

**Jeanie Myers, Secretary-Treasurer**  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117 Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



2020 Winslow Park Dr.  
Suite 200  
Oakville, ON  
L6H 6X7

Tel: 905-257-9358

[illegible]

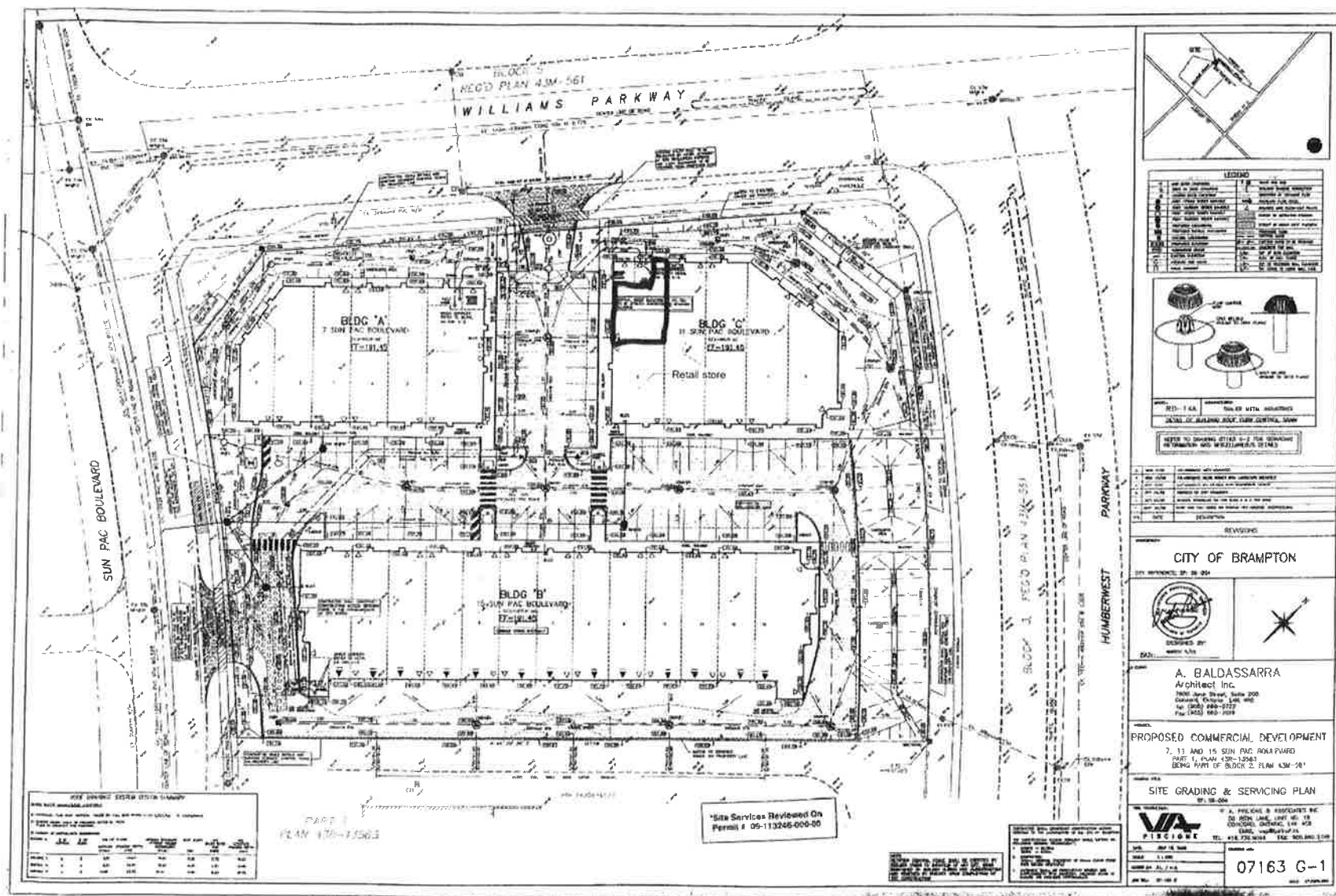
CODE	SUITABILITY DESCRIPTION
STATUS	PURPOSE OF ISSUE

PROJECT	
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DATE	TIME	LOCATION	REMARKS
10/10/2010	10:00	...	...

