

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GAURAV BATRA AND DIVYA BATRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 229, Plan 608 municipally known as **5 KINGSMERE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an interior side yard setback of 1.52m (5.0 ft) to a proposed two story addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft) to the second storey;
2. To permit lot coverage of 34% whereas the by-law permits a maximum lot coverage of 30%.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 9, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

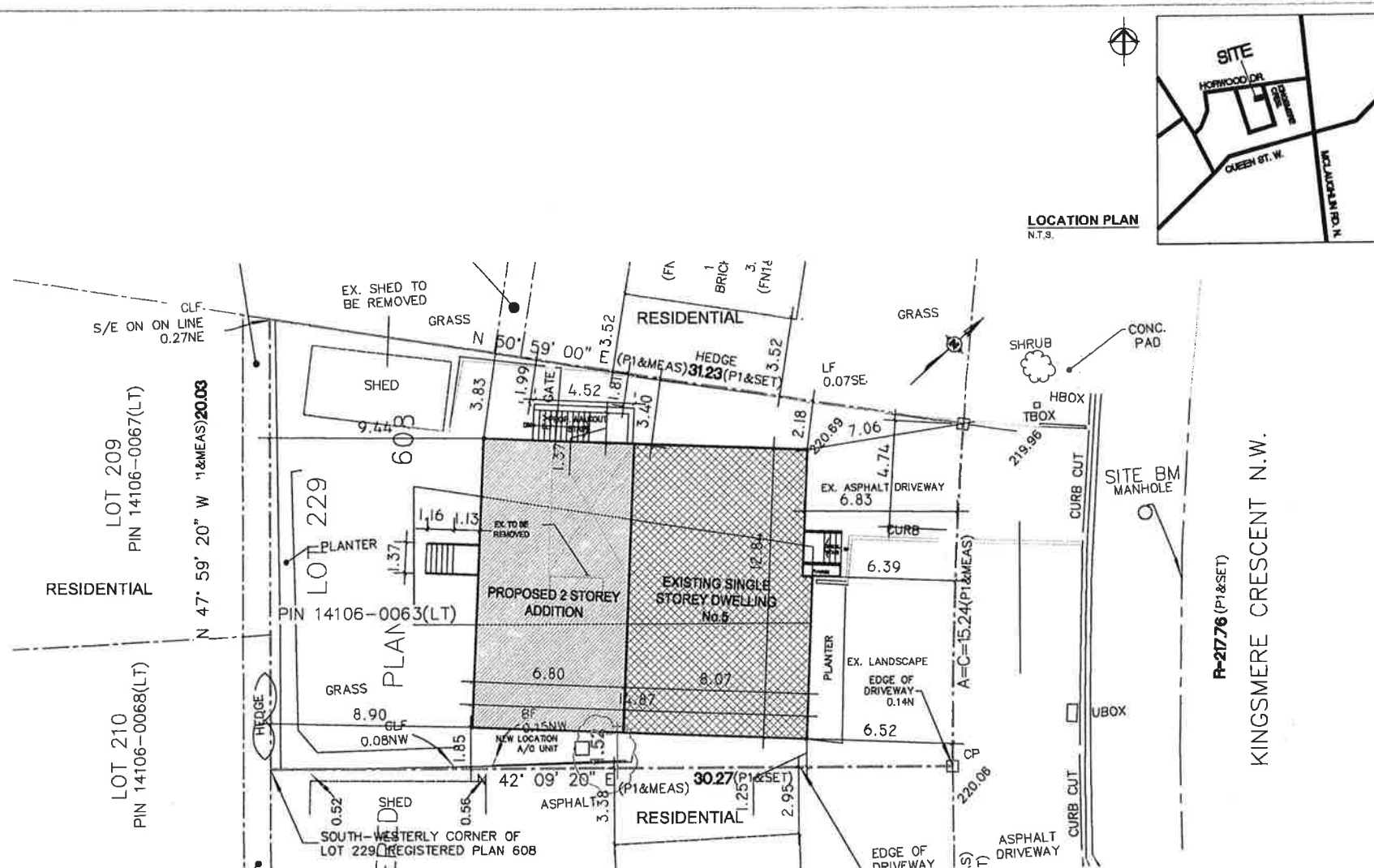
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 27th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca



LOCATION PLAN
N.T.S.



LEGAL DESCRIPTION
LOT 229,
REGISTERED PLAN 608
CITY OF BRAMPTON

SURVEY INFORMATION
WAS TAKEN FROM SURVEY
PREPARED BY:
AK & M SURVEYING LTD.
DATED FEB. 17, 2022
15 GREAT PLAINS ST.
BRAMPTON, ON L6R 1Z5
TEL: 647-914-3361

SITE SUMMARY -			
ZONING : R1B (RESIDENTIAL)			
TOTAL SITE AREA: 537.69 sm (0.13 ac)			
BUILDING COVERAGE 182.95 sm (1,965 sf)			
(34% of LOT AREA)			
EXISTING AREA 97.27 sm (1,047 sf)			
PROPOSED ADDITION 85.28 sm (918 sf)			
BUILDING G.F.A.:			
EX. FLOOR AREA			
GROUND FLOOR 97.27 sm (1,047 sf)			
PROP. ADDITION			
GROUND FLOOR 85.28 sm (918 sf)			
SECOND FLOOR 85.28 sm (918 sf)			
TOTAL G.F.A. 267.83 sm (2,883 sf)			
BASEMENT AREA 182.95 sm (1,965 sf)			
EX. AREA 97.27 sm (1,047 sf)			
PROP. ADDITION 85.28 sm (918 sf)			
PROPOSED ADDITION			
BASEMENT FLOOR 85.28 sm (918 sf)			
GROUND FLOOR 85.28 sm (918 sf)			
SECOND FLOOR 85.28 sm (918 sf)			
TOTAL: 255.84 sm (2,754 sf)			
SETBACKS (REAR ADDITION)			
FRONT			
SIDE (NORTH)			
SIDE (WEST)			
REAR			
REQ'D			
PROV'D			
N/A			
1.2 m			
1.2 m			
7.6 m			
N/A			
3.06 m			
1.67 m			
8.90 m			

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FOR RECORD & OF R. E. 2022.

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THE ENGINEER'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID FOR THIS SERVICE. THE ENGINEER'S LIABILITY IS NOT LIMITED BY THIS STATEMENT.

REVISIONS	
001	FILE APPROVED
FOR CLIENT'S REVIEW	
002	JULY 22/2022
SUBMIT FOR PERMIT APPROVAL	
003	
004	
005	

INERAN KHAN,
ARCHITECT

1988 PARKSIDE DRIVE, PROGRESS, ONTARIO L7Y 3M8
EMAIL: ineran@ineran.ca, Tel: (416) 583-7382

 Ineran Khan & Associates
25 Dufferin Crescent
Aurora, Ontario L1T 4Y6
Tel: 647 (699) 7180
ineran.khan@ineran.ca



DRAWING

PROPOSED
2-STORY HOUSE
23 THATCHER AVE.
TORONTO, ONTARIO

RENOR & ASSOCIATES INC

DRAWN	PROJECT NO
TANVER	22-04

PLOTTED DATE	DRAWING NO
SEPT. 2022	A-1

SCALE 1:100

DRAWING

PROPOSED SITE PLAN

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

April 25, 2023

To: Committee of Adjustment
GAURAY BATRA AND DIVYA BATRA
LOT 229, PLAN 608
A-2023-0089 – 5 KINGSMERE CRESCENT

Please **amend** application **A-2023-0089** to reflect the following:

1. To permit an interior side yard setback of 1.52m (5.0 ft) to a proposed two story addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft) to the second storey;
2. To permit lot coverage of 34% whereas the by-law permits a maximum lot coverage of 30%.



Applicant/Authorized Agent

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) GAURAV BATRA AND AND DIVYA BATRA

Address 5 KINGSMERE CRES. BRAMPTON, ON M1M 3B3

Phone # 905-601-8582 Fax #

Email gauravbatra.canada@gmail.com

2. Name of Agent IMRAN KHAN

Address 1906 PARKSIDE DR. , PICKERING, ON L1V 3N5

Phone # 416-662-7593 Fax #

Email IKHANARCH@GMAIL.COM

3. Nature and extent of relief applied for (variances requested):

A setback of 1.8m is required to the second storey whereas a setback of 1.52m has been proposed for the west side.

4. Why is it not possible to comply with the provisions of the by-law?

Proposed 1.52m does not comply with the current zoning by-law as proposed for the west side.

5. Legal Description of the subject land:

Lot Number 251

Plan Number/Concession Number 608

Municipal Address 5 KINGSMERE CRES.

