

Public Notice

Committee of Adjustment APPLICATION # A-2023-0089

WARD #5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GAURAV BATRA AND DIVYA BATRA** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 229, Plan 608 municipally known as **5 KINGSMERE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

- 1. To permit an interior side yard setback of 1.52m (5.0 ft) to a proposed two story addition whereas the bylaw requires a minimum interior side yard setback of 1.8m (5.91 ft) to the second storey;
- 2. To permit lot coverage of 34% whereas the by-law permits a maximum lot coverage of 30%.

OTHER PLANNING APPLICATIONS:

The land which is subject of	this application is	the subject of an application under the	Planning Act for:
Plan of Subdivision:	NO	File Number:	
Application for Consent:	NO	File Number:	
broadcast from the Counc	il Chambers, 4th	TUESDAY, May 9, 2023 at 9:00 A.M. by Floor, City Hall, 2 Wellington Street No porting or opposing these applications.	West, Brampton, for the

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 27th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

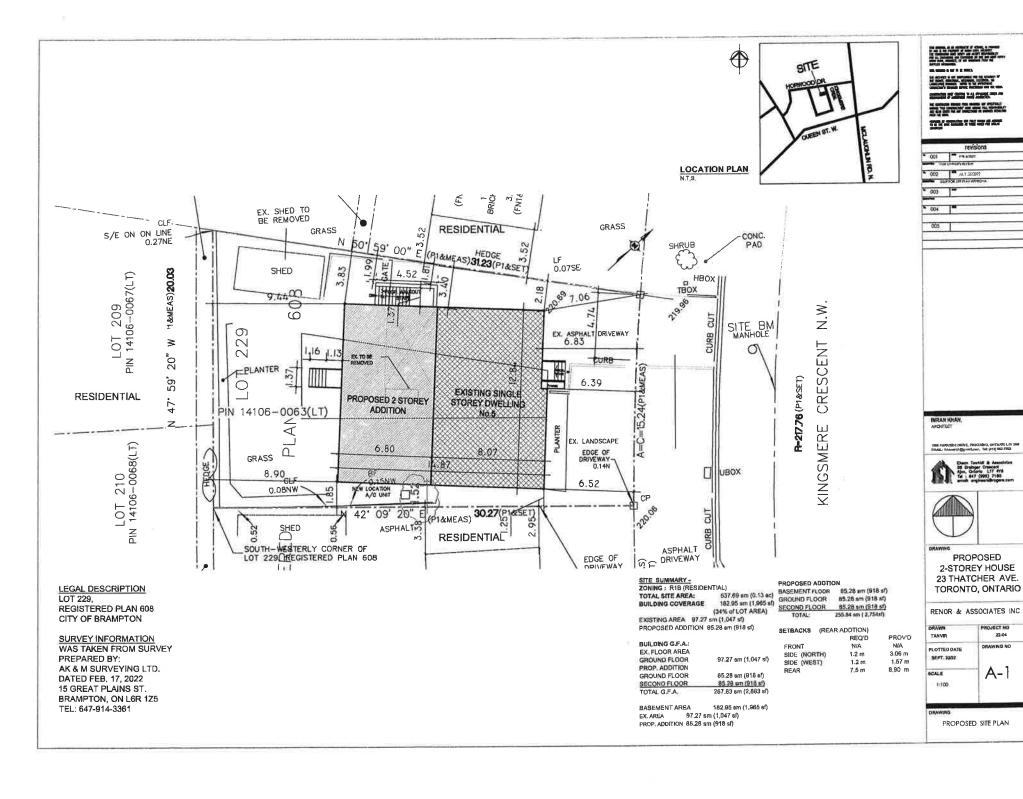
Jeanie Myers, Secretary-Treasurer

Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton Ontorio L6V 4B2

Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119

jeanie.myers@brampton.ca





Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm**, **Thursday**, **May 4**, **2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 - 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by 4:30 pm Thursday, May 4, 2023.
- 2. To participate in-person, please email the Secretary—Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by 4:30 pm Thursday, May 4, 2023.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and
 the application you wish to speak to by Thursday, May 4, 2023. City staff will contact you and provide you
 with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

 All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

April 25, 2023

To: Committee of Adjustment

GAURAY BATRA AND DIVYA BATRA LOT 229, PLAN 608

A-2023-0089 - 5 KINGSMERE CRESCENT

Please amend application A-2023-0089 to reflect the following:

- 1. To permit an interior side yard setback of 1.52m (5.0 ft) to a proposed two story addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft) to the second storey;
- 2. To permit lot coverage of 34% whereas the by-law permits a maximum lot coverage of 30%.

Applicant/Authorized Agent



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A - 2023-0089

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

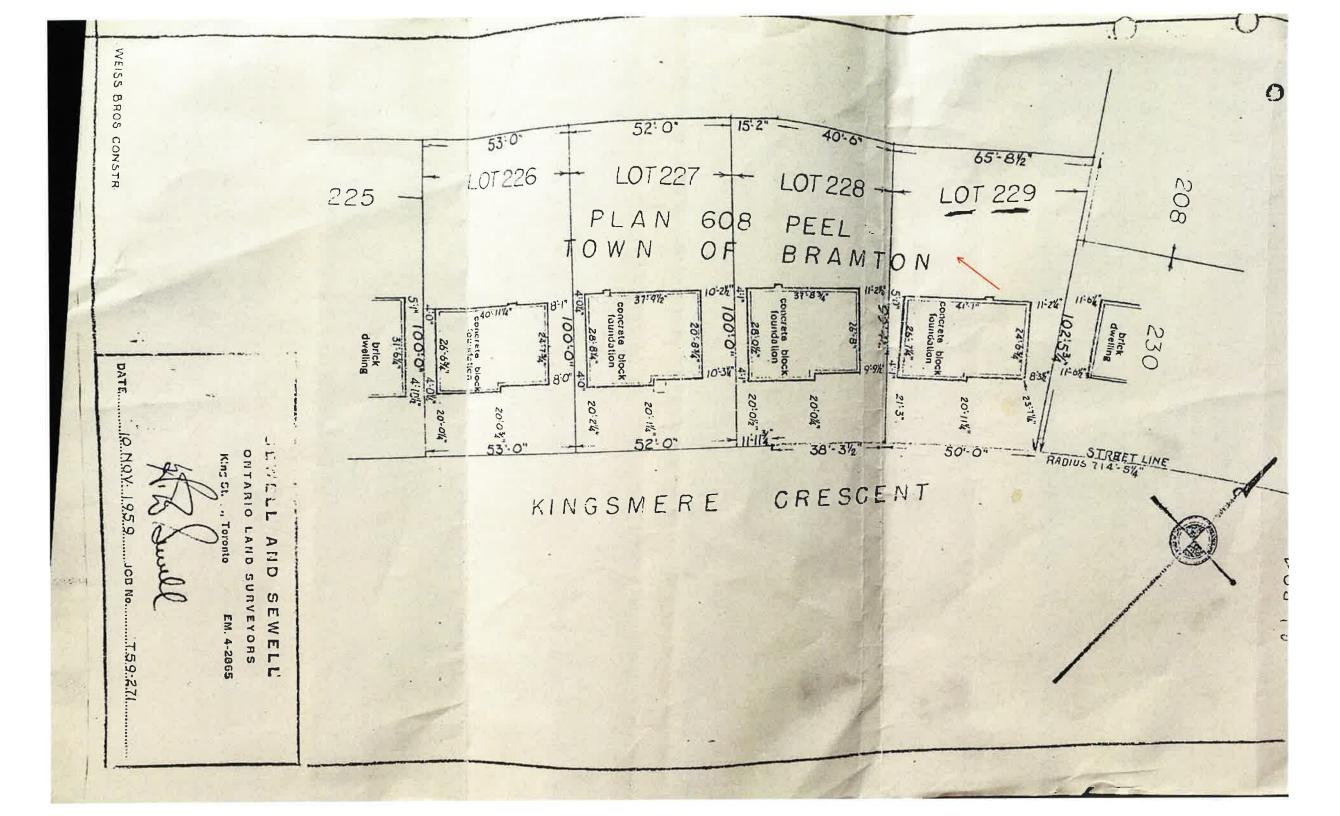
NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

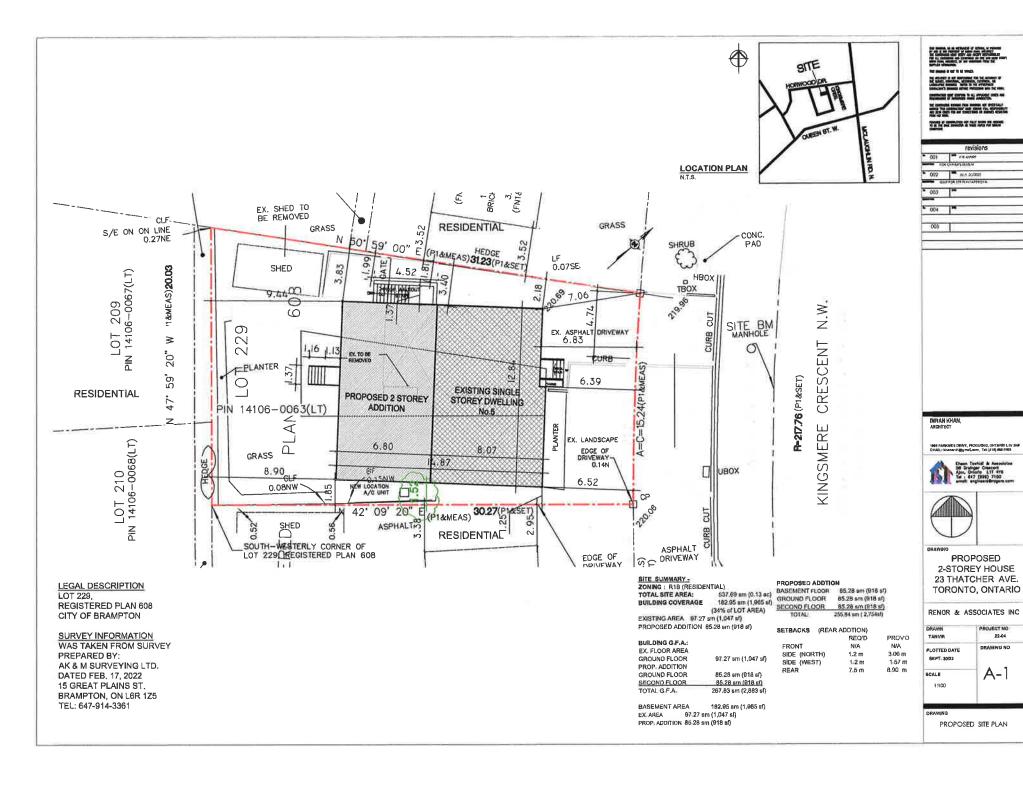
The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