CLIENT

DRAWN BY Author	CHECKED BY Checker	DATE 08/12/2
SCALE (1:1)		PROJECT NUMBER Project Number
DRAWING NUMBER A101		



**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, May 4, 2023.**
  2. To participate in-person, please email the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2023-0093

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**

**Minor Variance or Special Permission**

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Heavenue Holdings Inc. Directors: Gurinder Sandhu, Samreel Sandhu  
**Address** 1-11 Sun Pac Blvd  
Brampton, ON  
L6S 5P6  
**Phone #** 647 220 0026 **Fax #** \_\_\_\_\_  
**Email** samreelsandhu2409@gmail.com

2. **Name of Agent** Sachli Davari Nikou  
**Address** 1712-25 St Dennis dr  
Toronto, ON  
M3C 1E6  
**Phone #** 647 6 772901 **Fax #** \_\_\_\_\_  
**Email** sachli@scharchitecture.ca

3. **Nature and extent of relief applied for (variances requested):**

81 parking spaces are provided on site, whereas the by-law requires 121 parking spaces to be provided on site. We are constructing 83.26 sqm mezzanine floor. The proposed use for the ground floor will be financial offices and mezzanine will contain Kitchen, board room and storage for the offices.

4. **Why is it not possible to comply with the provisions of the by-law?**

There is not enough space to add additional parking spaces to the existing plaza.

5. **Legal Description of the subject land:**

**Lot Number** Part of Block 2

**Plan Number/Concession Number** 43M-561

**Municipal Address** 11 Sun Pac Blvd, Brampton, ON, L6S 5P6

6. **Dimension of subject land (in metric units)**

**Frontage** 126.04m

**Depth** 76.08m

**Area** 10124.12 sqm

7. **Access to the subject land is by:**

**Provincial Highway**

**Municipal Road Maintained All Year**

**Private Right-of-Way**

☐  
☒  
☐

**Seasonal Road**

**Other Public Road**

**Water**

☐  
☐  
☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

3 single storey M4 industrial buildings with height of 7.64m.  
Building A GFA: 923.55 sqm  
Building B GFA: 1877.31 sqm  
Building C GFA: 965.65 sqm  
Total GFA: 3766.51 sqm

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Mezzanine floor with area of 83.26 sqm added to unit 1 (Unit 1, Building C)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	5.37 m
Rear yard setback	12.0 m
Side yard setback	7.0 m
Side yard setback	5.96 m

**PROPOSED**

Front yard setback	5.37 m
Rear yard setback	12.0 m
Side yard setback	7.0 m
Side yard setback	5.96 m

10. Date of Acquisition of subject land: N/A
11. Existing uses of subject property: F2 Industrial
12. Proposed uses of subject property: F2 Industrial
13. Existing uses of abutting properties: Industrial
14. Date of construction of all buildings & structures on subject land: 2009
15. Length of time the existing uses of the subject property have been continued: 13 Years

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 5 DAY OF April, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sachli Davari Nikou OF THE City OF North York  
IN THE Pr OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF Peel  
THIS 5th DAY OF April, 2023

Jeanie Myers  
A Commissioner etc.

