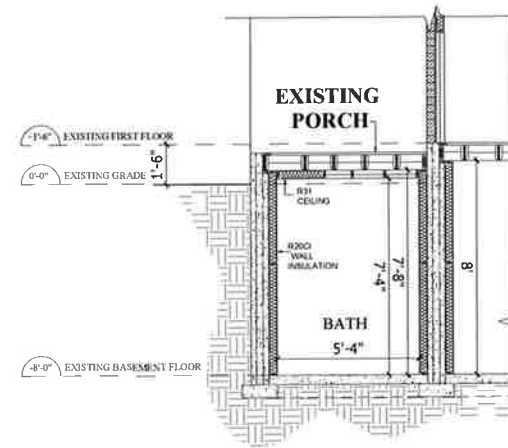
48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
A-6	JAN 2023
	SCALE 3/16"=1'-0"



**FLOOR PLAN**  
SCALE 3/16"=1'-0"



**CROSS SECTION**  
SCALE 3/16"=1'-0"



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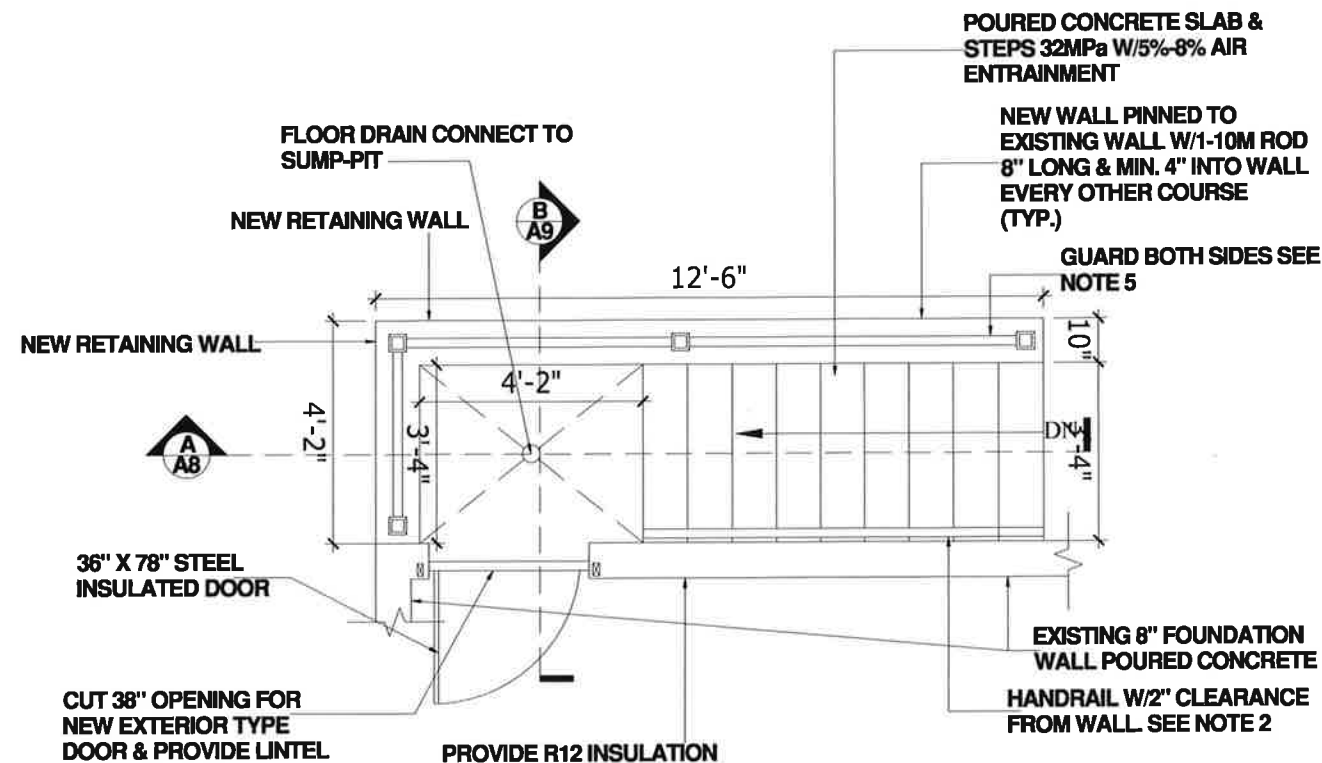
LEFT SIDE ELEVATION

CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
<b>A-7</b>	JAN 2023
	SCALE 3/16"=1'-0"



## WALKOUT PLAN



RG PERMITS

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NO	REVISION / ISSUE	DATE

WALKOUT PLAN

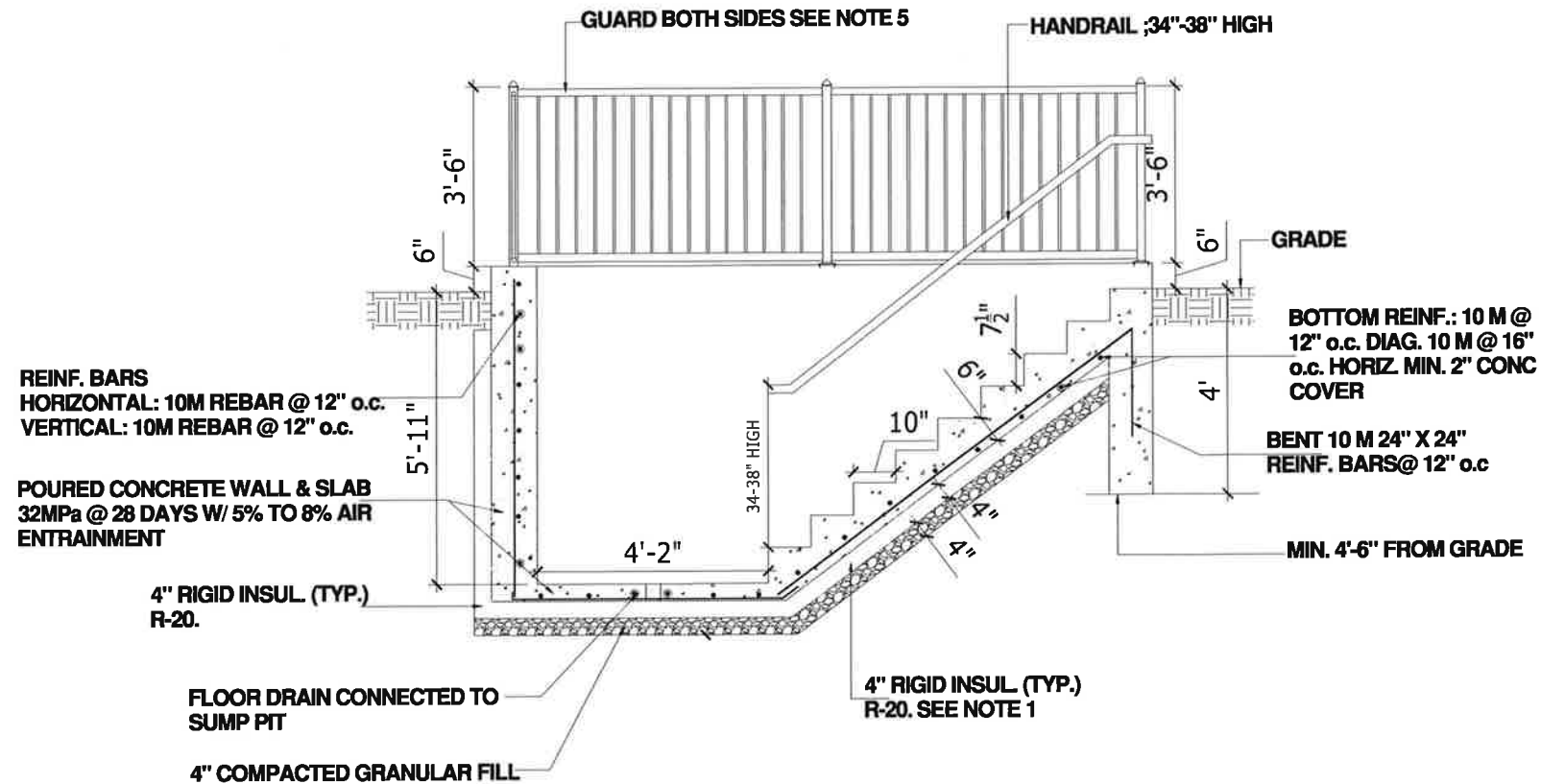
CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
A-8	JAN 2023
	SCALE 3/8"=1'-0"