6. Dimension of subject land (in metric units)

Frontage 15.24 m

Depth 30.05 m

Area 539.95

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing one-storey brick building of 97.27 sm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

2- storey addition to the existing building of 170.56 sm and 85.28 sm of basement area

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.35 m
Rear yard setback	12.42 m
Side yard setback	1.24 m
Side yard setback	2.52 m

PROPOSED

Front yard setback	N/A
Rear yard setback	9.12 m
Side yard setback	1.52 m for the addition
Side yard setback	1.81 m for the addition

10. Date of Acquisition of subject land: 2018
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1982
15. Length of time the existing uses of the subject property have been continued: 41

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

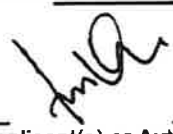
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF PICKERING _____

THIS 31 DAY OF MARCH, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, IMRAN KHAN, OF THE CITY _____ OF PICKERING _____

IN THE REGION _____ OF DURHAM _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton


IN THE Region OF

Peel THIS 31 DAY OF

March, 2023


A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

March 31, 2023

Date

DATE RECEIVED

March 31, 2023

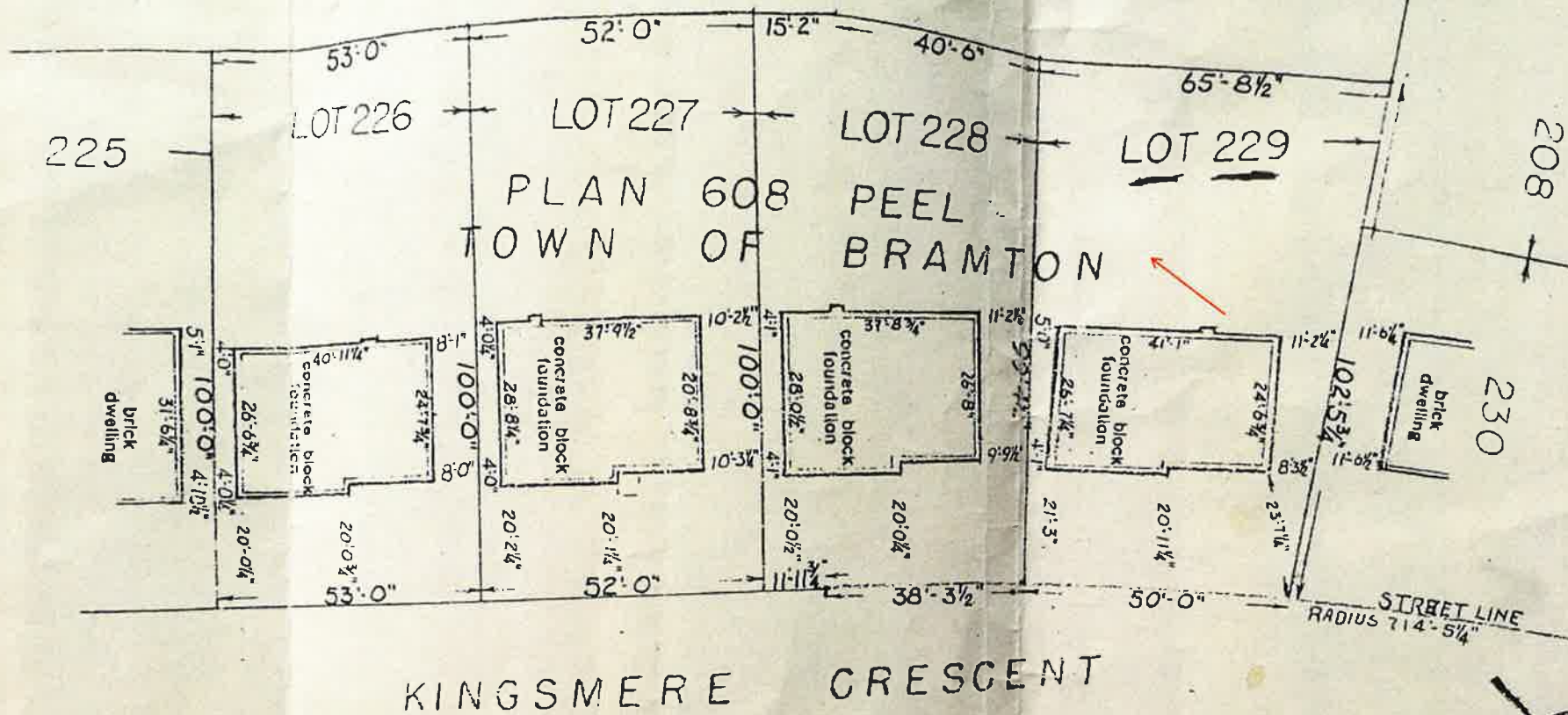
Date Application Deemed
Complete by the Municipality

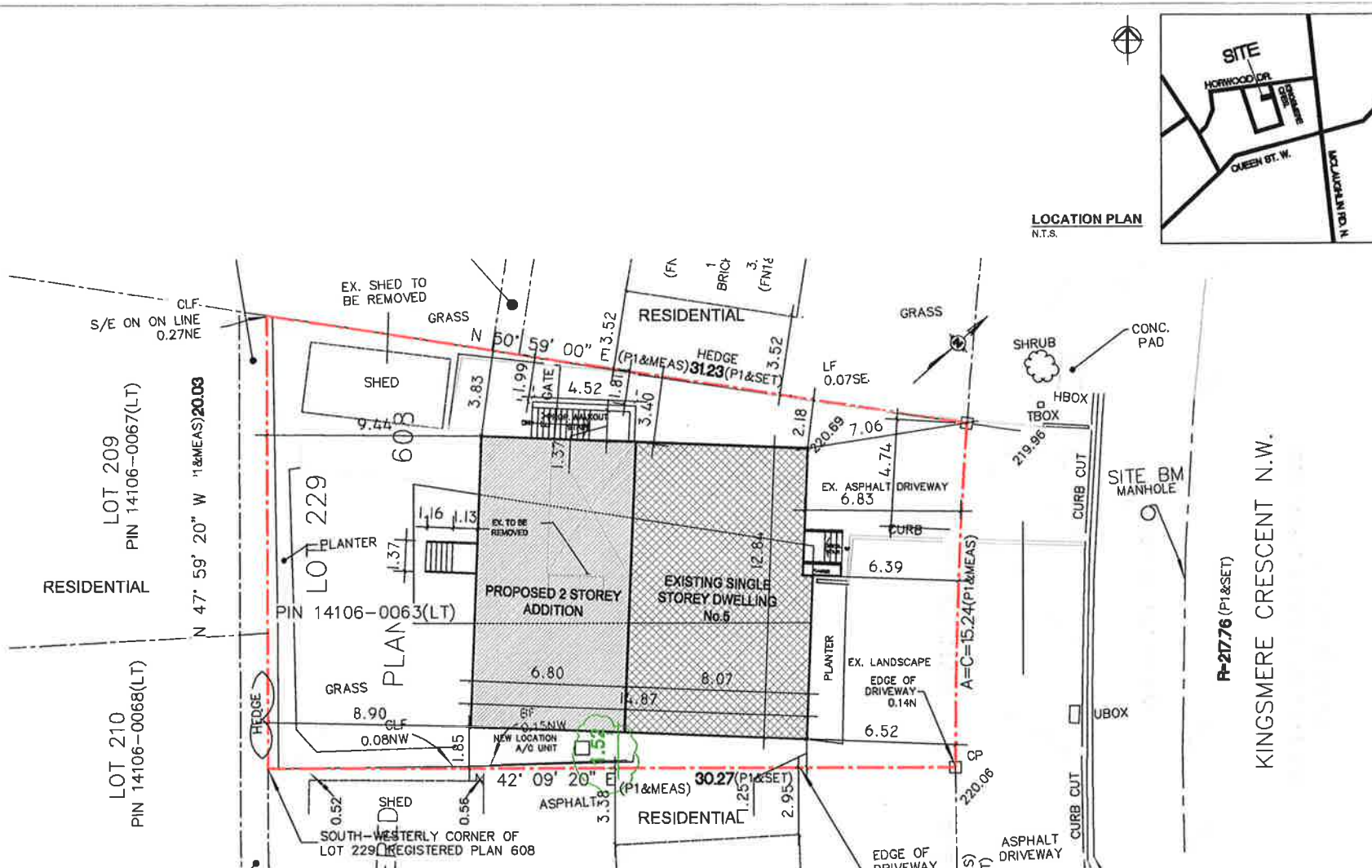
WEISS BROS CONSTR

DATE.....10 NOV. 1959.....JOB No.....T59.271.....

LEWELL AND SEWELL
ONTARIO LAND SURVEYORS
King St. " Toronto EM. 4-2865

W. H. Sewell





LOCATION PLAN
N.T.S.