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

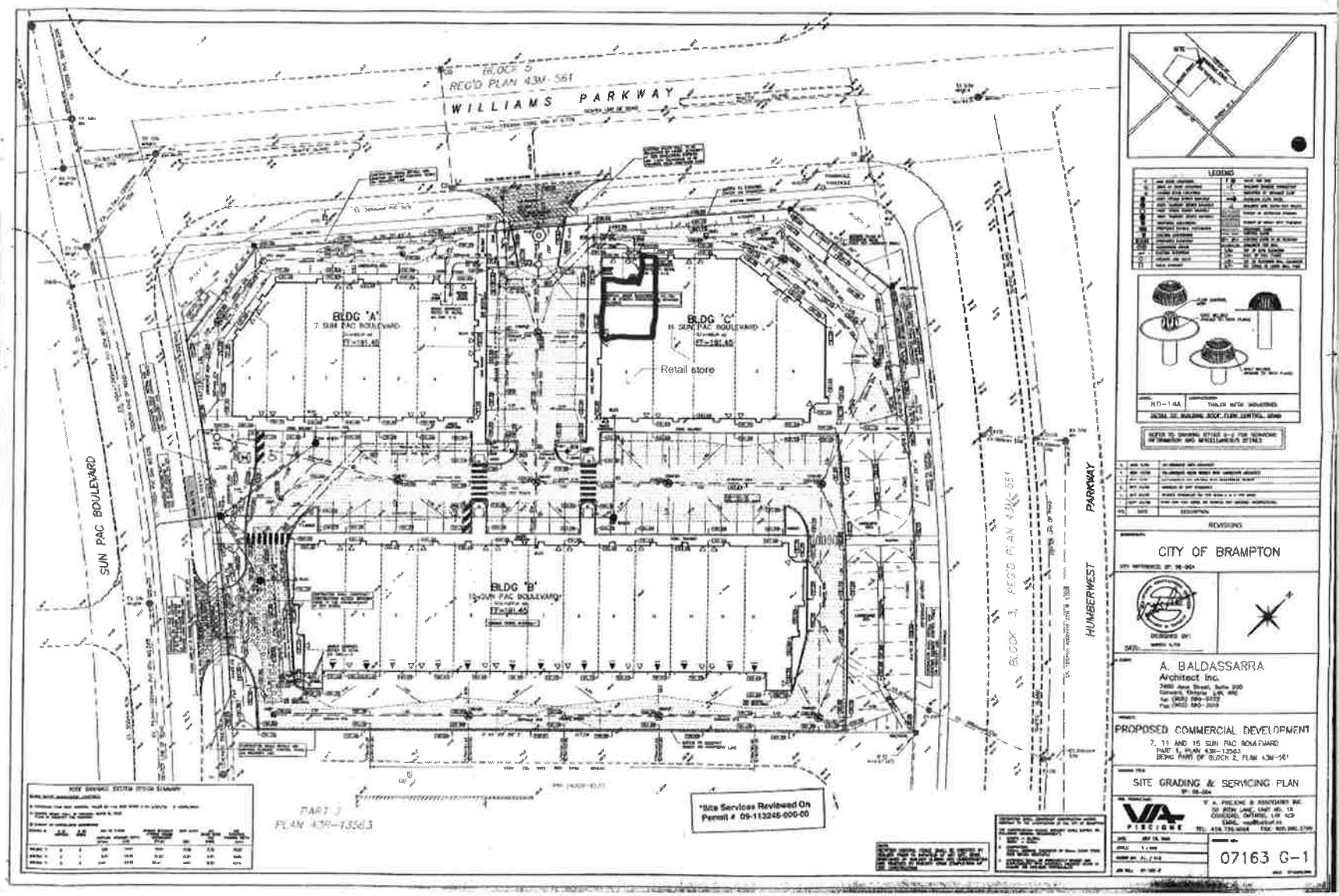
\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17



Canadian Planning and Development Consultants

2020 Winston Park Dr.  
Suite 200  
Oakville, ON  
L6H 6X7  
Tel: 905-257-9356

Rev	Description	Date

CODE	SUITABILITY DESCRIPTION
STATUS	PURPOSE OF ISSUE

CANADIAN PLANNING

PROJECT  
8-11 Sun Pac Blvd.

TITLE  
Key plan

CLIENT		
Owner		
DRAWN BY Author	CHECKED BY Checker	DATE 08/12/21
SCALE (1:1)	PROJECT NUMBER Project Number	
DRAWING NUMBER A101	REV	