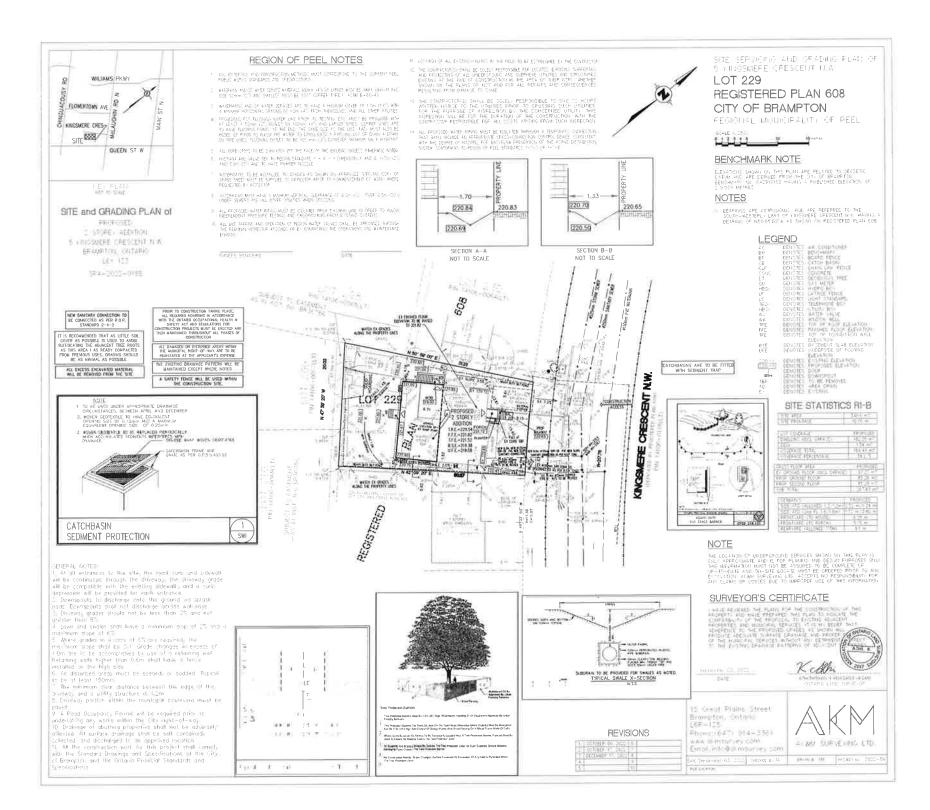
1.	Name of 0 Address	Owner(s) GAURAV BATRA A 5 KINGSMERE CRES. BRA	ND AND DIVYA BATRA MPTON, ON M1M 3B	3	
	Phone # Email	905-601-8582 gauravbatra,canada@gmail.com	_	Fax # 	
2.	Name of A	Agent IMRAN KHAN 1906 PARKSIDE DR. , PICK	ERING, ON L1V 3N5		
	Phone # Email	416-662-7593 IKHANARCH@GMAIL,COM		Fax #	
3.	A setbad	id extent of relief applied for ck of 1.8m is required to the d for the west side.			52m has been
4.		not possible to comply with ed 1.52m does not compl			sed for the west
5.	Lot Numl Plan Nun	scription of the subject land: ber 251 nber/Concession Number I Address 5 KINGSMERE CRES	608		
6.	Dimension Frontage Depth Area	on of subject land (<u>in metric of 15.24 m</u> 30.05 m 539.95	units)		
7.	Provincia Municipa	o the subject land is by: al Highway Il Road Maintained All Year tight-of-Way		Seasonal Road Other Public Road Water	

8.	land: (specify	culars of all buildings and structures on or proposed for the subject (specify in metric units ground floor area, gross floor area, number of eys, width, length, height, etc., where possible)			
	EXISTING BUILDING	SS/STRUCTURES on th	ne subject land: List all structures (dwelling, shed, gazebo, etc.)		
	THE RESERVE TO SHARE THE PARTY OF THE PARTY	y brick building of 9			
		,			
	1		1		
	1		1		
	PROPOSED BUILDI	NGS/STRUCTURES on	the subject land:		
			ng of 170.56 sm and 85.28 sm of basement area		
	,	ŭ			
	1.		1		
9.	Location of all	buildings and str	uctures on or proposed for the subject lands:		
		_	and front lot lines in metric units)		
	()	,			
	EXISTING				
	Front yard setback	6.35 m			
	Rear yard setback	12.42 m			
	Side yard setback Side yard setback	1.24 m 2.52 m			
	olde yard selbdok	2.52 111			
	PROPOSED				
	Front yard setback Rear yard setback	N/A 9.12 m			
	Side yard setback	1.52 m for the addition			
	Side yard setback	1.81 m for the addition			
10.	Date of Acquisition	of subject land:	2018		
	•	•			
44	Full-time was af and	Lia a4	RESIDENTIAL		
11.	Existing uses of sul	oject property:	REGIDENTIAL		
12.	Proposed uses of s	ubject property:	RESIDENTIAL		
13.	Existing uses of abo	utting properties:	RESIDENTIAL		
14.	Date of construction	n of all buildings & stru	uctures on subject land: 1982		
4-	i di garandan		hiect property have been continued: 41		
15.	Length of time the e	existing uses of the sui	bject property have been continued: 41		
16. (a)	COLUMN TO THE PARTY OF THE PART	is existing/proposed?	Du (15)		
	Municipal 🖳	4	Other (specify)		
	weii _				
(b)		sal is/will be provided			
	Municipal 👱	4	Other (specify)		
	Septic L	_			
(c)	What storm drainage	je system is existing/p	roposed?		
. ,	Sewers				
	Ditches	╡	Other (specify)		
	Swales L	_			

17.	Is the subject property the subject of an a subdivision or consent?	application under the Planning Act, for approval of a plan of
	Yes No	
	If answer is yes, provide details: File #	# Status
18.	Has a pre-consultation application been fil	iled?
	Yes No	
19.	Has the subject property ever been the su	bject of an application for minor variance?
	Yes No	Unknown
	If answer is yes, provide details:	
	File # Decision Decision Decision Decision Decision Decision Decision	Relief
	File # Decision	Relief
		100
		Signature of Applicant(s) or Authorized Agent
	TED AT THE CITY OF	
	HIS 31 DAY OF MARCH	
		
THE SU	IBJECT LANDS, WRITTEN AUTHORIZATION	SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF PLICATION SHALL BE SIGNED BY AN OFFICER OF THE SHALL BE AFFIXED.
	I, IMRAN KHAN	OF THE CITY OF PICKERING
IN T	HE REGION OF DURHAM	
ALL OF BELIEV OATH.	THE ABOVE STATEMENTS ARE TRUE AND THAT IT	D I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY T IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER
	RED BEFORE ME AT THE Ty OF Brampton OF THIS 31 DAY OF	Jeanie Cecilia Myers a Commissioner, etc., Province of Ontario for the Corporation of the City of Brampton Expires April 8, 2024.
<u> </u>	act., 20 2 3	Signature of Applicant or Authorized Agent
	FOR O	OFFICE USE ONLY
	Present Official Plan Designation:	
	Present Zoning By-law Classification:	R1B, mature Neighbourhood
	This application has been reviewed with re said review are out	respect to the variances required and the results of the relined on the attached checklist.
	L Barbuto	March 31, 2023
	Zoning Officer	Date
L	DATE RECEIVED TY	1 ach 31, 2023
	Date Application Deemed	Revised 2022/02/17
	Complete by the Municipality	







SPECIFICATIONS

ALL CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE - SECTION 9 AS AMENDED AND ALL LOCAL BY-LAWS:

NOTE TO A VIN A OT PATTAM SHARE VEGETABLE MATTER TO A VIN OF SOME OF SUCCESSION OF SURE OF SUR SE MAINTAINED FREE DE STANDING WATER.

DRAINAGE: DIRECT SURFACE DRAINAGE AWAY FROM BUILDING PROVIDE ONE METAL DOWNSPOUT FOR EACH 30M, (100) OF RUN, OR PART THEREOF, DE GUTTER HIPE AROUND PERIMETER OF BUILDING CONNECT RAINWATER LEADERS TO STORM SEWER SYSTEM OR PROVIDE CONC. SPLASH: PACS TO PREVENT SOIL EROSION

A DIRADAGE LAYER AND DAMP PROXIPAG ARE REQUIRED ADJACENT TO THE EXTERIOR SURFACE OF ALL POUNDATION WALLS WHERE THE INTERIOR INSULA EXTENDS MORE THAN 900 mm. (3) BELOW EXTERIOR FINSHED GRADE, FOAM INSULATION SHALL BE PROTECTED ON INTERIOR SURFACES BY GYPSUV BOARD.