## SECTION A-A



**RG PERMITS**

SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
 SECONDARY UNIT WITH  
 BELOW GRADE ENTRANCE

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

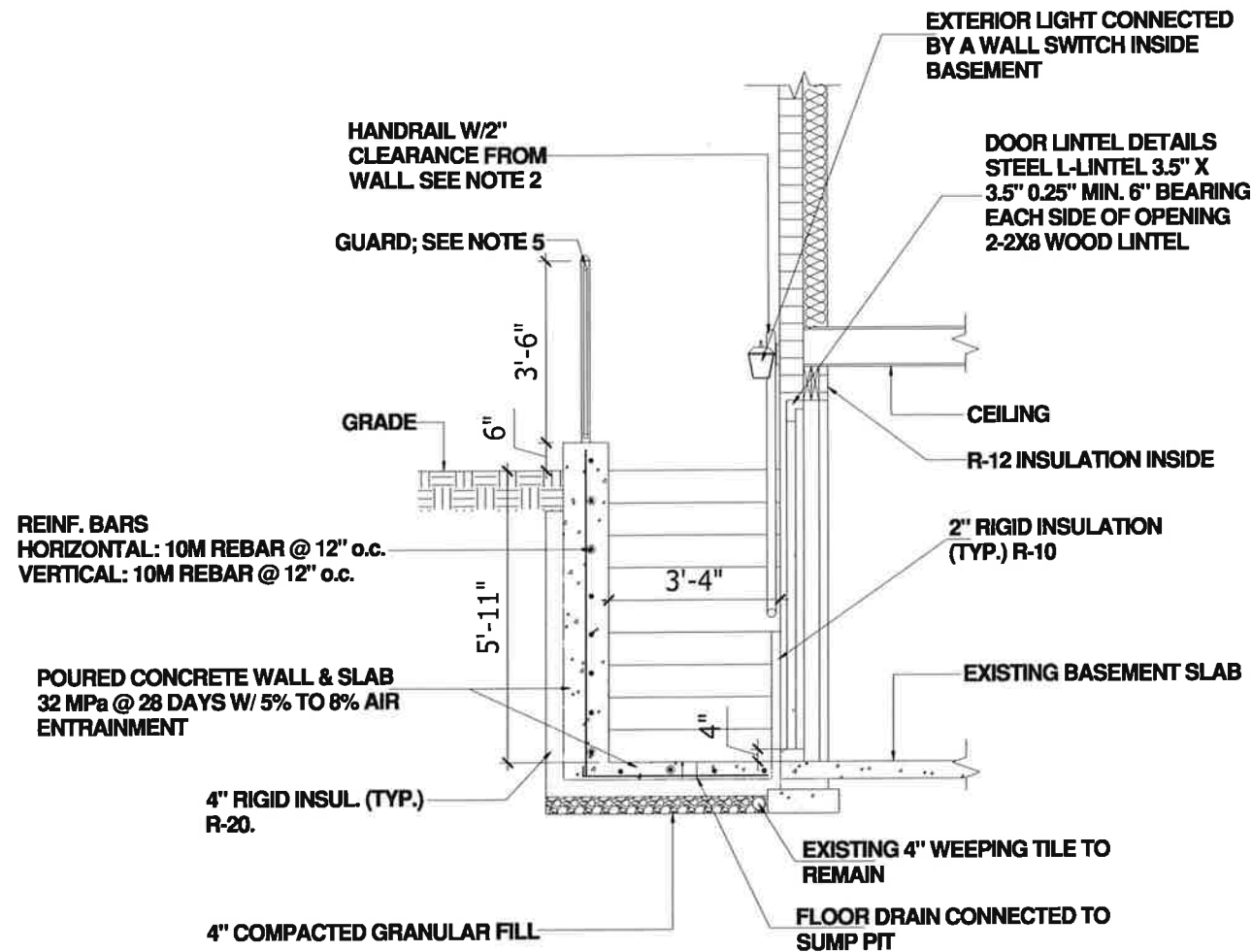
SECTION A-A

CITY : BRAMPTON

48 MADRAS PLACE

EXISTING DWELLING

SHEET	PROJECT
<b>A-9</b>	JAN 2023
	SCALE 3/8"=1'-0"