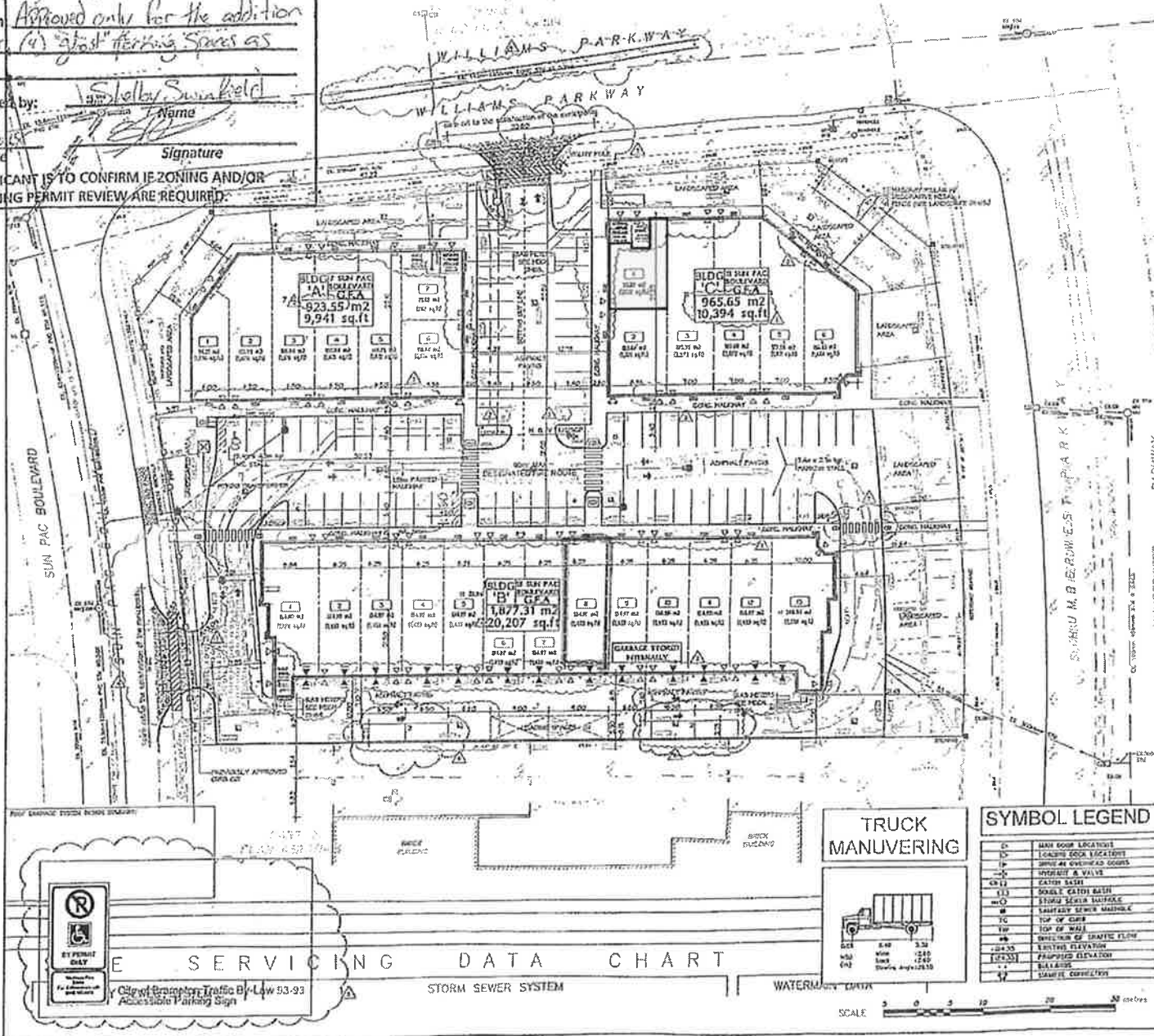
**City of Brampton - Planning Division**

Excluded from Site Plan Control  
 Site Plan Approval - Limited

Description: *Approved only for the addition of four (4) "ghost" parking spaces as shown.*

Authorized by: *S. Kelly Smithfield*  
 Date: *Feb 13/2008*  
 Signature: \_\_\_\_\_

NOTE: APPLICANT IS TO CONFIRM IF ZONING AND/OR BUILDING PERMIT REVIEW ARE REQUIRED.



**PROJECT NORTH** **TRUE NORTH**

**KEY PLAN N.T.S.**

**LEGAL DESCRIPTION**

PART OF BLOCK 2  
 REGISTERED PLAN 434-551  
 CITY OF BRAMPTON  
 REGIONAL MUNICIPALITY OF PEE  
 David Horwood Ltd. Ontario Land Surveyors, 2005  
 131 Trafalgar Road, 2nd floor, OAKVILLE, ON L6J 3G4  
 T. 905 815 1404 Fax. 905 815 1332

**SITE STATISTICS**

ZONING	M4 - Section 104B
LOT/SITE AREA	10,124.12 m <sup>2</sup> or 2.50 acres
LOT WIDTH	MIN. 30 m 126.04 m
FRONT YARD DEPTH	MIN. 20 m 5.37 m
INTERIOR SIDE YARD WIDTH	MIN. 4 m 7.0 m
REAR YARD DEPTH	MIN. 20 m 12.0 m
BUILDING HEIGHT	2 storeys MAXIMUM 5 storeys OFFICE 1 STOREY
LANDSCAPED OPEN SPACE	50% OF FRONT YARD 4.50 m 50% OF SITE SIDE YARD 0.15 m 50% OF LOT SIDE YARD 5.58 m
LANDSCAPE BUFFER STRIP	MIN. 12 m along MILLIKEN PARKWAY 5.58 m MIN. 12 m along HURMBURST PARKWAY 12.00 m
OUTSIDE STORAGE	NOT PERMITTED
BUILDING G.F.A.	Building 'A' 923.55 m <sup>2</sup> or 9,941 sq. ft. Building 'B' 1,877.31 m <sup>2</sup> or 20,207 sq. ft. Building 'C' 965.65 m <sup>2</sup> or 10,394 sq. ft. TOTAL G.F.A. 3,766.51 m <sup>2</sup> or 40,542 sq. ft.
COVERAGE OF BUILDINGS	REQUIRED MAX. 50 % of LOT AREA 37.20 %
PARKING REQUIRED	Building 'A' 16.02 spaces Building 'B' 33.00 spaces Building 'C' 17.30 spaces TOTAL PARKING 66.32 spaces
H/C PARKING SPACES	1 space 2 spaces
LOADING SPACES	2 spaces 2 spaces