LEGAL DESCRIPTION
LOT 229,
REGISTERED PLAN 608
CITY OF BRAMPTON

SURVEY INFORMATION
WAS TAKEN FROM SURVEY
PREPARED BY:
AK & M SURVEYING LTD.
DATED FEB. 17, 2022
15 GREAT PLAINS ST.
BRAMPTON, ON L6R 1Z5
TEL: 647-914-3361

SITE SUMMARY -
ZONING : R1B (RESIDENTIAL)
TOTAL SITE AREA: 637.69 sm (0.13 ac)
BUILDING COVERAGE 182.95 sm (1,965 sf)
(34% of LOT AREA)
EXISTING AREA 97.27 sm (1,047 sf)
PROPOSED ADDITION 85.28 sm (918 sf)

BUILDING G.F.A.:
EX. FLOOR AREA
GROUND FLOOR 97.27 sm (1,047 sf)
PROP. ADDITION
GROUND FLOOR 85.28 sm (918 sf)
SECOND FLOOR 85.28 sm (918 sf)
TOTAL G.F.A. 267.83 sm (2,883 sf)

BASEMENT AREA 182.95 sm (1,965 sf)
EX. AREA 97.27 sm (1,047 sf)
PROP. ADDITION 85.28 sm (918 sf)

PROPOSED ADDITION
BASEMENT FLOOR 85.28 sm (918 sf)
GROUND FLOOR 85.28 sm (918 sf)
SECOND FLOOR 85.28 sm (918 sf)
TOTAL: 255.84 sm (2,754 sf)

SETBACKS (REAR ADDITION)	REQ'D	PROVD
FRONT	N/A	N/A
SIDE (NORTH)	1.2 m	3.06 m
SIDE (WEST)	1.2 m	1.57 m
REAR	7.6 m	8.90 m

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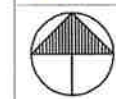
revisions

001	2/18/2022
002	2/18/2022
003	
004	
005	

IMRAN KHAN,
ARCHITECT

1986 PARKWAY DRIVE, PICKERING, ONTARIO L3V 8H9
EMAIL: imran@imranchan.com, Tel: (416) 882-7003

Chen Tuckwell & Associates
300 Spadina Avenue, Suite 1100
Toronto, Ontario M5T 2C1
Tel: 416 593 7180
email: engineers@ctawill.com

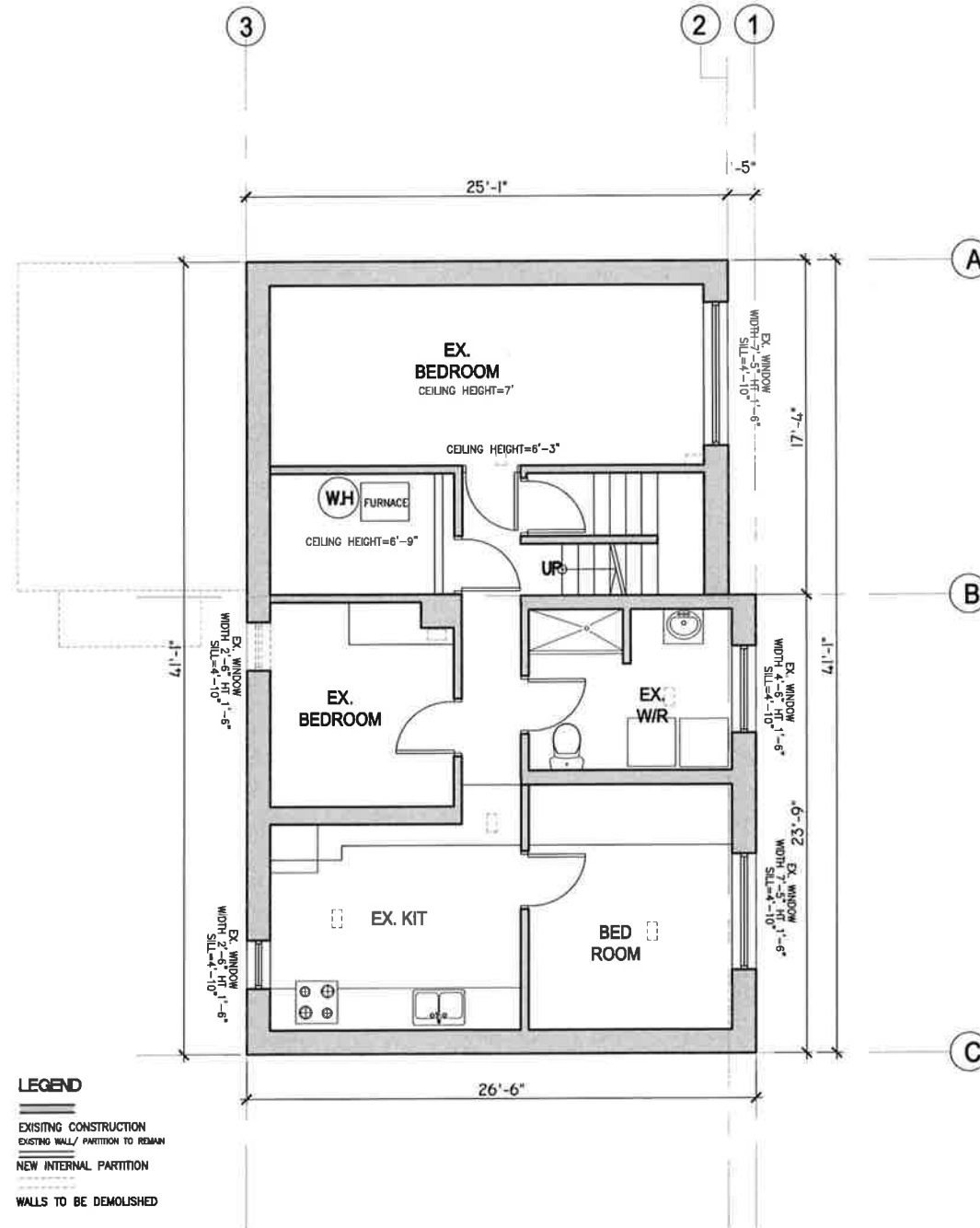


DRAWING
PROPOSED
2-STORY HOUSE
23 THATCHER AVE.
TORONTO, ONTARIO

RENOR & ASSOCIATES INC

DRAWN TANVIR	PROJECT NO. 22-04
PLOTTED DATE SEP. 2022	DRAWING NO. A-1
SCALE 1:100	

DRAWING
PROPOSED SITE PLAN



THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF IMRAN KHAN ARCHITECT. THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY IMRAN KHAN ARCHITECT OF ANY DISCREPANCIES FROM THE SUPPLIED DIMENSIONS.

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THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR LANDSCAPE DIMENSIONS. NOTES TO THE ARCHITECT'S WORK, CONSULTANT'S DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONTRACTOR MUST COMPLY TO ALL APPLICABLE CODES AND REGULATIONS OF AUTHORIZED HAVING JURISDICTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SPECIFICALLY NOTED DIMENSIONS. THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY CORRECTIONS OR CHANGES RESULTING FROM HIS WORK.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

revisions	
001	OCT. 26, 2023
NO. 001: 21-93	
002	NO. 002: 21-93
NO. 002: 21-93	
NO. 002: 21-93	

IMRAN KHAN
ARCHITECT

1806 PARKSIDE DRIVE, PICKERING, ONTARIO L1V 3H8
EMAIL: imran@imranarchitect.com Tel: (416) 682-7003



Ehsan Tawfik & Associates
58 Granger Crescent
Aurora, Ontario L1T 4Y6
Tel: 647 (999) 7160
email: engineers@rogers.com