OR COUNTENT.

FOR EAST ON LIND STURING SOIL, ROCK OR COUNTETED GRANLAR
FILL AND SHALL BE OF A SEE TO SUPPORT ADECLATELY ALL SUPPRIVINGED LONG.

IN DEARNE CAPACITY ISSUE (2000 Mode at ICOM. SPREATOF 20 MPs.)

12000 ga) AT 28 DAYS. MAX. LENGTY OF SUPPORTED JOSTS 4.9 m (16).

12000 ga) AT 28 DAYS. MAX. LENGTY OF SUPPORTED JOSTS 4.9 m (16).

INI. 1220 mm, (4) SELIOW CRADE LINESS OTHERWISE NOTED, STEPPED FOOTINGS

MIX. 6000 mm, (4) SELIOW CRADE LINESS OTHERWISE NOTED, STEPPED FOOTINGS

MIX. 6000 mm, (2) FOREQUARY, AND VAX. GOO mm, (2) VERTICAL TOSE.

VERTICAL/PORZOMYAL PARK RATIO 2/3

CONG FOUNDATION WALLS THE HOLES SEALED MIN 20 MPs (2900 pc) AT 28 DMS, MAX. (300 ms, [44] SLUME, CONC. WALLS 200 ms, [6] THICK UNLESS OTHERWISE NOTED, MAX REDUCTION FON TOP OF FOUNDATION WALLE TO BE 350 mm, [147] IN CA. ASD 90 mm, [3] AIZ; THICK, FOR GREATER PERIOTS OF REDUCED WALL THICKNESS, ITE. AND 30 mm, (3-72) THICK, FOR GREENER RETRIBITIS OF REDUCED WALL THEN REDUCED. THE REDUCED WALL TO THE FACING MATERIAL WITH VERTAL THE ACCORDING TO THE O.B.C. THE PACE BETWEEN WALL AND FACING TO BE FILLED WI MORTAR. FOUNDATION WALLS SHALL BE ADEQUATELY BRACED OR THE FLOOR FRAMING INSTALLED PRIOR TO

DAMP PRODEING: APPLY BYLLVINGUS OR OTHER DAMP PRODEING MATERIAL

CONC SLAB VIN THICKNESS EXCLLSIVE OF TOPPING 75 mm. (3.) MIN STRENGT 25 MPa (3600 pp.) WIND DAMP PROOFING OR 15 MPa (2000 pp.) AT 28 DAYS WITH DAMP PROOFING EXTERNAL SLABS AND STEPS TO BE MIN.

UMMIT PROCHING EXTERNAL BLASS AND STEPS TO BE MIN.
32 VP 16 (450 p.d. * 2 D ANK 93-78, AX EN PRANYUNG "AB) TABLE ROOM FLOOR
STAR TO BE DAMP PROCHED WIS MIL. POLYFITM/ELE. JOINTS BEWERN SLASS ON
GROUND, POLNDATION WALLS, AROUND PIPES, CONDUITS OR DUITS THAT PENETRATE
SLICE, SIMIL BE MILED WI BILLYEN WIESER COMPOUND OR COAL TAX BASEMENT FLOOR SLAB

GRANULAR FILL VIN., DO HE, (4°) OF COARSE CLEAN GRANULAR MATERIA.

WIMMA, 10% OF MATERIAL LESS THAY 4 HE, (3°) (6) DA SHALL BE FLACED BRASATA MY SUBLA IN DWIZULAS ON DIVINUES ON UTB, DECENT FOR CRANGES LESS ANY OFFICE THE LIBERATIN GRANULAR MATERIAL SHALL BE COMPACTED, ANY FILL FUNCTO SENSATIO SLABS.

WE GRANGES, OTHER THAN COARSE CLEAR GRANULAR MATERIAL, SHALL BE

WOOD COLUMNS 3.5" STEEL PIPE COLUMN ON METAL BASE 5-0E AND 1.27 mm, (1/27) DIA BOLT ON GODIGOOX ISO em. (2/27/86) CONC. FTG. OK. CONC. 91.43, 150 mm, (6) ABOVE GRADE. 19X99X286 mm, (4/4 X4/X1/2) NAUNG STR. FTG. 984MA TI OTS. SERVANE COLUMNS. FROW CONC. IO. CONTACT WITH GROUND WIRTH 2 MIL POLYPETYLENG OR TYPE SEROLL RODOING INTERIOR WOOD POSTS (40X) 40 mm (6/X6) ON GODXGOXX300 mm (2/X2X) 2') CONCI FOOTING WITH DAMP PROOFING

8 STRUCTURAL COMPONENTS FRAMING LIMBER TO BE GRADE # 2 AND BETTER ALL WOOD UNTELS # 1 UNLESS OFFIERWISE NOTED INFADER JO 575 TO BE DOUBLED FOVER : 220 mm (4) AND NOT OVER 3200 mm (10-6), TRIVMER JO 575 TO DE DOUBLED IF OVER 800 mm. (2-8") AND NOT OVER 2000 mm. (6-6") OLG. PROVIDE FRANKING OR SOLID BLOCKING FOR PROPER LOAD TRANSFER OF POINT LOADS FROM A BOVE GUIDLANMINED DRAWS TO CONFORM TO 20 THE STREES GRADE IN O BE STOP TRIVED WY CONT OF \$161 ASSET ASSET ASS. STEEL BEAMS TO MEET STRUCTURAL EXACTS ATTAIN ADDS SOON STREET IN CHARGE BY SK VENTER CONCRETE PORCH

FLOORS FIN FLOOR ON 16 mm (5/8) OR 19 mm (3/4) TAG SUBFLOOR ON WOOD FLOOR FLUURS IN 40,000 KD Is 6 ms, 159 (0.8 19 ms, 129 (7.1 6 SPEEDER ON WOOD VEXT AND LUCKE CEASE. THE APPEND WITH ADDISSIVE STIFF IN ELECTROPHEN SHILL CONFIDE FORES, INSHED FLOORING TO BE WATER RESISTANT IN SAN RECOVER, 611 CHEN, LANDRY, CREAM CT IR A FLOORING MUST BE BOATALED ON A MIN 32 mm, 11 (1.4) VIOLANCE BED WITH WATER MAIN AND STEEL WICKELAN JUSH STANDARD MUST BE REQUESTED 300 mm, (1.2) WHEER 400 mm, (1.5) IN SINGHALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHEER 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHERE 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHERE 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHERE 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHERE 400 mm, (1.5) NORMALLY WERN PERCO, PC, 100 T SER WICKELESS LONG MINERE AND WHERE 400 mm, (1.5) NORMALLY WERN PERCON PER ADHESIVE INSTALLATION IS EMPLOYED. THE SUBSTRATE MUST BE 16 mm. (5/01) UNDERLAY IOSTS. JOSTS AND BEAV TO BE STAGGERED MIN. 100 mm. (4) AT PARTY WALL. EDGE

FRAME WALL CONSTRUCTION: BILLOCO FIN. 100% ACRYCO BASED DECOMENS FRAME WALL LUNG HILLDRESS CO. FOR LIES A V.R.

TOTAL DE SINGE SINGE ALL THE CONTROL OF SINGE SIN OPENINGS AND TRIFLE STUDS IN CORNERS IN BEARING STUD PARTITIONS WALL STUDS SHALL BE CONTINUOUS FOR THE FULL STOREY HEIGHT.

INTERIOR STUD PARTITIONS: 38489 mm. (2'44') @ #33 mm (16') O.C. 184446 38.89 mm (2.41) \$ 600 mm (24.10 C NONBEARING - (1/2.1 N.C DEWW. 18.71) 36:19 mm (2 x4) COT mm (44) O.C. NONBENNAN. — [12] M. DYRAN, 37 50:55, 36:69 mm (2 x4) DOTON PATE 2:34:369 mm [2 2 x4) TOP PATE DOTUBE JOISTO UNDER ALL NON LOADESARING PARTITIONS FRANCIEL TO JOSTS AND EXCEEDING 1:8 m [5] M. EXGITH AND CONTAINING NO PLLI FLEGHT OFENINGS DOUBLE JOISTS CAN SE STRAGHTED MAX. 2001 mm [87] APART WITH 38:49 mm. [2 x4].

NOTE: ALL INTEGER PARTITIONS BEHAD TO LETS TO BE 216 LIDEL FORMS BATHFUE AND SHOWER BLOSDINGS TO RECEIVE CENTENT BOARD OF GUIDOK

(13) INTERIOR STUD PARTITIONS

W.C. ### BOARD ### BOX ### F. ### PTGCAESS, 2.6" (25.4) ## BOTTON PLATE DOXBLE 2-61 (28.4) 40-41 DOP PLATE DOXBL

NOTE ALL INTERIOR PARTITIONS BEHIND TO JETS TO BE 2 x6 (38x) 40mm)
BATHIUB AND SHOWER SURROUNDS TO RECEIVE CEMENT BOACD OR DUROUS

BAT-IND AND FORMER VANAMENTS.

INTERIOR STUD PARTITIONS.

2-2-36 (20.1 40mm) MCOD STUDS @ 12 (400mm) C C₀ (12 (13mm) GYBSUM BOAR!

2-2-36 (20.1 40mm) MCOD STUDS @ 12 (400mm) C C₀ (12 (13mm) GYBSUM BOAR!

2-2-36 (20.1 40mm) MCOD STUDS @ 12 (400mm) C C₀ (12 (13mm) GYBSUM BOAR!

PLUMBING WALL

1.3em VV ST BOARD OR DURDOS (* 1945)

1.3em VV ST BOARD

NOTE: PROVIDE BACKING IN PILLIVISING WALLS FOR GRAS BARS IN TUBE AND SHOWERS.