**SYMBOL LEGEND**

- 1- MAIN DOOR LOCATIONS
- 2- LOADING DOOR LOCATIONS
- 3- SERVICE AREA LOCATIONS
- 4- INTERIOR & VALVE
- 5- EARTH DAM
- 6- SOILS CATCH BASIN
- 7- STORM SEWER MANHOLE
- 8- SANITARY SEWER MANHOLE
- 9- TOP OF CURB
- 10- TOP OF ROAD
- 11- SLOPE OF DRAINAGE FLOW
- 12- FINISH ELEVATION
- 13- PROPOSED ELEVATION
- 14- LOT LINE
- 15- SURFACE CORRELATION

NO.	REVISION	DATE
1	ISSUED FOR REVIEW	APR. 25 2007
2	ISSUED FOR CLIENT REVIEW	OCT. 1 2007
3	ISSUED FOR SITE PLAN APPROVAL	JAN. 2 2008
4	RE-ISSUED FOR SITE PLAN APPROVAL	MAY 02 2008
5	ISSUED FOR COMMENTS OF ADJUSTMENT	MAY 05 2008
6	RE-ISSUED FOR SITE PLAN APPROVAL	OCT. 21 2008
7	RE-ISSUED FOR SITE PLAN APPROVAL	MAY 03 2009
8	ISSUED FOR APPROVAL	MAY 03 2009
9	ISSUED FOR APPROVAL	OCT. 04 2009

NO.	REVISION	DATE
1	PARADES ADDED	OCT. 04 2009
2	RE-ISSUED FOR APPROVAL	JULY 6 2009
3	ENTRANCE REVISION	MAY 22 2009
4	ENTRANCE REVISION	APRIL 22 2009
5	RE-ISSUED AS PER SPA COMMENTS	2009
6	RE-ISSUED AS PER SPA COMMENTS	MAY 04 2009