RENOR & ASSOCIATE INC

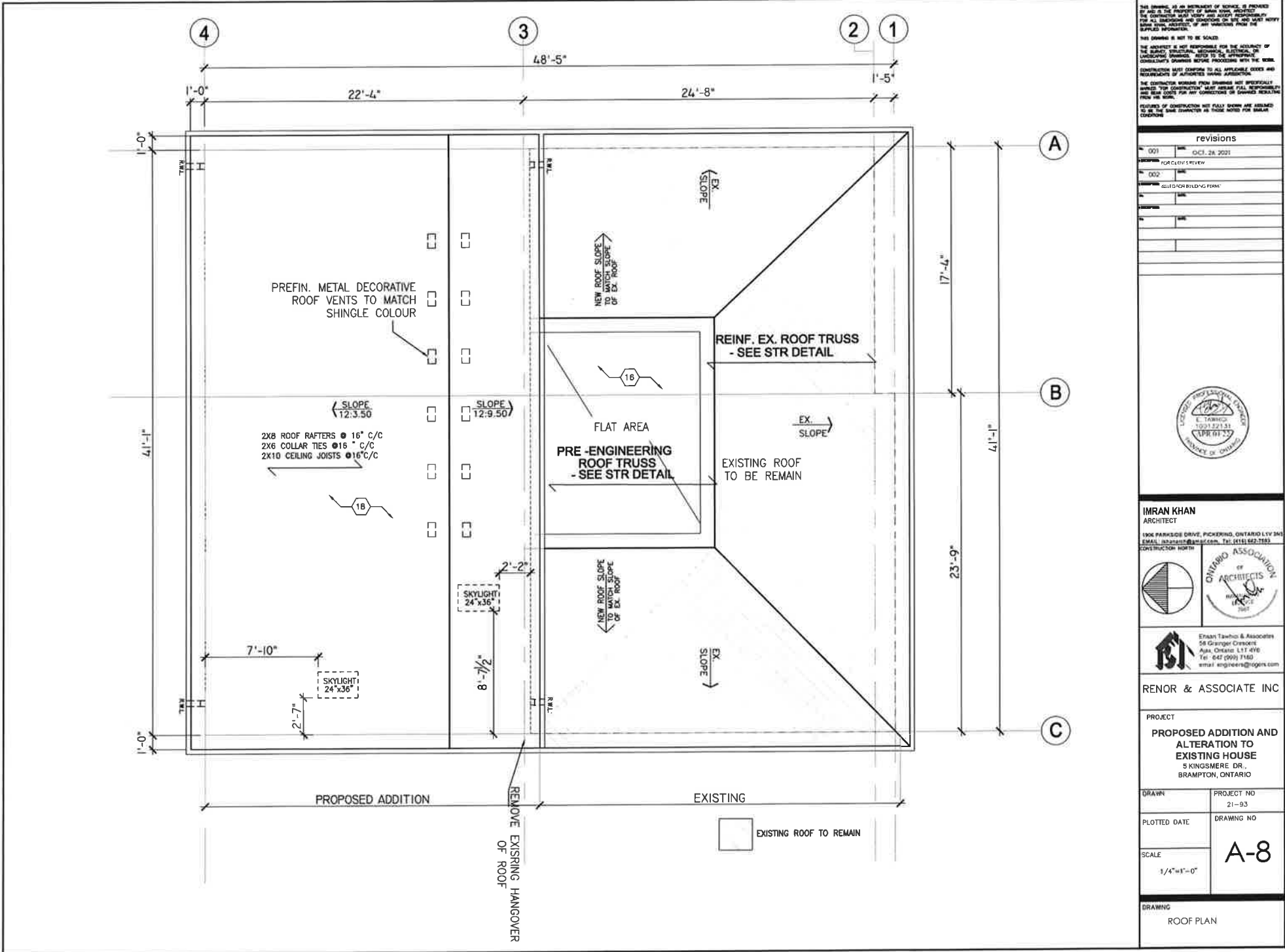
PROJECT

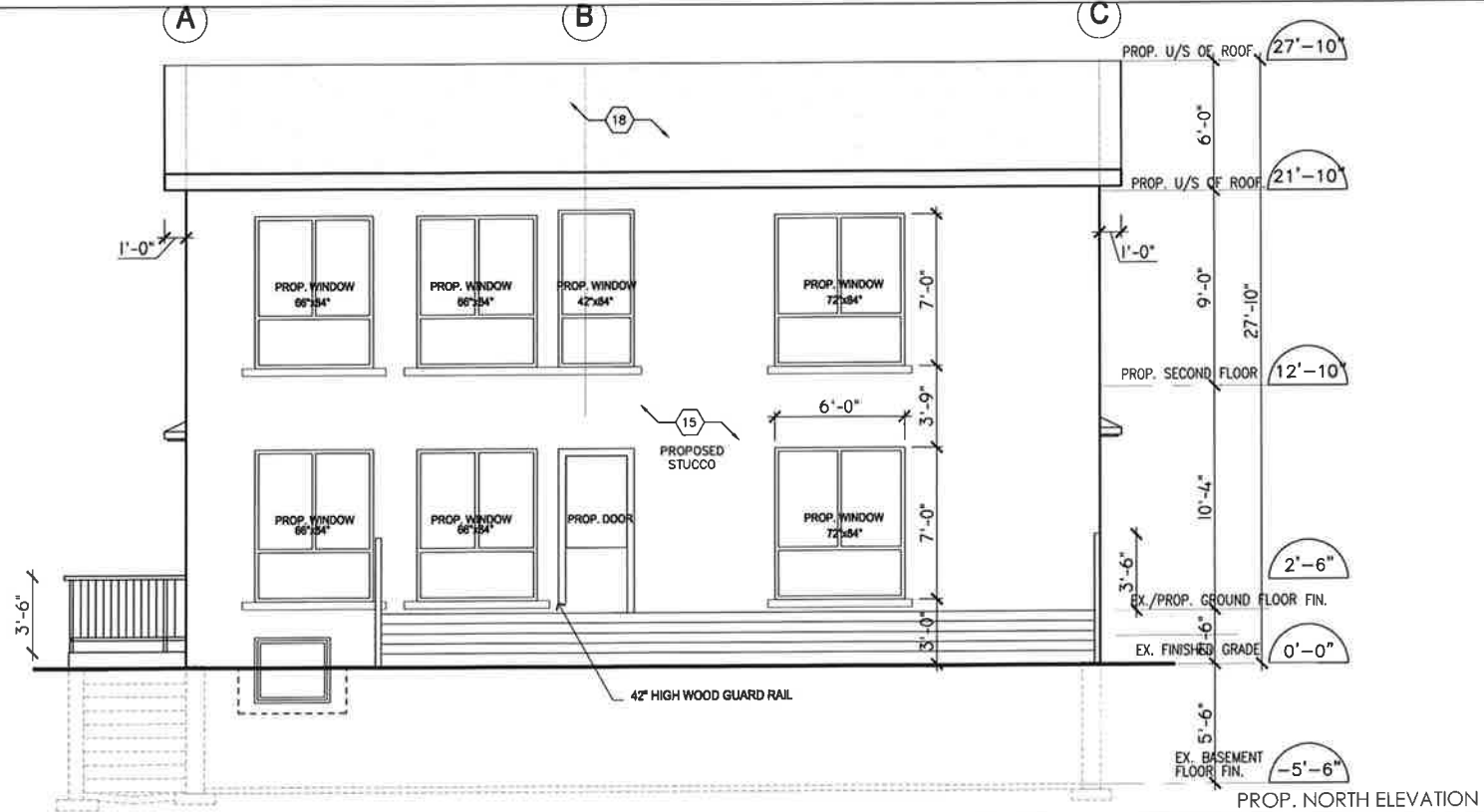
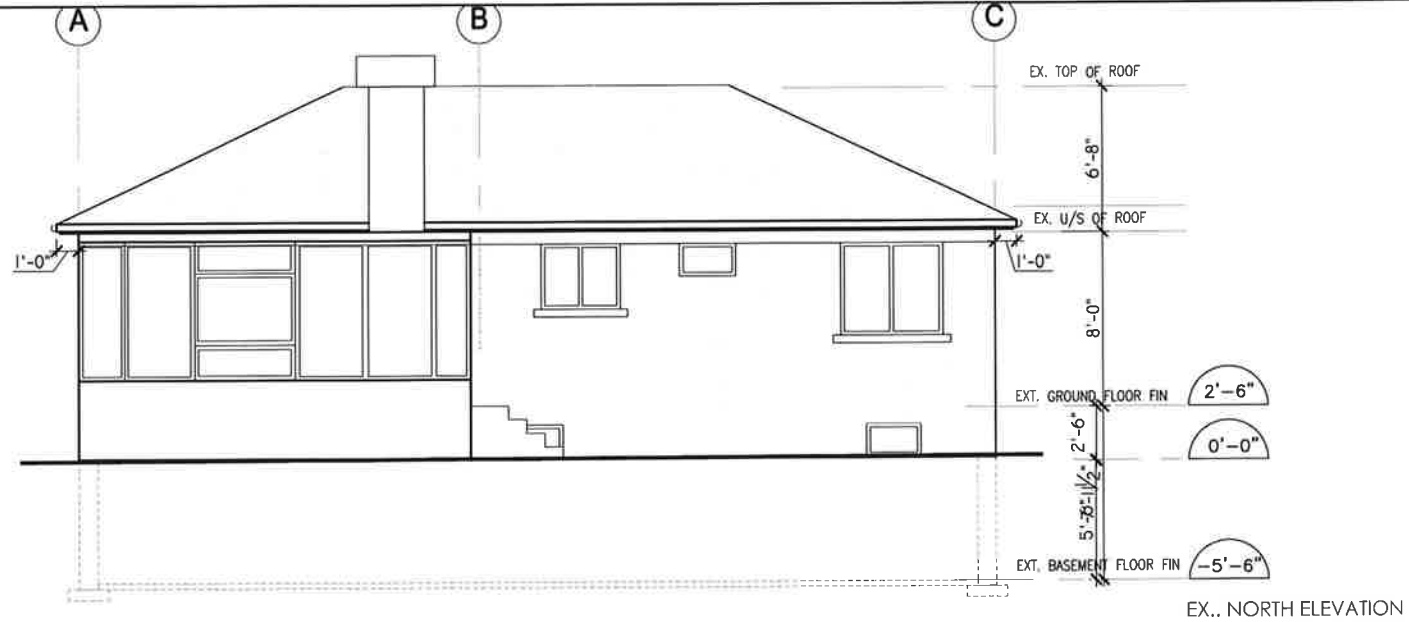
PROPOSED ADDITION AND ALTERATION TO EXISTING HOUSE
5 KINGSME CRES.
BRAMPTON, ONTARIO

DRAWN	PROJECT NO
ARGHAVON	21-93
PLOTTED DATE	DRAWING NO
SCALE	A-3
1/4"=1'-0"	