(15) STUCCO CONSTRUCTION | 3 CCAT STUCCO PAIGH CAN WHIT FEEK WITH FROM WITH FROM WITH FROM PAIGHT CAN WHITE AND REAL STREET, BOARD TAPED, FILED & SANDED, IGHT (M) TYPE IN GYPSUM BOARD WHERE SIDE YARD SETBACK IS G MO R. LESS NON COMBUSTIBLE CONSTRUCTION — USE "DUROCK BRAND STUCCO FOR NON COMBUSTIBLE CONSTRUCTION.

(16) FLAT ROOF CONSTRUCTION

GRAVEL TOP ON 3 PLY PELT ROOFING ON 3/4 EVE GRADE PLYWOOD SHEATHING ON WOOD RAFTERS

TOR EXPOSED FLASHING USE 0.33 mm, [0.013] GALVANZED STEEL O 36 mm (Q 0 14.) COPPER, O 46 mm (Q 0 18) ZNC, DR O 48 mm (Q 0 19.) Trick ALLYINUM CONCEALED FLASHING CAN BE TYPE 5 (45 to.) ROLL RODFING OR O 15 mm (G mil) POLYETRYLENE FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERTEA OF WINDOWS AND DOORS IN EXPERIOR WALLS IF DISTANCE BELOW FAVES IS MORE HAN 1/2 ROOF OVERHANG. CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH I TAIN ILE KOOM OVERAANG CHIMNEY FLASHING IS EKOURED AT INTERSECTION WITH ROOF, FLASH OVER A CHIMNEY SADDLE WHEN WIDTH OF CHI VNEY BIOEDOG 750 mm. (2 S) FLASHING REQUIRED AT INTERSECTIONS OF KOOPE, WALLE VALLEYS AND OVER PARAPET WALLS. METAL FLASHING BETWEEN ROOF SHINGLES AND WALL SID NG 75 mm (31) UP BETIND STEATHING, AND EXTEND 75 mm (31) HORIZON ON ROOF

ROOF CONSTRUCTION

HOUR-CONSTRUCTION
\$2.00 (10.28 pm) ASPPART SHAGLES / VETAL SDIAG, 10 mm, (3/6) PD/Y EAVES
PROVIDED SHARTHING WITHIN IT CUMP), 91.5 mm, (3/3 STRP 0.15 mm, (6/m) PD/Y EAVES
PROVIDED NOT PREPRIAMED AUMANDM ARMET ROLAIM, ARCOLAIM DVETTO SOFT.
ATTIC VERMINATION, 1000 0° INSOLATED CEURIA RAEA WITHIN ARCOLAIM AND AT EAVES, ARCOLAIM
TO ROMATHINE TO SEE WINLS, 10.71 0° mm, (2012/85) INSOLATE AND WEATHERSTEP, 1000
TO ROMATHING TO SEE WINLS, 10.71 0° mm, (2012/85) INSOLATE AND WEATHERSTEP, 1000
TO ROMATHING TO SEE WINLS, 10.71 0° mm, (2012/85) INSOLATE AND WEATHERSTEP, 1000
TO ROMATHING TO SEE WINLS, 10.71 0° mm, (2012/85) INSOLATE AND WEATHERSTEP, 1000
TO ROMATHING TO SEE WINLS, 10.71 0° mm, (2012/85) INSOLATE AND WEATHERSTEP, 1000
TO ROMATHING THE RESERVE THE R TRUSS ROOF CONSTRUCTION, APPROVED WOOD TRUSSES & 600 mm (24) O.C. SOCTOM CHORD OF TRUSSES TO BE DESIGNED TO SUPPORT ALL CEILING 4 ATTIC SPACE LOADS: 38x89 mm (2 x4) TRUSS BRACING (6 2130 (7) C. AT BOTTOV CHORD. SPACE LONGS, 30-89 mil. (2 x97 TBUSS SPACING © 2130 (7) OC A 100 HOUSE TRUSS MANUFACTURER (6 APPLICIADE) TO CIFECE AND VERMY HITAR ALL (ADM IG AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE TO LOCAL CONDITIONS AND REGISTRANCE TRUSS MANUFACTURER TO ADMIT CONSULTANTS OF ANY DISCREMANCES THAT MAY AFFECT KOOP LIKES AS DRAWN, FOR CONVENTIONAL

(18A) FLAT ROOF CONSTRUCTION

GRAVEL TOP ON 3 PLY FELT RODPING ON 3 PLY FELT RODPING ON 344 EXT GRADE PLYWOOD SHEATHING ON WOOD RAFERS ...

WINDOWS ADODES

WIN, TWO PRENT OF WAS FOR HIDDERS FOR HIABITABLE ROOMS TO

IN BETTOWN 5% OR HIDDERS HAVE A STORE DOORS AND GLASS IN SEDIAGE DOORS

SHALL BE SAFETY GLASS OF THE LAMINATED OR TEMPERED TYPE. VN 500X700 cm. (20, 28) ACCESS TO EVERY CRAWL SPACE AND AFFIC MORE THAN 600 mm (21)h Gri MOOD DOORS LEADING INTO THE DWELLING UNIT SHALL BE EITHER SOUD CORE YEEMIN 45 mm (1 3/4) THICK, OR STILE AND RAIL TYPE HAVING PANEL MICKNESS TYPE M.N. 45 mm. (1 344) THUCK, OR STILE AND RAUL TYPE HAVING PAREL HILLANDS WITH EDOR AREA. ALL DOORS TEADING NITO THE DWELLING UNIT SHALL BE PROVIDED WAS DEADSOLT LOCK WICYLINDER HAVING NOT LESS THIAL BE PROVIDED WAS DEADSOLT LOCK WICYLINDER HAVING NOT LESS THIAN 5 PINS AND A BOLT THROW. OF NOT LESS THAN 25 MM (11) PROTECTED WISOUD OR HARDENED FREE-TURNING RING OR BEVELED CYLINDER HOUSING! DOUBLE DOORS LEADING INTO THE DWELLING MUST BE PROVIDED WITH AN INACTIVE LEAF WHICH MAY BE SECURED. DWELL NS MUST BE PROVIDED WITH AN INACTIVE LEAR WHICH MAY BE SECURED WITH HEAVE DUE POLITS, TOP AND BOTTOM, HANNING AN ENGAGEMENT NOT LESS THAN 15 mm (ESD). FOR ALL OUTWARD SWINGING EXTENDER DOORS LEADING NIO BE DISCUSSED OF THE DISCUSSED OF TH THE DIRECTION OUTSTIED FASTERED TO MICE PRAYER AND SERVE PARTIES THAN SOME PROFITED THE STATE OF THE STATE OF

(21) ACCESS HATCHES INTO ATTICS AND CHAM, SPACE SHALL BE WEATHER HIGEPED ACQUIND THE PER METERS OF THE HATCH. HASO ROOF CONST.), DUTY, IN ATTIC, ROOF SPACE OR CRAIN, SPACE SHALL HAVE ALL JOINTS TAIRED OR BE OTHERWISE SPALED TO ENSURE THAT THE DUCTS ARE ARE TRIGHT THROUGHOUT THEIR LENGTH. SIZE MAN. S LOYZ - O mm. (20 X2A) LOBC-9-19-2-1

(22) WASHROOM

COCHESTATE ON SITE TO LOCATE WATER CLOSET BETWEEN FLOOR WASHROOM TO BE MECHAN CALLY VENTED TO PROVIDE ATLEAST ON A JIRNAPOUR BARRIER INSULATION SHALL BS PROTECTED BY VEVBRANE TYPE PODER INFLEME VAPOUR BARRIER INSTALLED SO THAT AM LONGS OCCUR AT FRAMING MEMBERS PLERAGO OR BLOCKING AND LAPPED AT LEAST LOO wing (4) FRANKS MEMOSPH FURROS OR BLOCKNOG AND (APPE) A" (EAST 100 mm (FL) AND LIGHTS AND LIGHTS AND AND AREA MEMOSPH AND AND AREA MEMOSPH AND AND AREA MEMOSPH AND AND AREA MEMOSPH AND

(24) MINIMUM THE FINAL RESISTANCE VALUES EXPOSE OF WITH ATTICLAR REQUIRED WALLS R22, BASEVENT WALLS R20, EXPOSED PLOORS R 31, SLASS DOORS R4 CEILING WITHOUT ATT C R3

(25) BEDROOM WINDOWS: WE'VE A CONTAINING BETROOMS SHALL BE PROVIDED MAIL AT I O, I WHO OF PERABLE FROM INSIDE WITH AN INDIVIDUAL UNBOSPINGCED O'REN PORTION HANNING WIN AREA OF O'B SIN I BO SIN WITH YOU DAMESION LESS THAN JOCO OF I (15) DOCEFT FOR SECENSYL LOCATIONS, THE WINDOW SHALL HAVE A MAIL SILL REPORT O' I HAN ROY FLOOR.

(36) HANDRAIL HEIGHT ON STAILAR'S BRIWEEN 655 cm 4 965 cm. AND MICHOR GUARDS A NAVAL SE WITHIN DWELLING UNIT MA. SOCIET (36) HIGH AS FER O B C 9 67 AN 9 6 6

(27) BALCON GUARDE 1070 mm, (3.6) MIGH WITH MAX TOO 16/19 SPACE BETWEEN 10.0 MORZONTAL VEMBERS BETWEEN 10.0 (4) AND 900 mm. 13 HAVON BALCON TICOR CONSTRUCT ON TO COMPLY WITH 56 7 OF SUPLEMENTARY GUIDENESS TOTEO BY

(28) MATURAL VENTIATION

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SCREENARD, ROOM SPACE VENTIATION, JASON O "NAULATED CRUMS AREA FOR SONE DESPETABLE STANDARD, IT IS SOOT PELLARED FOR SALE FOR SOUTH ESS."