**Sun Pac Blvd. & Williams Pkwy**

7, 11 & 15 Sun Pac Blvd.  
 Brampton, Ontario

**A. BALDASSARRA**  
 Architect Inc.

2600 Jona Street, Suite 200  
 Concord, Ontario L4K 4R6  
 Tel: (905) 463-0722  
 Fax: (905) 660-7617

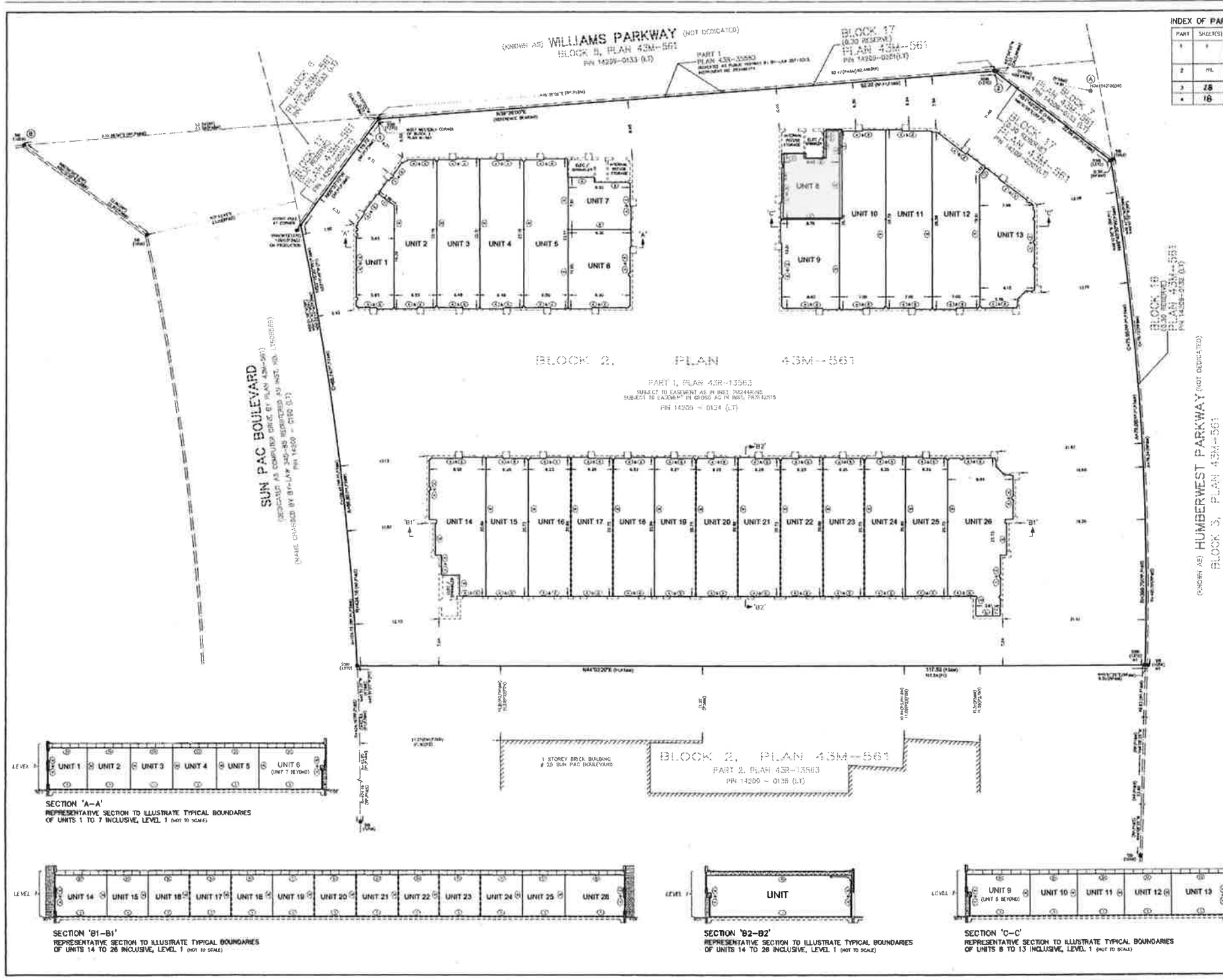
**SITE PLAN**  
 SP 08-004.001

SCALE 1:300

DATE JAN 2008

PROJECT NO. 07-40

AL-10



INDEX OF PARTS		
PART	SHEET(S)	DESCRIPTION
1	1	PLAN OF SURVEY OF THE CONDOMINIUM PROPERTY, THE ILLUSTRATION OF THE SERVIENT INTERESTS AND DESIGNATION OF THE UNITS ON LEVEL 1
2	18	PLAN OF SURVEY OF THE COMMON ELEMENTS ON LEVEL 1
3	28	ARCHITECTURAL PLANS
4	18	STRUCTURAL PLANS

PART 1 OF 4 PARTS  
SHEET 1 OF 1 SHEET

PEEL STANDARD  
CONDOMINIUM PLAN No. 1646

LEVEL 1  
UNITS 1 TO 26 INCLUSIVE

RECORDED IN THE LAND REGISTRY OFFICE FOR THE LAND TILES DIVISION OF PEEL (P#43) AT 12:00 O'CLOCK ON THE 15 DAY OF MAY 2018

By *Robert Weidenhofer*  
REPRESENTATIVE FOR LAND REGISTRY

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT 1990, THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATION, HAVE BEEN MADE.

2. THE SURVEY WAS COMPLETED ON THE 10TH DAY OF MAY, 2018.

3. THE DIMENSIONS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: July 10th 2018

ROBERT WEIDENHOFER  
ONLINE LAND SURVEYOR

DECLARATION REGISTERED AS NUMBER B34C7955

THIS PLAN COMPRISES ALL OF P#14209-0134 (L.T.)

SCHEDULE OF APPURTENANT AND SERVIENT INTERESTS (P#14209-0134 (L.T.) AND (S) OF THE CONDOMINIUM ACT 1990)				
PART	PLAN	DESCRIBED IN	NOTES	
SUBJECT TO	1	43M-13563	PLAN 43M-13563	
INTERESTS	1	43M-13563	PLAN 43M-13563	
TOGETHER WITH				
INTERESTS				

PLAN OF SURVEY OF  
PART OF BLOCK 2  
PLAN 43M-561  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:250

KRCMAR SURVEYORS LTD.

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES AND LEGEND

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH-EASTERN 1/4 UNIT OF BLOCK 17 (10.36 ACRES), AS SHOWN ON PLAN 43M-561 HAVING A BEARING OF NORTH-SOUTH.