DRAWING

EX. BASEMENT FLOOR
DEMOLITION PLAN





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CONTRACTOR MUST COMPLY TO ALL APPLICABLE CODES AND REQUIREMENTS OF APPLICABLE LOCAL JURISDICTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFICALLY MARKED THIS CONSTRUCTION. MUST ASSUME FULL RESPONSIBILITY AND SIGN COPIES FOR ANY CORRECTIONS OR DAMAGE INCURRED FROM HIS WORK.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

revisions	
001	CHG. 26, 2021
FOR CLIENT'S REVIEW	
002	
BE ISSUED FOR BUILDING PERMIT	

IMRAN KHAN
ARCHITECT

1806 PARKSIDE DRIVE, PICKERING, ONTARIO L1V 1M6
TEL: 416-882-7943
EMAIL: imk@imkarchitect.com



Engineers & Associates
59 Gillingham Crescent
Ajax, Ontario L1T 4Y6
Tel: 416-299-7190
Email: engineers@oggs.com

RENOR & ASSOCIATE INC

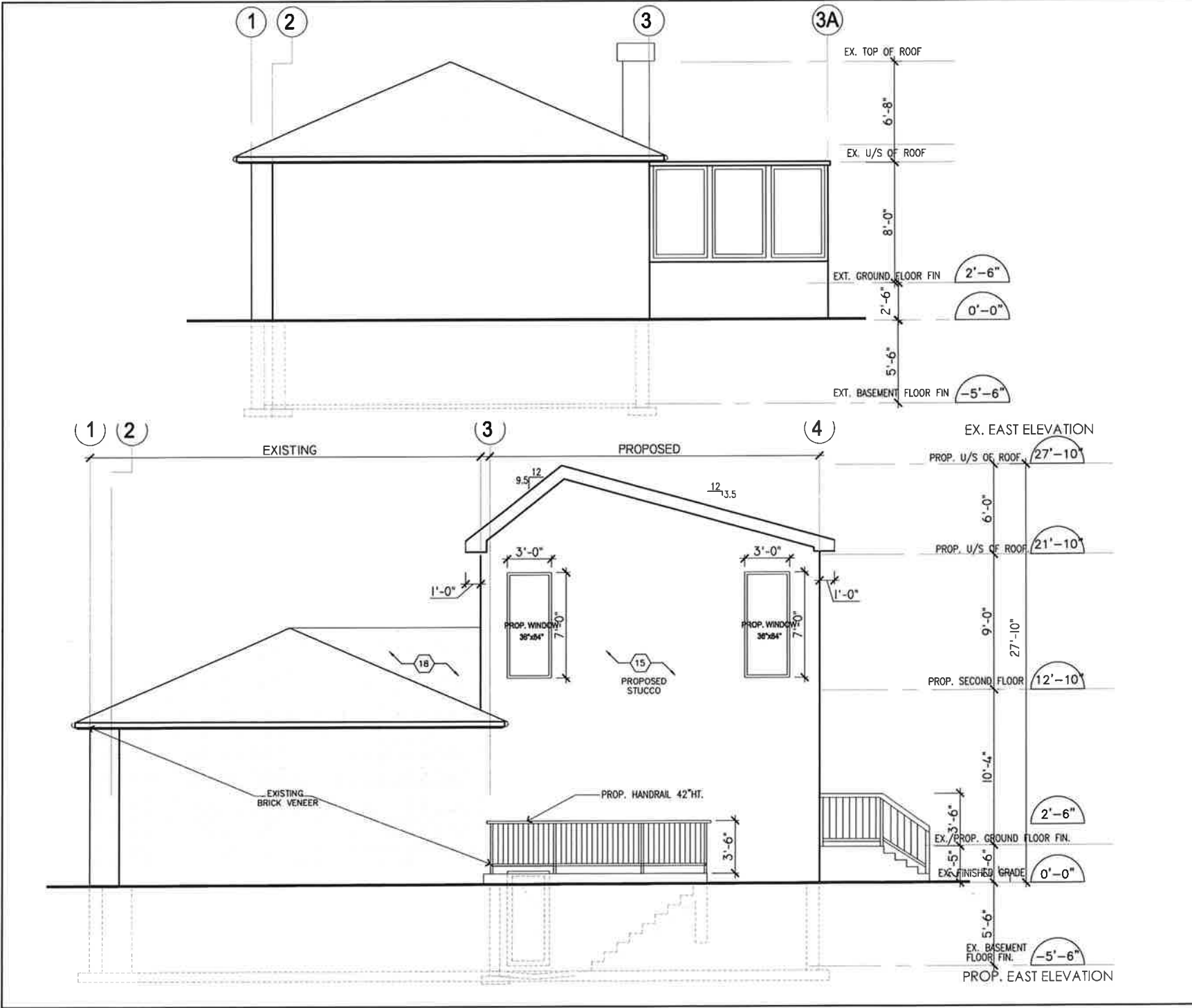
PROJECT

PROPOSED ADDITION AND ALTERATION TO EXISTING HOUSE
5 KINGSMEERE DR.,
BRAMPTON, ONTARIO

DRAWN	PROJECT NO 21-93
PLOTTED DATE	DRAWING NO A-9
SCALE	1/4"=1'-0"

DRAWING

PROP. AND EX. NORTH ELEVATIONS



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revisions	
NO.	DATE
001	OCT. 26, 2021
FOR CLIENT'S REVIEW	
002	DEC. 1, 2021
FOR CLIENT'S REVIEW	
003	DEC. 1, 2021
FOR CLIENT'S REVIEW	
004	DEC. 1, 2021
FOR CLIENT'S REVIEW	
005	DEC. 1, 2021
FOR CLIENT'S REVIEW	
006	DEC. 1, 2021
FOR CLIENT'S REVIEW	
007	DEC. 1, 2021
FOR CLIENT'S REVIEW	
008	DEC. 1, 2021
FOR CLIENT'S REVIEW	
009	DEC. 1, 2021
FOR CLIENT'S REVIEW	
010	DEC. 1, 2021
FOR CLIENT'S REVIEW	

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OF
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EX-100
2021

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RENOR & ASSOCIATE INC

PROJECT

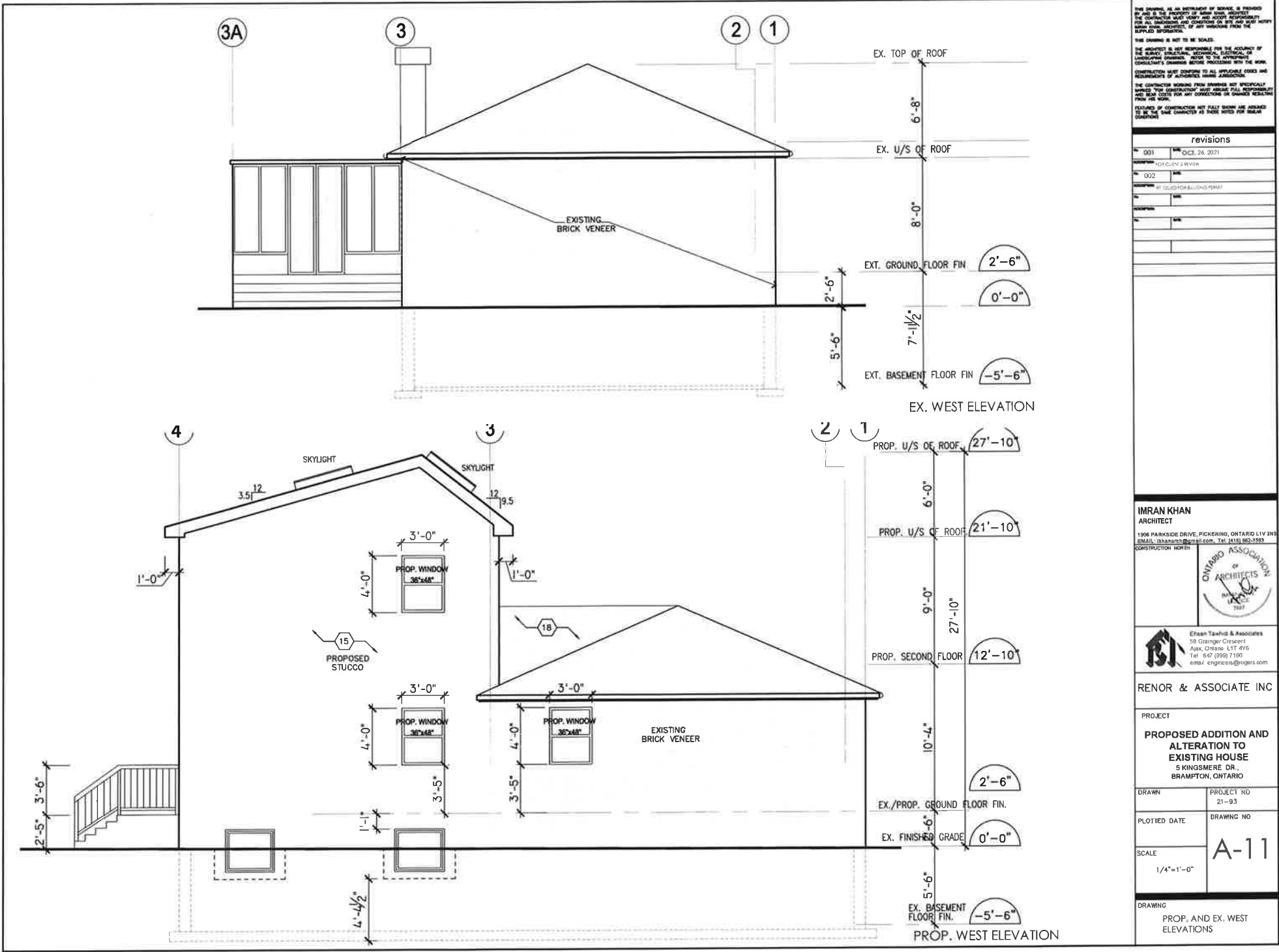
PROPOSED ADDITION AND
ALTERATION TO
EXISTING HOUSE
5 KINGSMEAD DR.
BRAMPTON, ONTARIO