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(30) STOVES, RANGES & SPACE HEATERS TO ULC 5 627-M 1983 "STANT MO" ON SPACE HYATERS FOR USE WITH SOUD TUBLS

- PREFIN ALUM EAVESTROUGH ON 1146 FASCIA BOARD W/ VENTED ALUM SOFFIT PREFIN NUM. BAMESTROUGH ON 1-6 PRECIA BOND WI, WINTED NUM. SOWNIN AND INSULATION BAFFIET OF PROVIDE CLEAR VENT-MON. FLOW OVER "BELLIATION, DIVE" EDEC AT PRECIA, NUM. CORRUPATED RECTANDUAR DOWN SPOUTS SPRICED SO OMIN. SO OWN. DOWNS DUTS SOT CONNECTED TO STOOM SHREW, SHALL NAME TO SHALL SEE THE COLOR OF THE STOOM SHALL S

(32) EAVE PROTECTION DNA MY OF IMPRESENTED 1516 ASPHALT SATURATED ROOFING FEET TO FROM FASCIA TO SOOM OF BIG. 9-26 SHIMIN, BEYOND INNER FACE OF

(33) CARBON, MONOXIDE DETECTOR CVD 08C 9.33.4
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34 SMOKE DETECTOR OBC 9 10 19 A SMOLE STN ALARY STYLE COMPUSTION DETECTOR SHALL BE PERVANENTLY MOUNTED ON HALL CEUNGS A CONNECTED TO THE BLOG ELECTRICA; SUPPLY W/O DISCONNECT WALL SWITCH 4 HARVIS C. CIRCUIT NOT INTER-CONNECTED TO ANY WALL OUTLET IN VISUAL SIGNALING COMPONENT.

35 WASHIRDOM FAN VASHINGS AND HE MECHANICALLY VENTED TO PROVIDE AT LEAST LAIS CHANGE

36 DRYFH & STOVE TOP FAN

(37) DECORATIVE WOOD POST PANTED WOOD POST

- 4 7/8 - 7 7/8 CAPET (FINISHED AREAS ONLY) WOOD STRINGER,
 GERS AND TREADS (STRINGERS TO RECEIVE
 P 1/4 PANN FA SCHILLY (1 Jame) GYDDAY MOARD FA SCHILLY
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 TO HAVE CLOSED RIGHED. MIN. TREAD VIN WIDTH

MIN HEADROOM - 710 39 HANDRALS AND CUARDRAILS = 2-11 = 3-6 = 3-6 = 2-11

MAX DETWEEN PICKETS IF DECK TO GRADE IS: 5'-1 I" OR LESS GREATER THAN SHITT

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HAND AND GUARDRAIL CONSTRUCTION TO COMPLY WITH O BIG SUPPLEMENTARY

(40) LOCATION OF HYDRO METER ELECTRICAL PANEL, WATER METER & GAS METER TO BE A ACCORDANCE WITH THOSE ALTHORS AS A SOCIETY SOURD TRANSMISSION CLASS FALSO TO BE MALES OF CHEST RETWEEN DWELLING UNITS, DWELLING UNIT & CORRIDOR

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SUPPORT & BEARING: A.L. AM. 90 mm. (3 1/2), JO 575 AND RAFTERS 38 icm. (1 1/4 MIN. 190 mm. (7 1/2) SOLID WILL AR UNDER BEAM OR COLUMN STEEL ANGLE UNTELS MIN ISO mm (CI BEARING

MINI RILL PLATE SAVAR mer (2 X4.) Str. PLATE ANGIORS TO BS MIN. (3 mm.) [1/2.] D.A. BOLTS EVISEDDED MIN. 100 mm; [4] INTO FOUNDATION WALL, VAX. AT 2000 mm; [6,7] D.C.

GENERAL NOTES

ALL DIMENSIONS GIVEN IN IMPERIA: [UNLESS OTHERMISE NOTED].
ALL CONSTRUCT ON TO COMPLY WITH ON TARO BUILDING CODE 2012 ED TION.
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DELETER OUS DEBRIS AND BOULDERS DIVER 9 1/8" IN DIVAY
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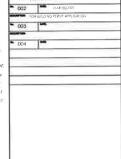
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I ARCHWAYS TO MATCH WINDOW AND DOOR HEIGHTS. ON EACH FLOOR.
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2 COLL, RING SHALL BE PROPURED ON ALL DOCING AND WINDLAWS GRIWEN INTERPREVA AND THE EXECUTION OF SHALL BE PROVIDED ON ALL DOORS TO THE EXTER OR, EXCEPT DOCING FROM GANAGET OF EXTER ON 4, ALL WASHINGOM DOORS TO HAVE FRANCE (DOC 5, GARAGE ON DOORS TO HAVE FRANCE).

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IMRAN KHAN ARCHITECT

1906 PARKSIDE DRIVE, PICKERING, ONTARIO L1V 31 MAIL: Ikhanareh@gmail.com, Tal. (416) 662-759



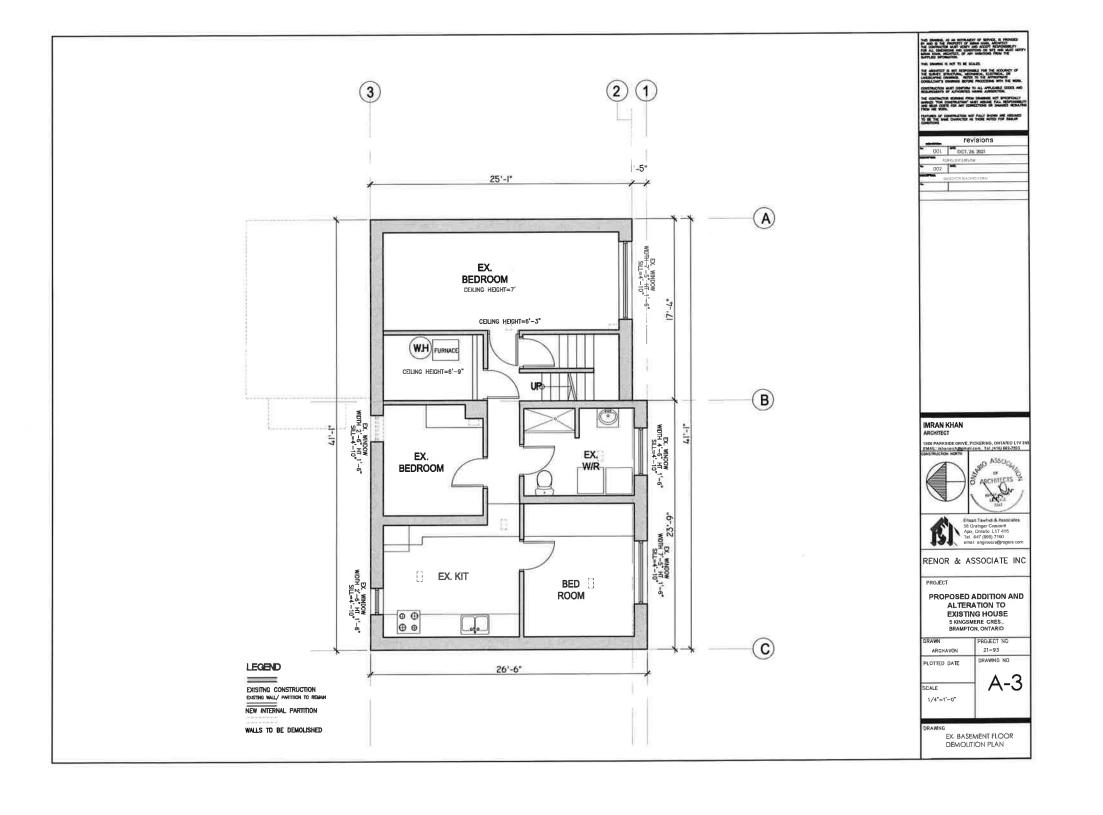
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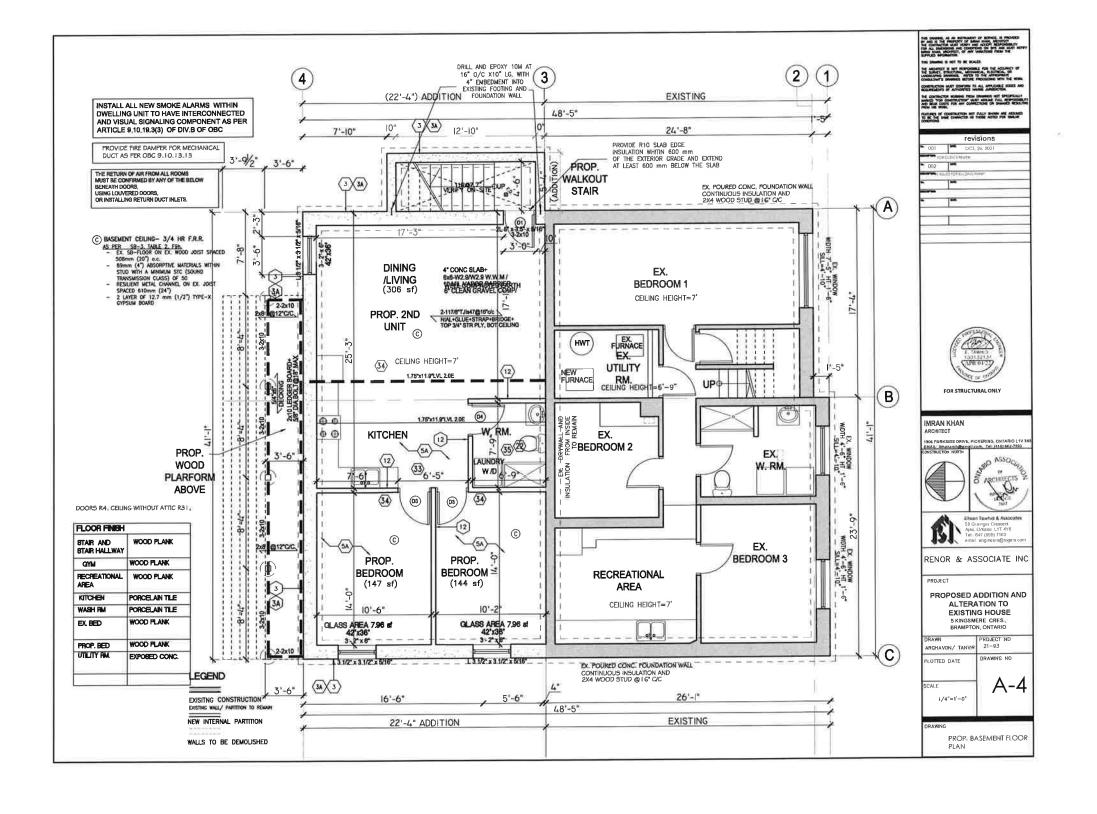
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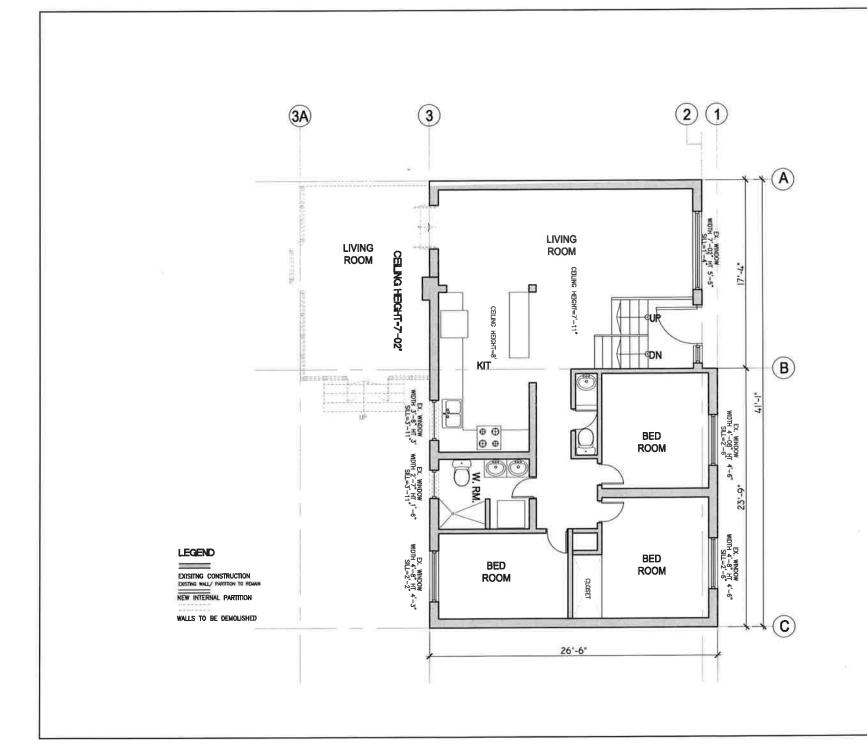
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н			Landa Marie Volt.	