TO OBTAIN GRID BEARINGS APPLY A COUNTER-CLOCKWISE ROTATION OF 0.0245° TO THE BEARINGS SHOWN.

ALL BUILDING TIES ARE TAKEN TO THE CONCRETE FOUNDATION WALLS UNLESS OTHERWISE NOTED.

LEGEND

- DENOTES CONDOMINIUM BOUNDARY
- DENOTES BOUNDARIES OF UNITS AND THE COMMON ELEMENTS
- DENOTES FACE OF STRUCTURE
- DENOTES SURVEY MONUMENT PLANTED
- DENOTES HORIZONTAL CONTROL MONUMENT
- DENOTES STANDARD BORN DATE
- DENOTES SHORT STANDARD WITH BAR
- DENOTES IRON PIPE
- DENOTES CUT CROSS
- DENOTES MEASURED
- DENOTES SET
- DENOTES PLAN 43M-561
- DENOTES PLAN 43M-13563
- DENOTES PLAN OF SURVEY BY A. SHIRAZI, O.L.S. DATED DECEMBER 23, 1998
- DENOTES SURVEYORS REAL PROPERTY REPORT BY KRCMAR SURVEYORS LTD., O.L.S. DATED MAY 30, 2013
- DENOTES PLAN 43M-35087
- DENOTES FILE NOTES AND DATA FILE BY DAND HOPWOOD LTD., O.L.S. DATED APRIL 8, 2008
- DENOTES W. W. FETTER, O.L.S.
- DENOTES KRCMAR SURVEYORS LTD., O.L.S.
- DENOTES BRICK UNIFORM
- DENOTES WITNESS
- DENOTES SPECIFIED CONTROL POINT
- DENOTES OBSERVED REFERENCE POINT
- DENOTES BUILDING TIE TO FOUNDATION WALL
- DENOTES NON-TANGENTIAL

INTEGRATION DATA			
6° UTM ZONE 18Q COORDINATES			
HAD 43 (CONVERSION) (CENTRAL MERRIDIAN 81°30' WEST LONGITUDE)			
THE UTM COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048			
OBSERVED CONTROL POINTS			
MONUMENT ID	NORTHING	EASTING	
(A) 118042100840	+ 846 212.811	804 120.860	
(B) SB	+ 846 090.646	804 616.936	
REFERENCE POINTS			
POINT	NORTHING	EASTING	
1	+ 846 133.14	804 630.72	
2	+ 846 251.58	804 508.48	
COORDINATE VALUES SHOWN ARE FOR REFERENCE PURPOSES ONLY. COORDINATE VALUES ARE BASED ON THE CANADIAN DATUM 1983 (CDNAD83) AND CAN BE CONVERTED TO THE UTM COORDINATE SYSTEM BY DIVIDING BY 0.3048.			

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT THE PROPERTY INCLUDED IN THIS PLAN HAS BEEN Laid OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH PART 1 OF THE CONDOMINIUM ACT, 1990.

DECLARANT: 494518 ONTARIO LIMITED

DATED AT THORNHILL THIS 16th DAY OF JULY, 2018

MUNICIPAL APPROVAL: 2100M-150118

PARTS 1 AND 2 APPROVED AND PARTS 3 AND 4 ATTEMPTED UNDER SECTION 50 OF THE CONDOMINIUM ACT AND SECTION 51 OF THE PLANNING ACT, R.S.O. 1990.

THIS 13th DAY OF August 2018.