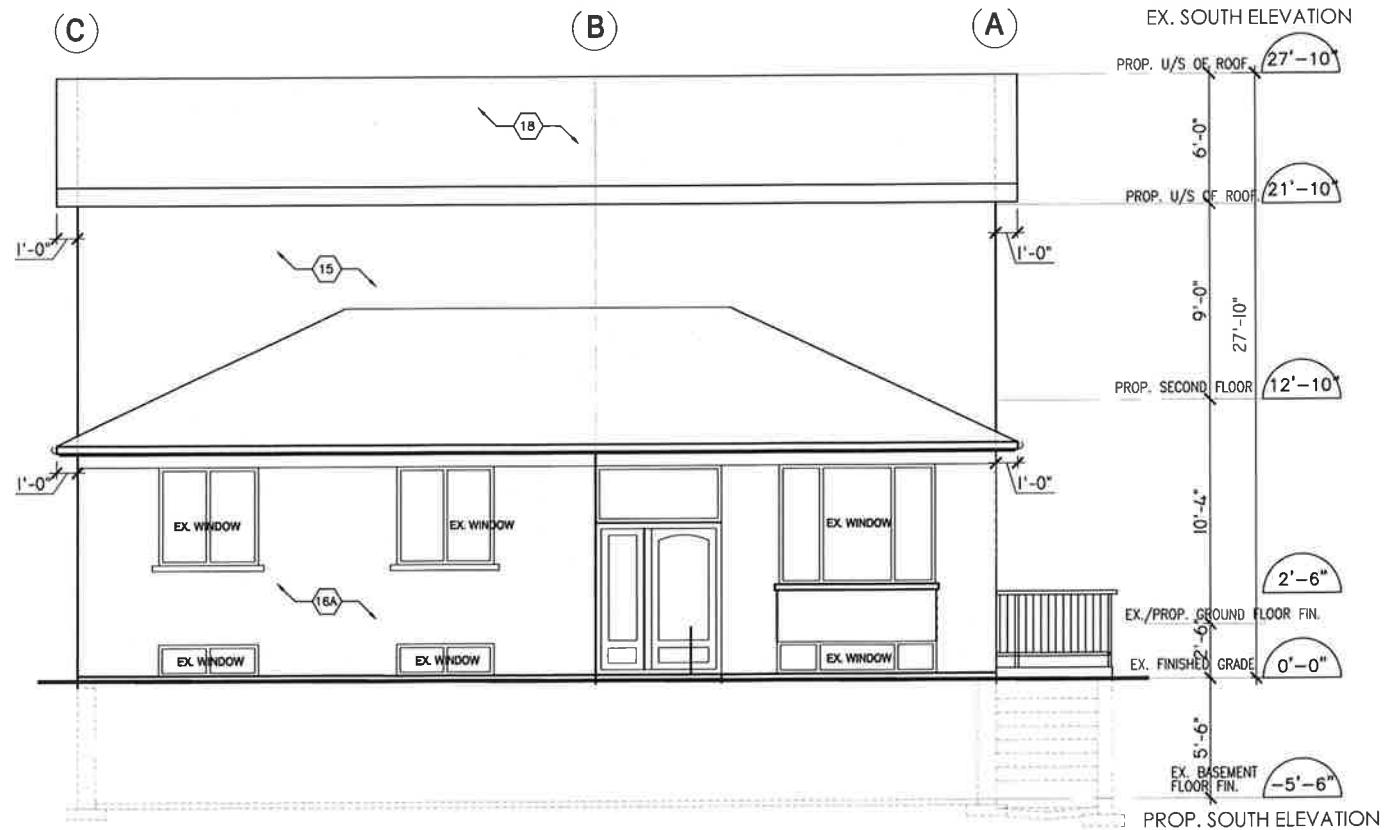
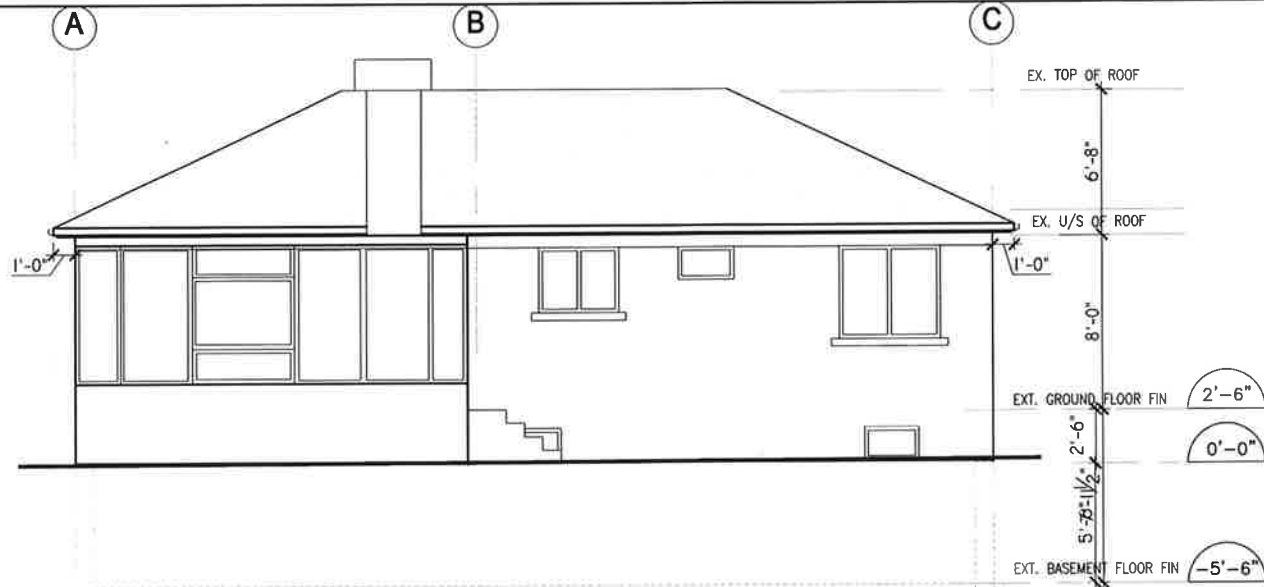
DRAWN PROJECT NO.
21-93

PLOTTED DATE DRAWING NO.

SCALE A-10
1/4"=1'-0"

DRAWING
PROP. AND EX. EAST
ELEVATIONS





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revisions	
NO.	DESCRIPTION
001	QCEC 24, 2021
002	
003	
004	
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006	
007	
008	
009	
010	

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RENOR & ASSOCIATE INC

PROJECT
PROPOSED ADDITION AND ALTERATION TO EXISTING HOUSE
5 KINGSMEAD DR.,
BRAMPTON, ONTARIO

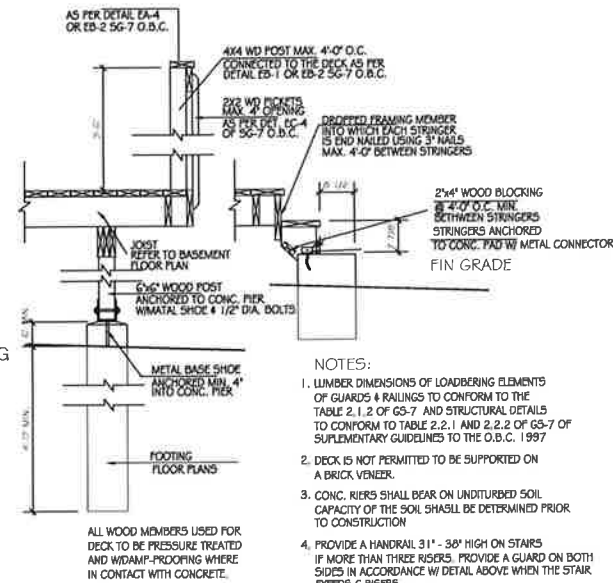
DRAWN PROJECT NO.
21-93

PLOTTED DATE DRAWING NO.