ARCHAVON 21-93 PLOTTED DATE MAR 10/22 DEAWNE NO SCALE

CONSTRUCTION NOTES







	revisions
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IMRAN KHAN

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RENOR & ASSOCIATE INC

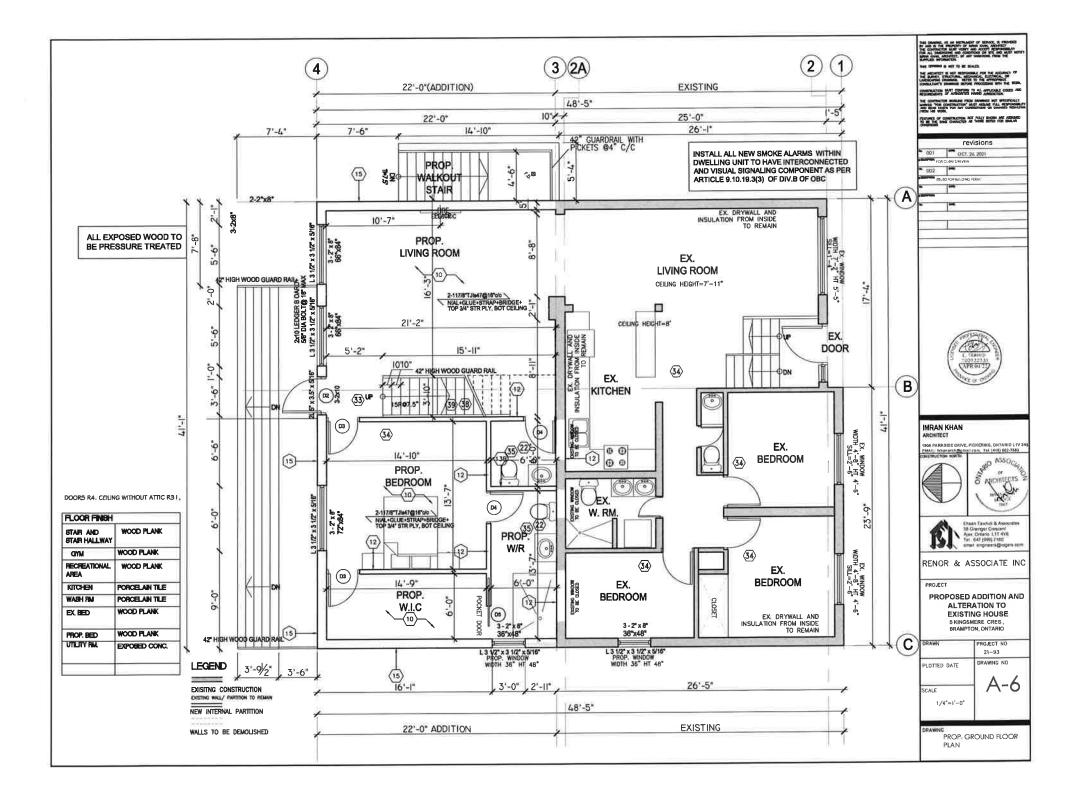
PROJECT

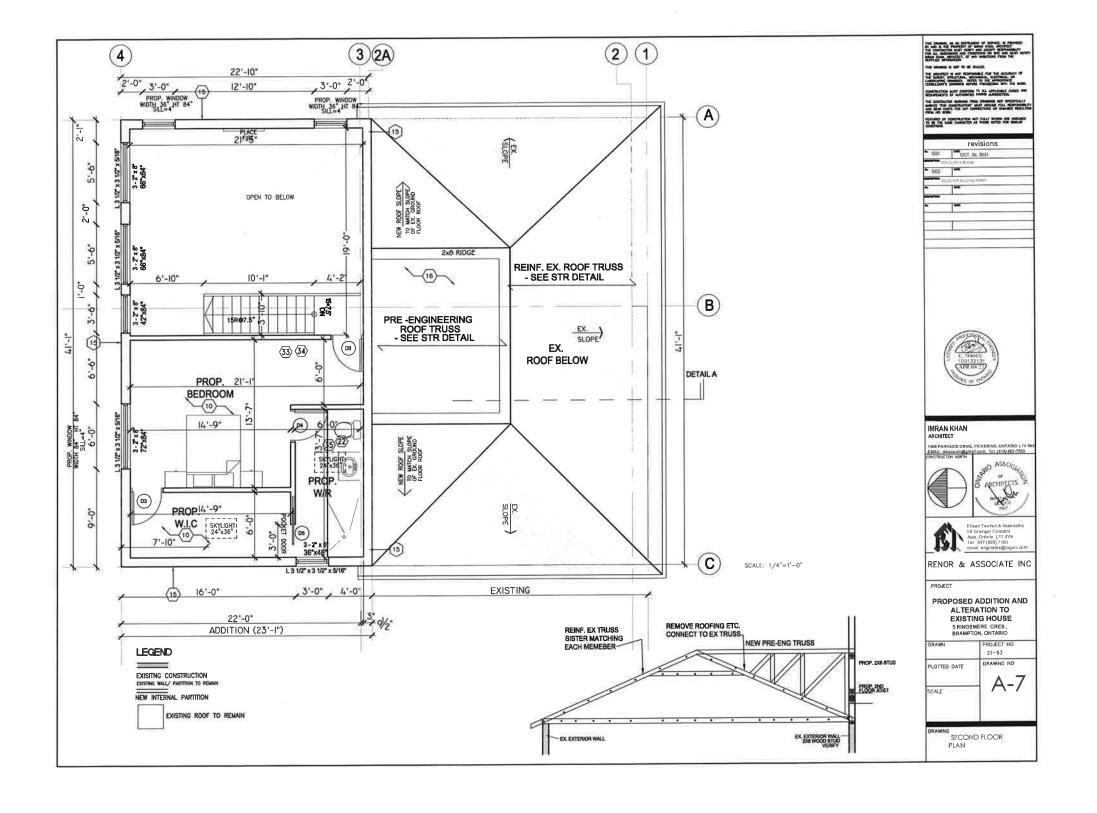
PROPOSED ADDITION AND ALTERATION TO EXISTING HOUSE 5 KINGSMERE GRES. BRAMPTON, ONTARIO