## SECTION B-B



RG PERMITS

SCOPE OF WORK

PROPOSAL TO CONSTRUCT  
SECONDARY UNIT WITH  
BELOW GRADE ENTRANCE

GENERAL NOTES

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NO	REVISION / ISSUE	DATE

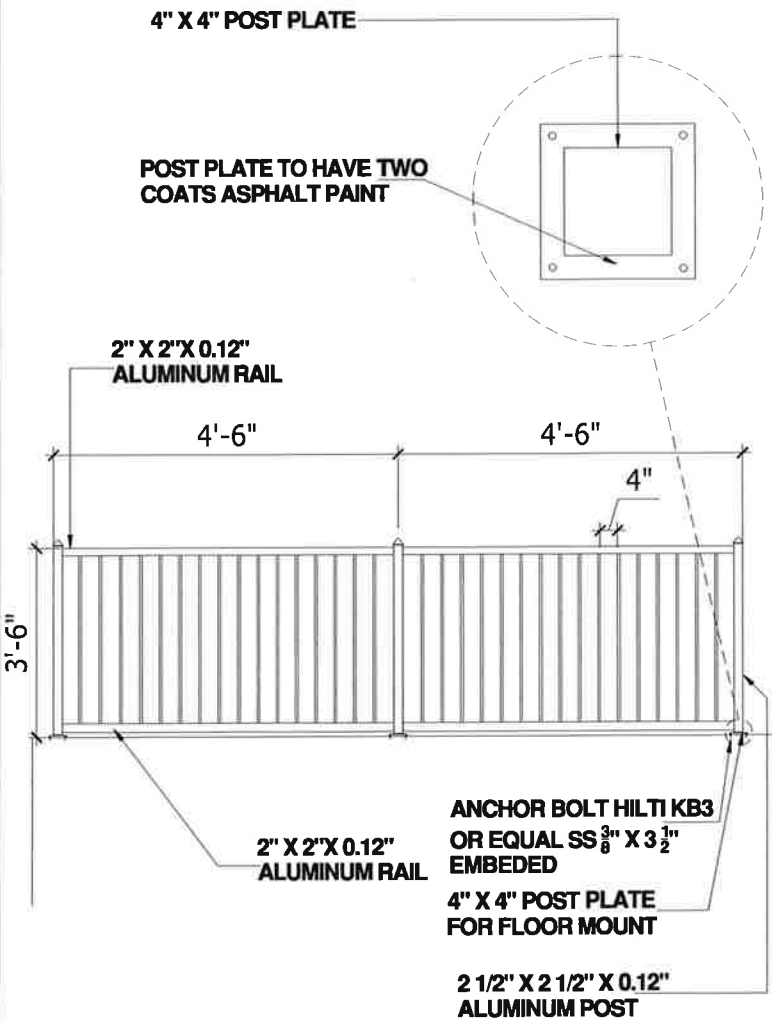
SECTION B-B

CITY : BRAMPTON

48 MADRAS PLACE

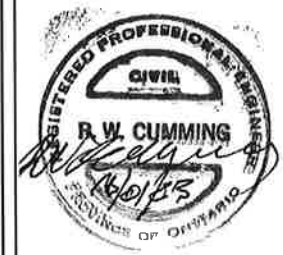
EXISTING DWELLING

SHEET	PROJECT
A-10	JAN 2023
	SCALE 3/8"=1'-0"



# GUARDRAIL DETAILS

- 1 FOOTINGS:**  
FOOTINGS SHALL REST ON NATURAL UNDISTRUBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 kPa
- 2 HANDRAILS**  
HANDRAILS SHOULD BE BETWEEN 34 TO 38 IN ABOVE THE TREAD AT THE LEADING EDGE LINE.  
2 IN CLEARANCE FROM THE WALL IS REQUIRED  
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD  
BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.
- 3 EXTERIOR ST AIRS**  
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM  
10" RUN MINIMUM 14" MAXIMUM  
10" TREAD MINIMUM 14" MAXIMUM
- 4 RETAINING WALL**  
10" POURED CONCRETE WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @ 12" o.c. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 4'-7".
- 5 GUARDS (PRE-ENGINEERED)**  
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"  
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- 6 LIGHT**  
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
- 7 EXTERNAL DOOR**  
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9. 7.3  
INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOORS SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS.  
ALL UNFINISHED PORTIONS OF THE GRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.
- 8 INSULATION DETAILS**  
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
  - STYROFOAM™ Brand SM Extruded Polystyrene Foam Insulation
  - RSI value of 0.87/25 mm [R-5 PER 1 INCH]
  - Board Size: [as indicated on Drawings].
  - Compressive Strength: 210 kPa
  - Draining Capacity: > 0.72 m3/hr/m
- 9 INSULATION FINISHING**  
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4 FT ABOVE EXISTING FOOTING  
INSULATIONS TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD  
INSTALL 2 1/2" GALVANIZED 'J' TRACK TO SECURE AND PROTECT ALL EXPOSED EDGES  
ALL JOINTS TO THE EXISTING WALL AND NEW STEPS MUST BE CAULKED  
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