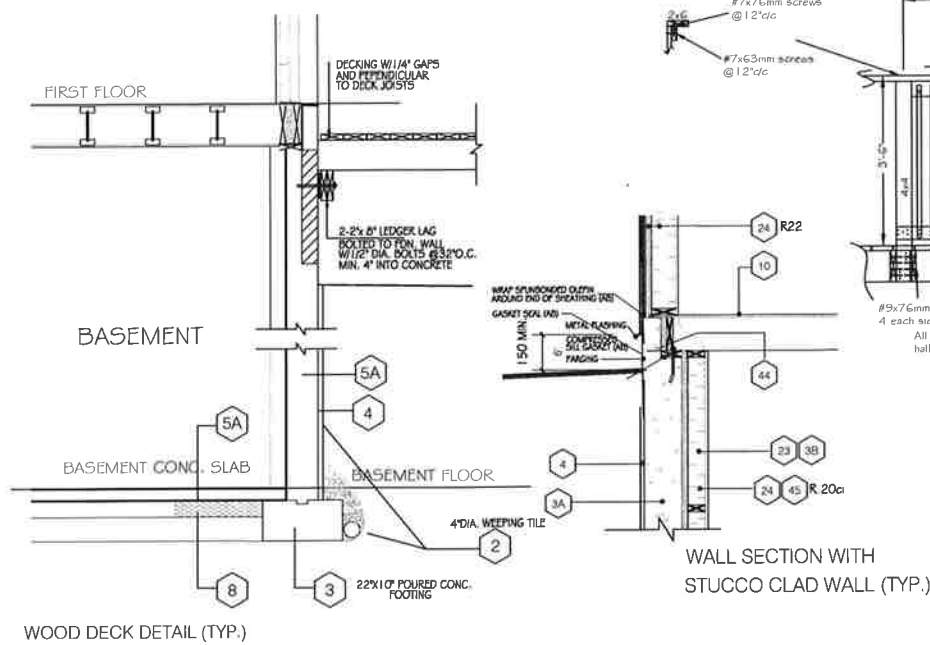
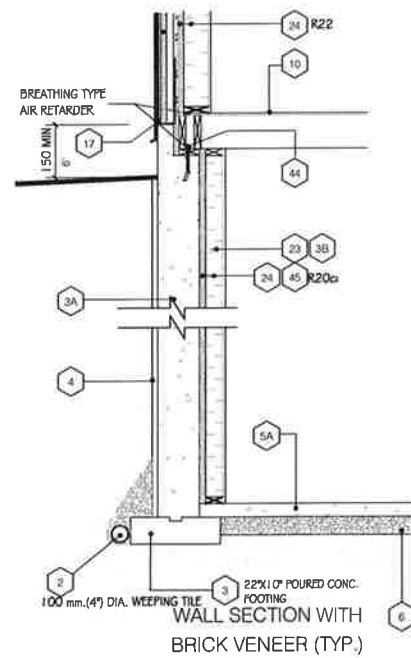
SCALE
1/4"=1'-0"

A-12

DRAWING
PROP. AND EX. SOUTH ELEVATIONS



- NOTES:**
1. MEMBER DIMENSIONS OF LOADING ELEMENTS OF GUARDS & RAILINGS TO CONFORM TO THE TABLE 2.1, 2.2 OF 65-7 AND STRUCTURAL DETAILS TO CONFORM TO TABLE 2.2.1 AND 2.2.2 OF 65-7 OF SUPPLEMENTARY GUIDELINES TO THE D.B.C. 1987
 2. DECK IS NOT PERMITTED TO BE SUPPORTED ON A BRICK VENEER.
 3. CONC. RIERS SHALL BEAR ON UNDISTURBED SOIL. CAPACITY OF THE SOIL SHALL BE DETERMINED PRIOR TO CONSTRUCTION.
 4. PROVIDE A HANDRAIL 31" - 38" HIGH ON STAIRS IF THERE ARE THREE RISERS. PROVIDE A GUARD ON BOTH SIDES IN ACCORDANCE W/ DETAIL ABOVE WHEN THE STAIR EXCEEDS 6 RISERS.



TYP. GUARD RAIL ELEV.

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CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REGULATIONS OF ANY JURISDICTION, JURISDICTION, AND/OR COUNTRY.

THE CONTRACTOR WORKING FROM DRAWINGS MUST SPECIFICALLY VERIFY THE CONSTRUCTION MUST ADEQUATE PLAC RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR OMISSIONS INCURRED FROM HIS WORK.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE SHOWN FOR SIMILAR CONDITIONS.

[illegible]

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RENOR & ASSOCIATE INC

DRAWN	PROJECT NO
ARCHAVON	21-93
PLOTTED DATE	
MAR. 10/22	
	DRAWING NO
	A-13
SCALE	
N.T.S.	

DRAWING

CONSTRUCTION
DETAILS

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to meet code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:
ROOF : $SS\ 1/50 = 1.3(KPA, SR = 0.4\ KPA)$
FLOORS : 40 PSF
WIND $1/50 : 0.44\ KPA\ BASIC$
EARTHQUAKE : $SA\ (0.2)\ 0.21$
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes, a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approved permit drawings shall be always available at site for reference.

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. Maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

1. The Ultimate 28 days compressive strength of concrete shall be 20.0 MPa unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPa with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPa.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job, the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada Inc. or an approved equal.

1. Structural steel shall be as follows
 W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.
 HSS CAN/CSA G40.21-350W. CLASS C
 L, PL CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel, place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:
 Design, fabrication and erection CSA-S16.1
 Welding CSA-W47
 Cleaning SSPC-SP3-83
 Bolts 3/4" Ø U.N.O ASTM-325-80A
 Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

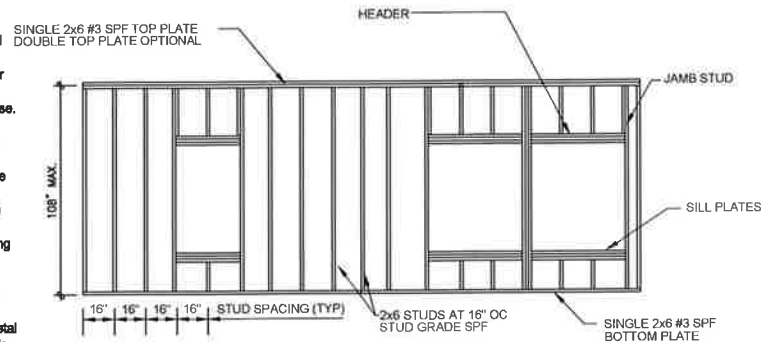
1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 w/n otherwise.
3. Lumber for stud walls shall be spruce stud grade w/n otherwise.
4. True Joists, LSL and PSL beams shall be as manufactured by True Joist Canada Ltd. or an approved equal. The supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2006
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for true joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-Tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O.86.1

1. The truss supplier shall be responsible for design of trusses and connections.
- C 2. The design shall satisfy all architectural requirements.
3. Design trusses and connections for loads indicated on drawings and in accordance with CSA standard CAN 3-086-M84.
4. Live load deflection shall not exceed span/360.
5. Provide temporary and permanent lateral bracing for trusses as required.
6. Submit 3 print + 1 set of shop drawings to the architect for review before fabrication is started. The shop drawings shall bear the seal of Professional Engineer of Ontario responsible for design of trusses.

For W steel beams bearing on concrete foundation wall use steel plate Grade G40.21-300W 8" x 1/2" thick x 1'-1" with two 3/4" Ø A. bolts embedded 18" in fdn wall.

WB1	Up to 3'-6" Opening	3 - 2" x 6"
WB2	Up to 5'-6" Opening	3 - 2" x 8"
WB3	Up to 6'-6" Opening	3 - 2" x 10"
WB4	Up to 7'-6" Opening	3 - 2" x 12"

L1	Up to 4'-6" Opening	L 3 1/2" x 3 1/2" x 5/16"
L2	Up to 5'-0" Opening	L 4" x 3 1/2" x 5/16"
L3	Up to 6'-0" Opening	L 5" x 3 1/2" x 5/16"
L4	Up to 7'-0" Opening	L 5" x 3 1/2" x 3/8"
L5	Up to 9'-10" Opening	L 6" x 4" x 3/8"
L6	Up to 11'-0" Opening	L 7" x 4" x 3/8"
L7	SEE PLAN - DWG A2	W6x20 STEEL BEAM



1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS.
3. WALL TO WALL AND CEILING #8x3" SREW 16" O.C.