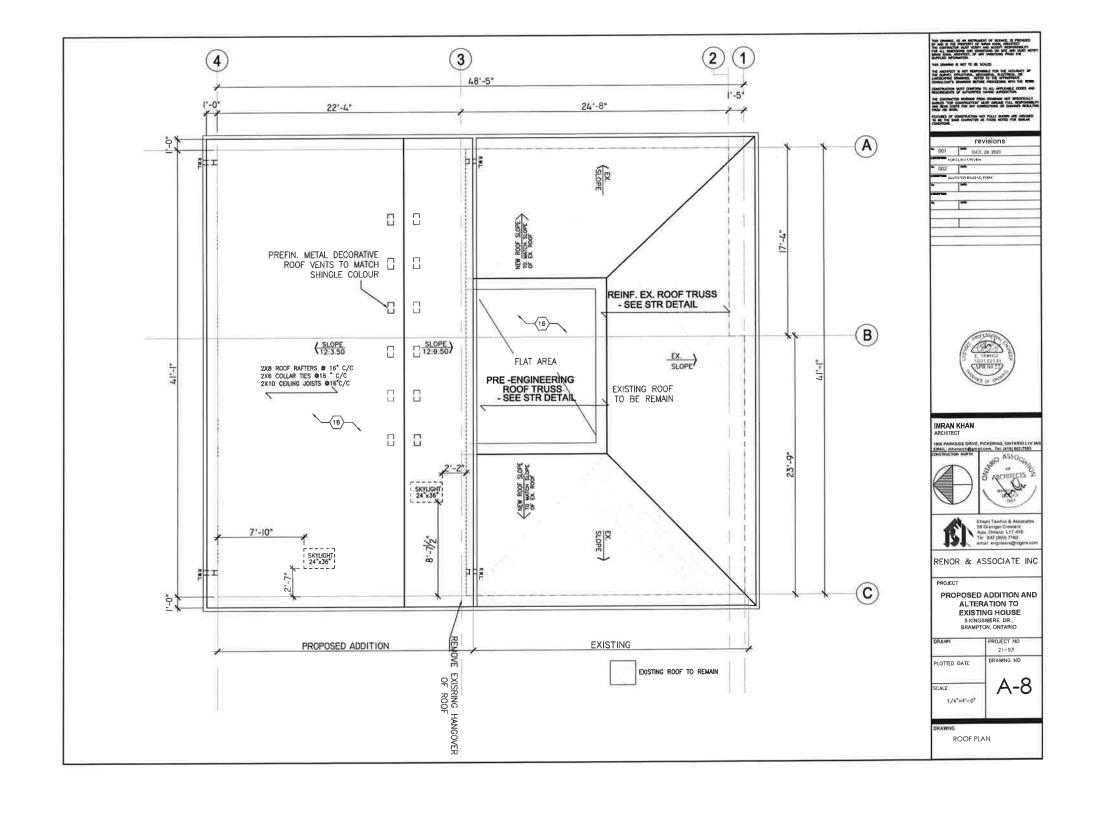
21-93 ARGHAVON DRAWING NO PLOTTED DATE

SCALE 1/4"=1'-0"