RG PERMITS

SCOPE OF WORK  
PROPOSAL TO CONSTRUCT  
SECONDARY UNIT WITH  
BELOW GRADE ENTRANCE

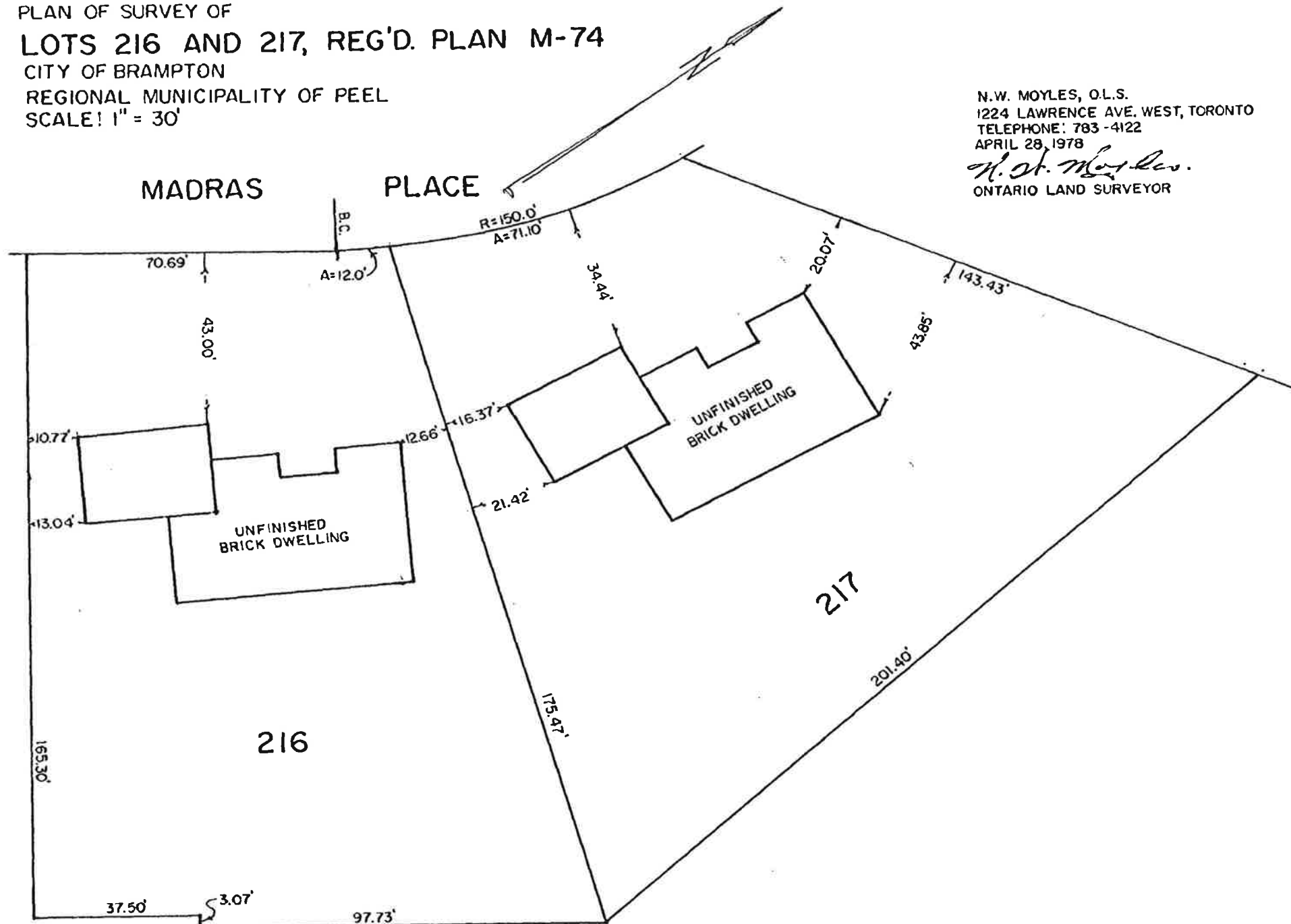
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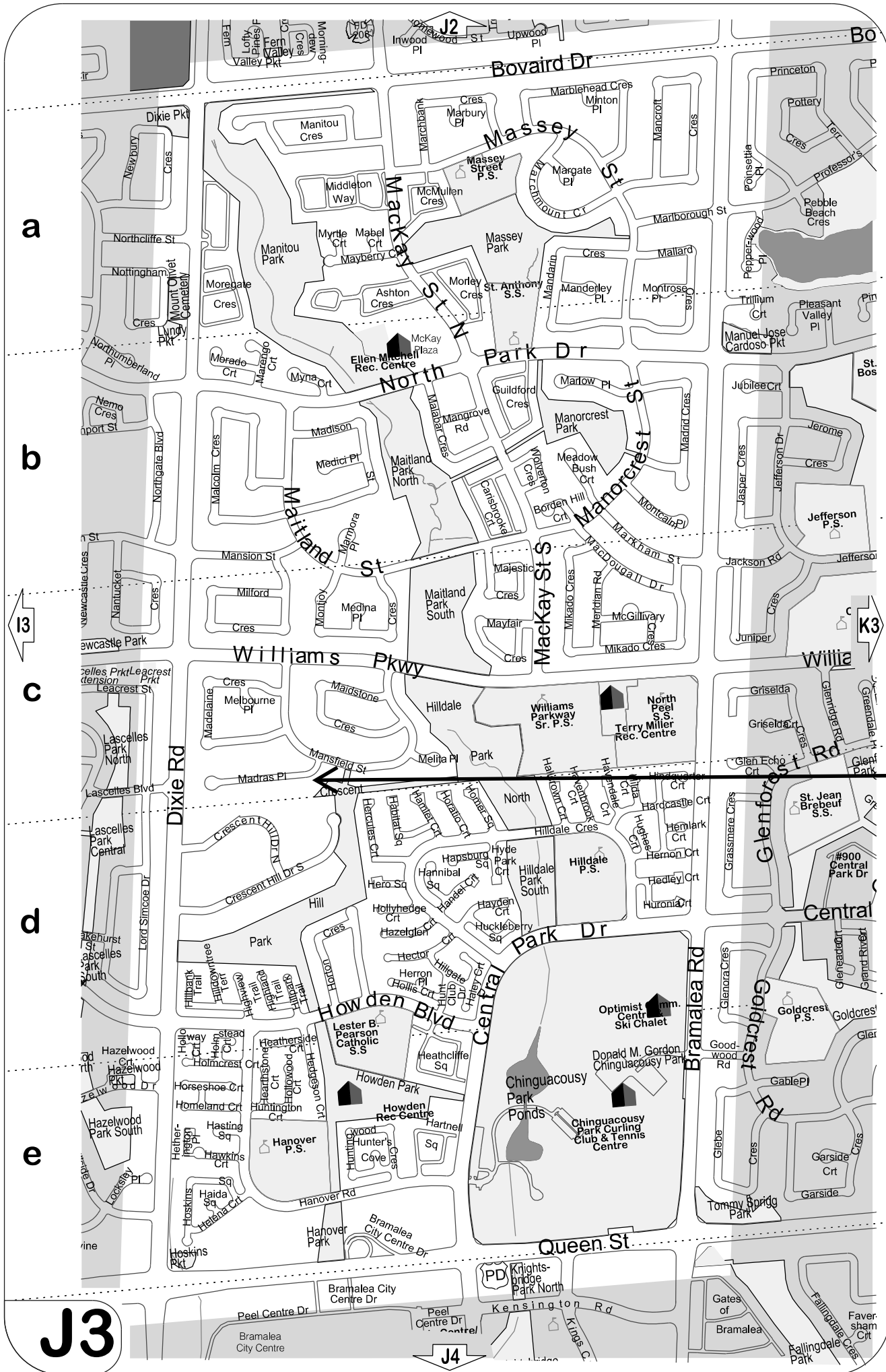
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NOTES	
CITY : BRAMPTON	
48 MADRAS PLACE	
EXISTING DWELLING	
SHEET	PROJECT
A-11	JAN 2023
	SCALE 3/16"=1'-0"

PLAN OF SURVEY OF  
LOTS 216 AND 217, REG'D. PLAN M-74  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL  
SCALE: 1" = 30'

N.W. MOYLES, O.L.S.  
1224 LAWRENCE AVE. WEST, TORONTO  
TELEPHONE: 783-4122  
APRIL 28, 1978  
*N.W. Moyles*  
ONTARIO LAND SURVEYOR





A-2023-0095