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DRAWN	PROJECT NO
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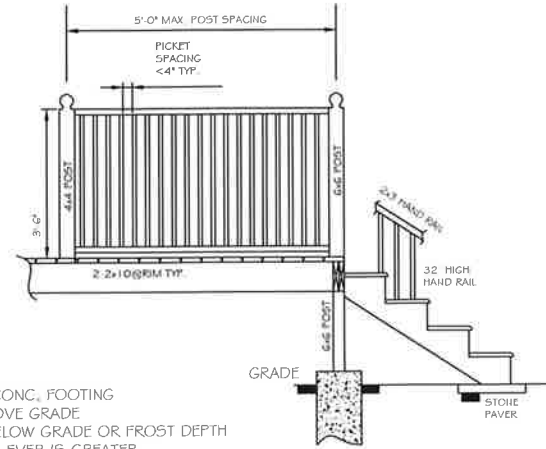
SCALE S-1

DRAWING

STRUCTURAL

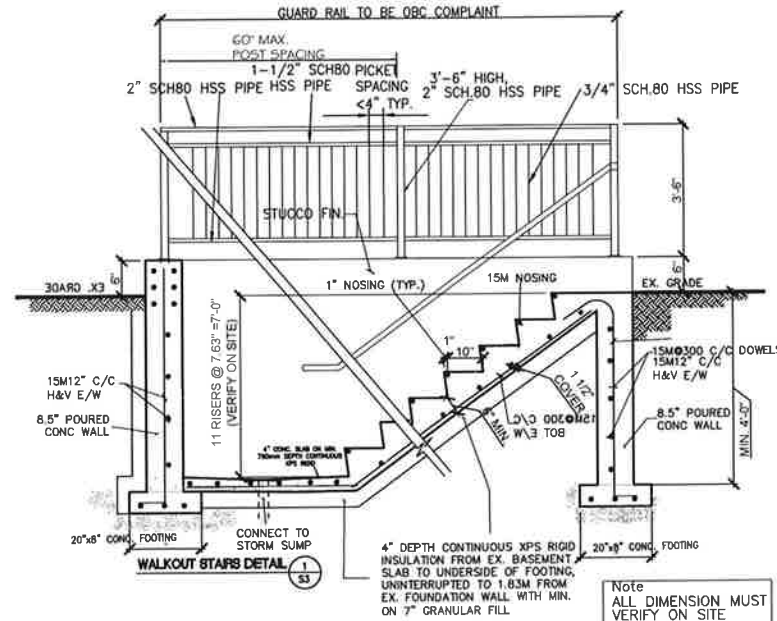
NOTES

DRAWING
**STRUCTURAL
DETAILS**

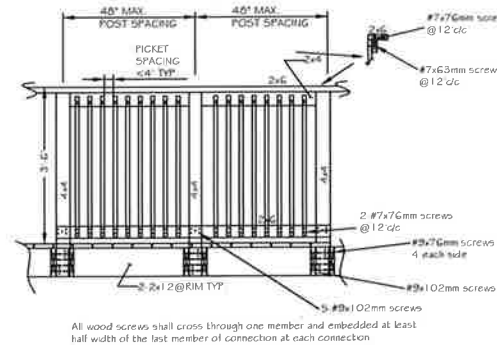


15"Ø CONC. FOOTING
6" ABOVE GRADE
48" BELOW GRADE OR FROST DEPTH
WHICH EVER IS GREATER

TYP. DECK ELEV.

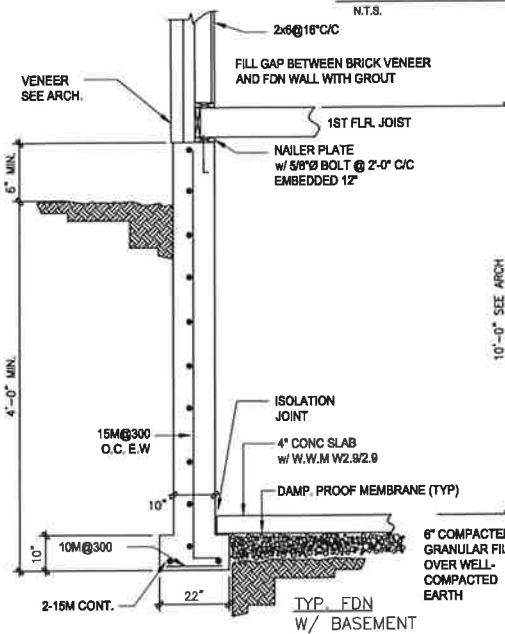


WALKOUT STAIRS DETAIL

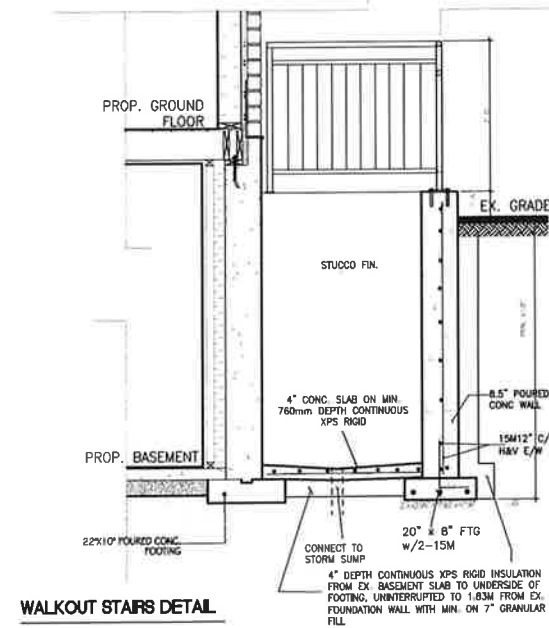


All wood screws shall cross through one member and embedded at least half width of the last member of connection at each connection

TYP. GUARD RAIL ELEV.



TYP. FDN
W/ BASEMENT



WALKOUT STAIRS DETAIL

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REVISIONS	
001	DATE
OWNER'S REVIEW	
002	DATE
003	DATE
004	DATE



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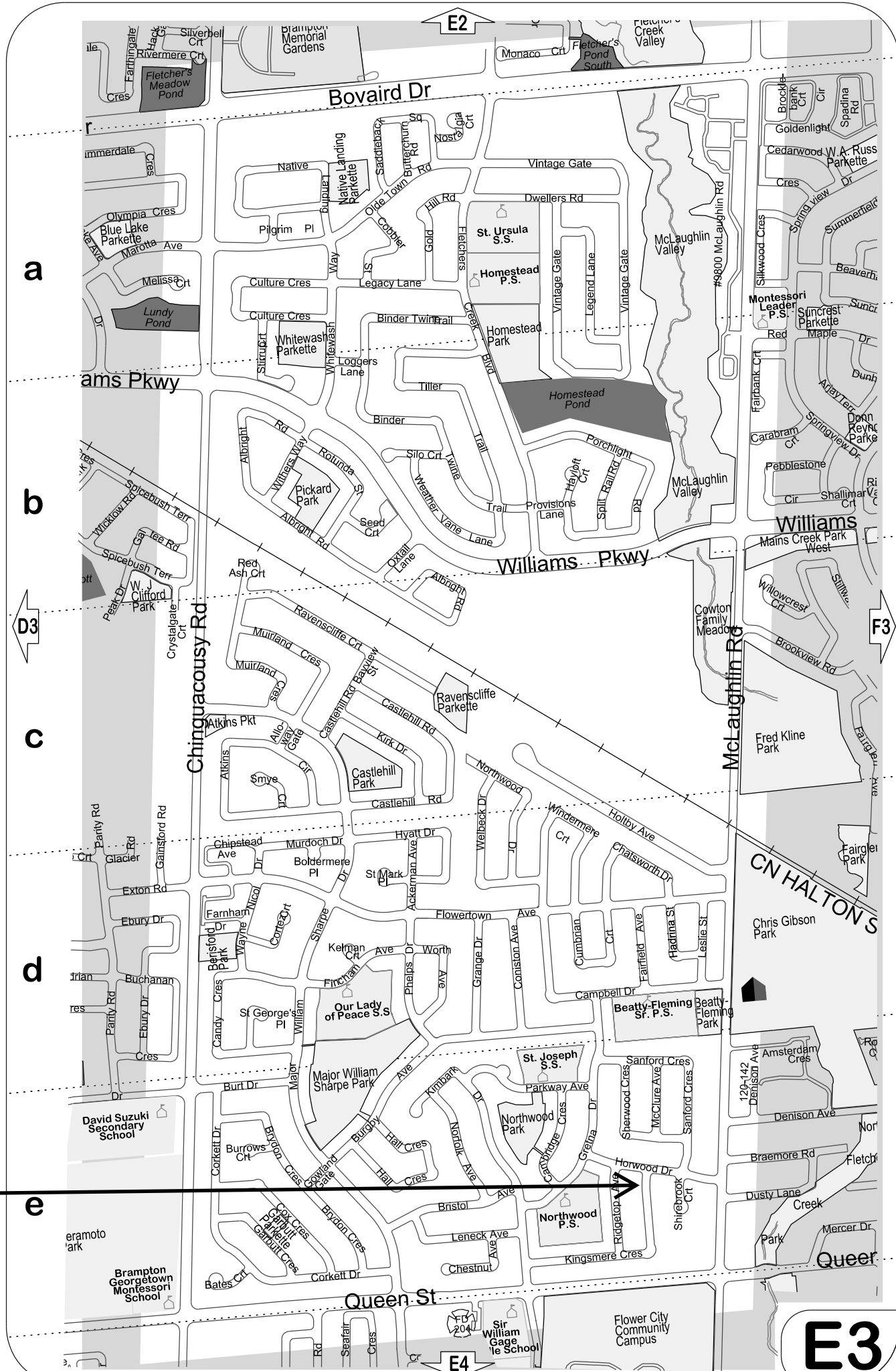
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RENOR & ASSOCIATES INC

DRAWN	PROJECT NO.
ARGHAVON	
PLOTTED DATE	DRAWING NO.
SCALE	S-3

DRAWING
**STRUCTURAL
DETAILS**



a

b

c

d

e

E2

D3

F3

E4

E3