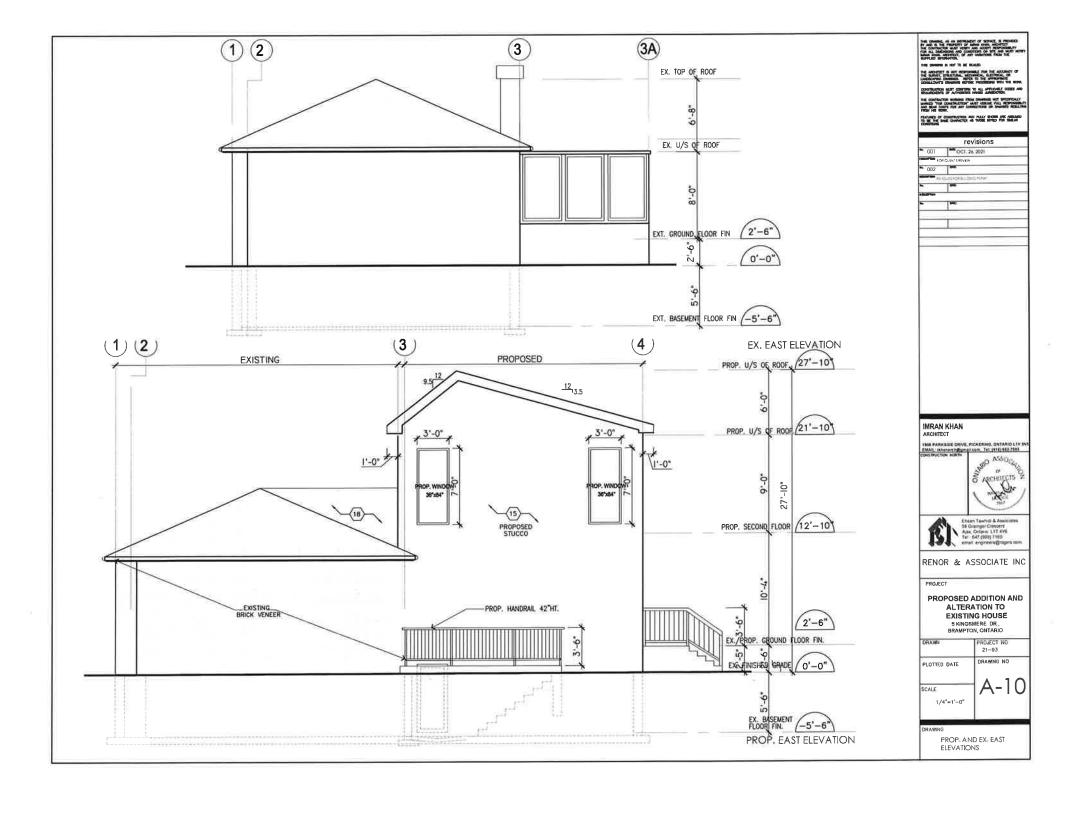
EX. GROUND FLOOR DEMOLITION PLAN

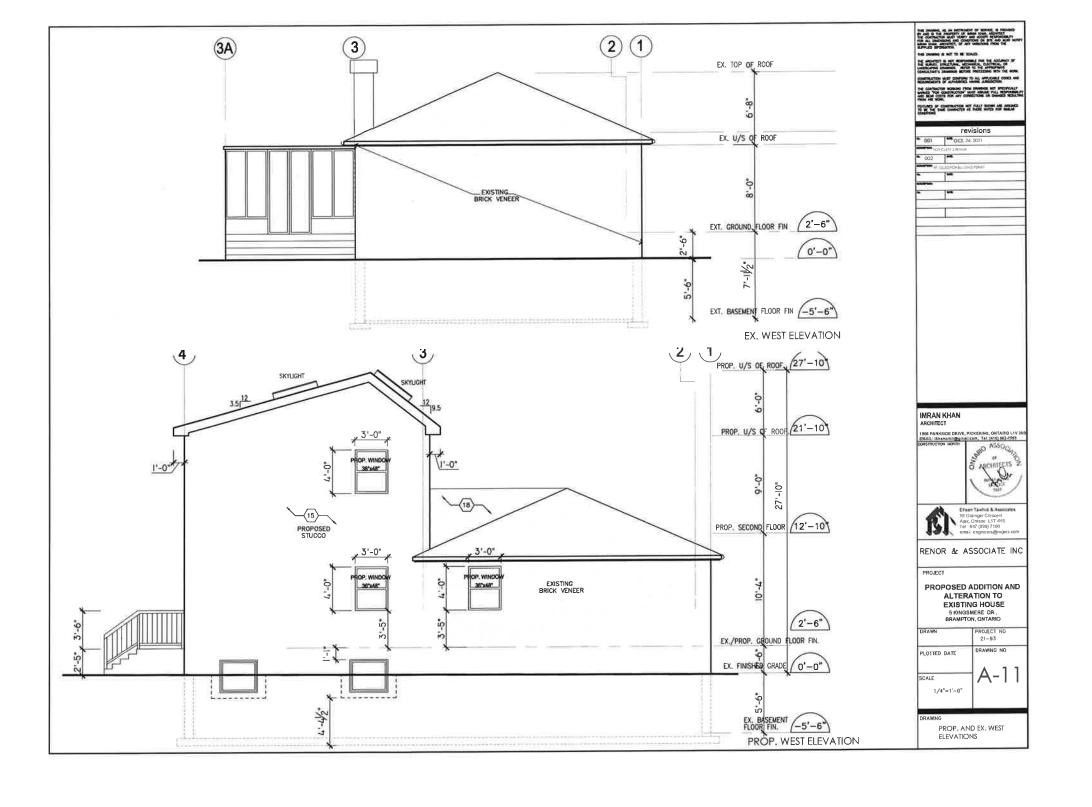


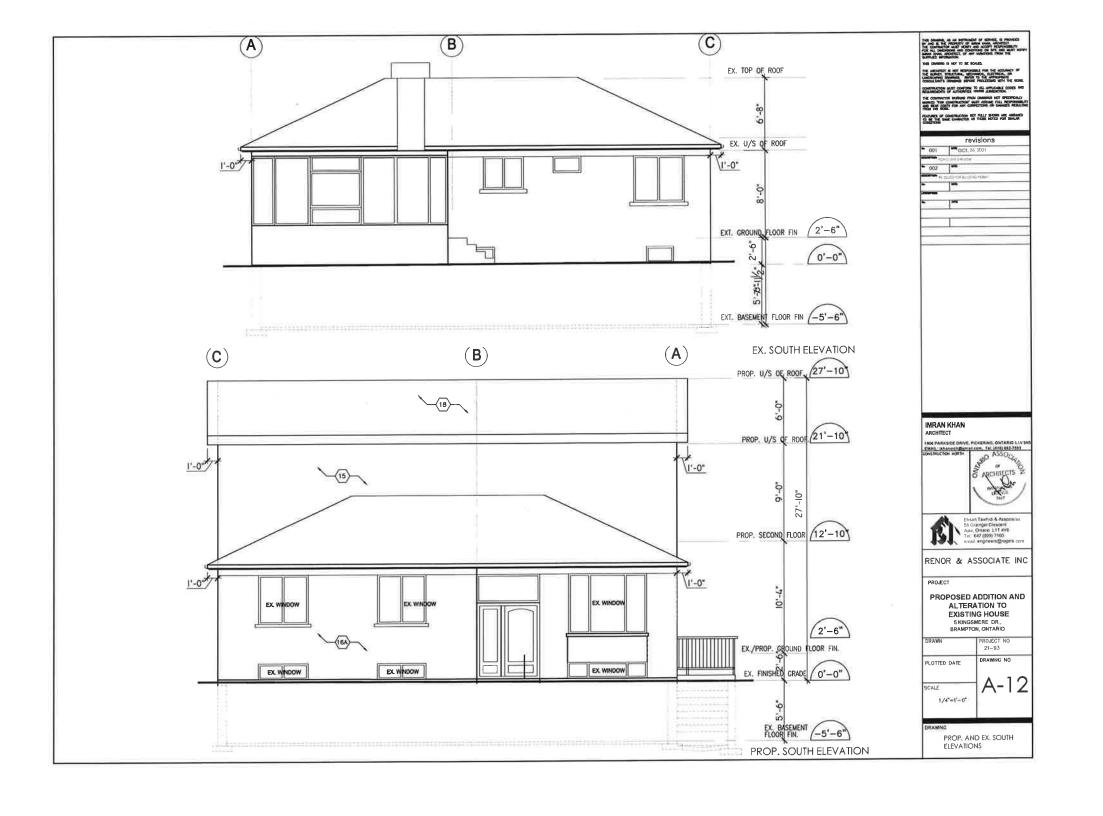


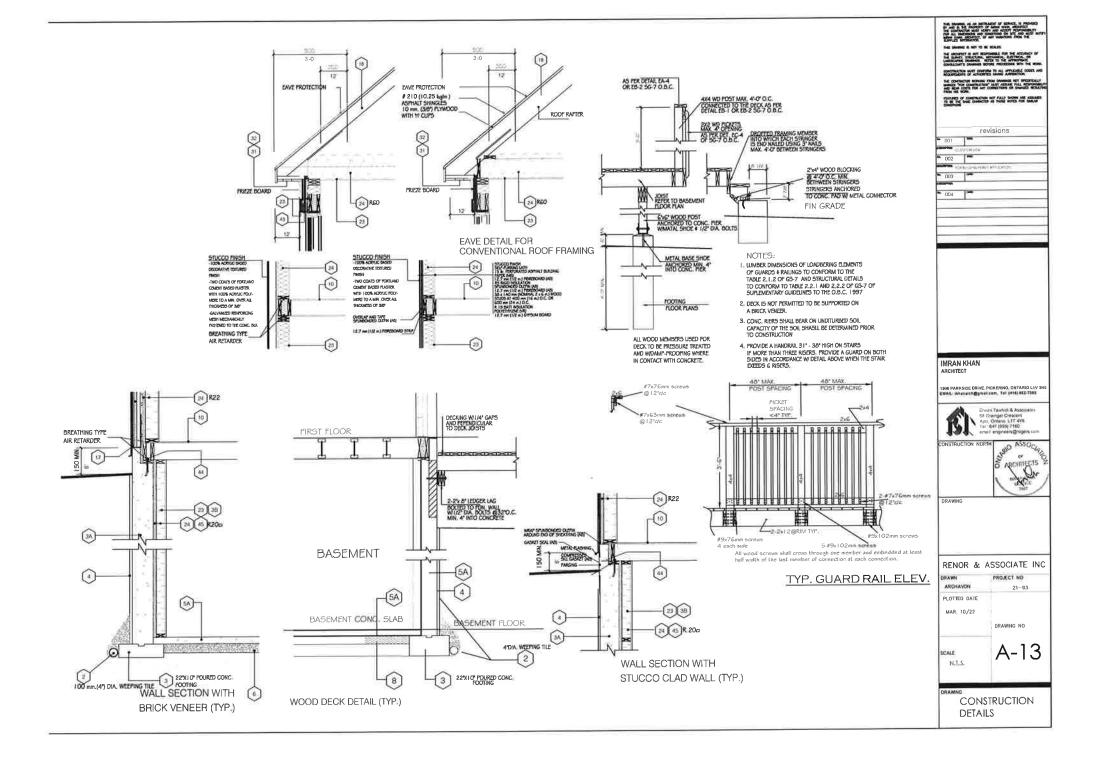












STRUCTURAL NOTES:

1. Workmanship and materials shall be in accordance with part 9

of the Ontario Building Code and local regulations.

- 2. See Architectural drawings for dimensions, elevations and finishes. 3. All structural components shall be interconnected to resist code mandated live,
- 4, DESIGN LIVE LOADS ARE:

ROOF: SS 1/50 = 1.3KPA, SR = 0.4 KPA FLOORS: 40 PSF

WIND 1/50: 0.44 KPA BASIC **EARTHOUAKE: SA (0.2) 0.21**

5. Contractor is responsible for safe execution of work, as per oshe and other applicable 4. safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

Foundations

- 1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
- 2. Footings excavations shall be inspected by soils engineer before concrete is placed.
- 3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
- 4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
- 5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
- 8. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
- 7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

Concrete specification

- 1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
- 2. The ultimate 28 days compressive strength of concrets exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/coment ratio by mass of 0.45.
- 3. Do not use calcium chloride or other salts in concrete.
- 4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
- 5. Welded wire mesh shall conform to CSA.G30.5, welded steel
- wire fabric for concrete reinforcement. 6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
- 7. Only ready mix concrete is permitted on this lob, the concrete supplier shall be responsible for concrete mix design.
- 8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curring as shown on the drawings In accordance with CSA A23 and CSA G 30.
- 9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

Structural Steel

1. Structural steel shall be as follows W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.

CAN/CSA G40.21-300W

- Obtain field measurements as required.
- 3. Provide holes where required for attachment of other work to steel, place holes so as not to cause any appreciable reduction in strength of the member.
- Fabricale, supply and erect structural steel work in accordance with the following standards:
- Design, fabrication and erection CSA-S16.1 CSA-W47 Welding SSPC-SP3-63 Cleaning Bolts 3/4" Ø U.N.O ASTM-325-80A
- Paint (1 shop coat + field touch up) CGSB-1.40-M89 5. Design connections for the reactions produced by the loading
- 6. No splices in new beams and columns shall be allowed unless approved by the engineer.
- 7. All steel lintels bearing on masonry to have minimum 6" bearing

Pre-Engineered wood trusses

- 1. The truss supplier shall be responsible for design of trusses and connections.
- CAN/CSA G40.21-350W. CLASS C 2. The design shall satisfy all architectural requirements. 3. Design trusses and connections for loads indicated on drawing
 - and in accordance with CSA standard CAN 3-086- M84. Live load deflection shall not exceed span/360. 5. Provide temporary and permanent lateral bracing for trusses
 - as required. 6. Submit 3 print + 1 sepla of shop drawings to the architect for review before fabrication is started. The shop drawings shall bear the seal of Professional Engineer of Ontario responsible for design of trusses.

Beam Bearing Plate

For W steel beams bearing on concrete foundation wall use steel plate Grade G40.21-300W 8" x 1/2" thick x 1'-1" with two 3/4" Ø A holts embedded 18° in frin well.

WOOD LINTEL SCHEDULE

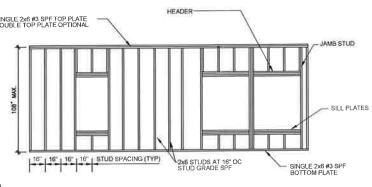
p 5'-8" Opening	3 - 2" x 8"	Ξ
o 6'-8" Opening	3 - 2" x 10"	
o 7'-8" Opening	3 - 2" x 12"	
	o 6'-6" Opening	o 6'-8" Opening 3 - 2" x 10"

STEEL LINTEL SCHEDULE

L1	Up to 4'-6" Opening	L31/2" x31/2" x5/16"
L2	Up to 5'-6" Opening	L 4" x 3 1/2" x 5/16"
13	Up to 6'-6" Opening	L 5" x 3 1/2" x 5/16"
L4	Up to 7'-6" Opening	L 5" x 3 1/2" x 3/8"
1.5	Up to 9'-10" Opening	L 6" x 4" x 3/8"
LB	Up to 11'-0" Opening	L 7" x 4" x 3/8"
L7	SEE PLAN - DWG A2	W@20 STEEL BEAM

Wood

- All wood construction to be in accordance with CSA standard
 DOUBLE TOP PLATE OPTIONAL
- 2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
- Lumber for stud walls shall be sonuce stud grade u/n otherwise.
- 4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal, the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
- 5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2006
- 8. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
- 7. Bridging for trus joists shall be as recommended by the manufacturer, however, spacing of bridging shall not exceed
- 8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
- 9. Protect lumber in direct contact with concrete or mortar with 10 mll, noivethylene sheet.
- 10. Provide adequate temporary bracing for all stud walls during
- 11. Double up stude at each end of an opening unless noted otherwise.
- 12. Plywood as per CSA O 86.1



TYP. WALL

- 1. TOP AND BOTTOM PLATE TO STUD WITH (3) ,131x3° P.D. NAILS. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
- WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.



FORMES OF CONTROLLED HAT ALL SHOW ME ASSAULT TO BE THE SHIP CHANCED AS THESE MITTO FOR SHALLS

IMRAN KHAN

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Ehsan Tawhidi & Associate 58 Grainger Crescent Ajax, Ontario L1T 4Y6 Tel: 647 (999) 7160



RENOR & ASSOCIATES INC PROJECT NO DRAWING NO PLOTTED DATE

STRUCTURAL NOTES