FOR ELIOTT, MOP, RFP, USA  
COMMERCIAL, PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
CITY OF BRAMPTON

FIELD: AL. DRANE E.E. CHODKO R.M. ZUBNO 12 009

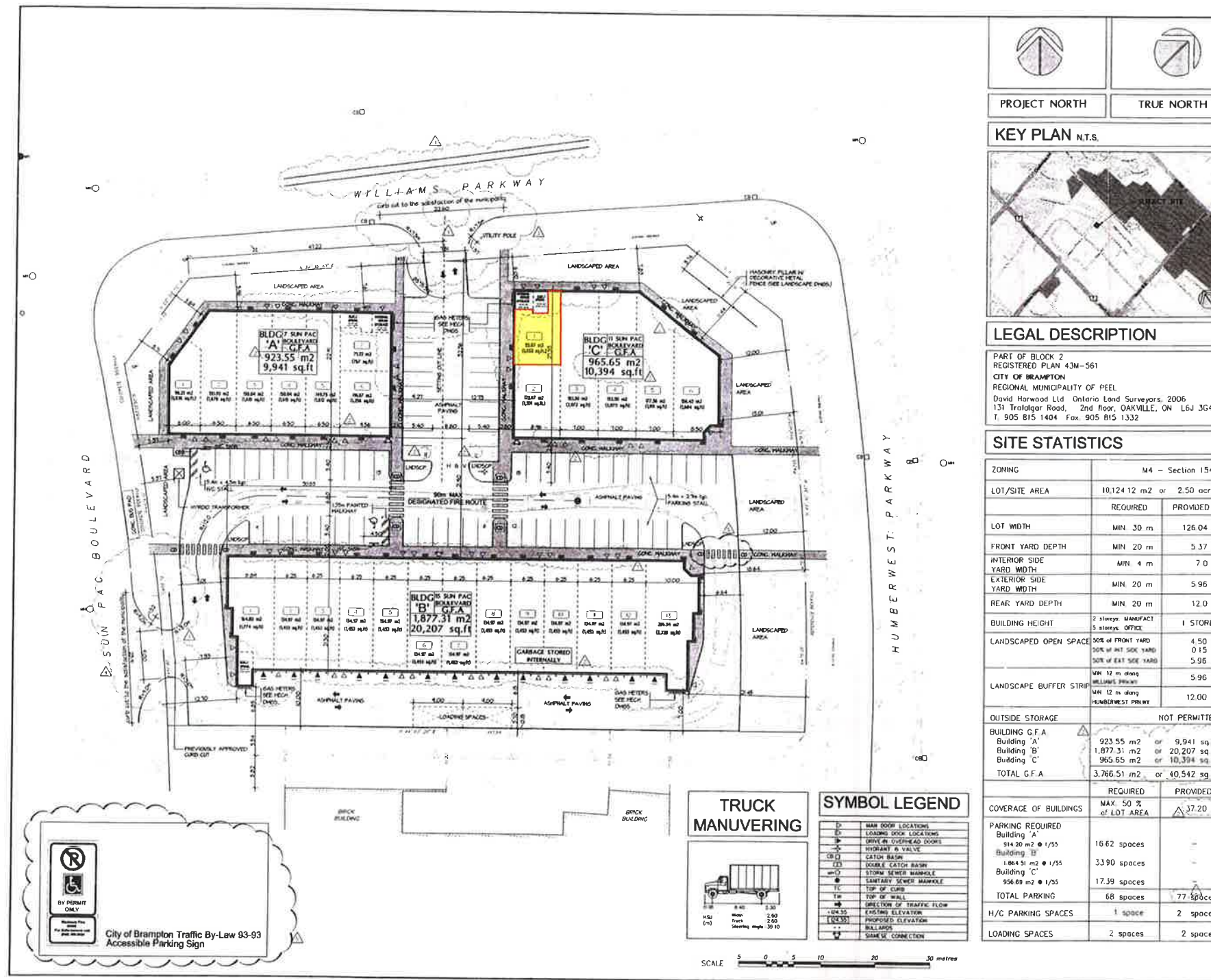
INS NAME: 12-08001 PLOT INFO: 125116M/001 WORK ORDER NO: 14801

1187 Cedar Street, Thornhill, ON L4M 3A8 TEL: 770.7203 FAX: 770.7203 WWW.KRCMAR.COM

KRCMAR







#	ISSUED	DATE
1	ISSUED FOR REVIEW	APRIL 20 2007
2	ISSUED FOR CLIENT REVIEW	DEC. 5, 2007
3	ISSUED FOR SITE PLAN APPROVAL	JAN. 2, 2008
4	RE-ISSUED FOR SITE PLAN APPROVAL	MAY 02 2008
5	ISSUED FOR COMMITTEE OF ADJUSTMENT	MAY 15 2008
6	RE-ISSUED FOR SITE PLAN APPROVAL	OCT. 21, 2008
7	RE-ISSUED FOR SITE PLAN/BUILDING PERMIT APPROVAL	MAR. 03, 2009
8	ISSUED FOR TENDER	SEPT. 04 2009
9	ISSUED SPA AMENDMENT	MAR. 23 2010

PROJECT NORTH TRUE NORTH

KEY PLAN N.T.S.



LEGAL DESCRIPTION

PART OF BLOCK 2  
REGISTERED PLAN 43M-561  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEE  
David Horwood Ltd. Ontario Land Surveyors 2006  
131 Trafalgar Road, 2nd floor, OAKVILLE, ON L6J 3G4  
T. 905 815 1404 Fax 905 815 1332

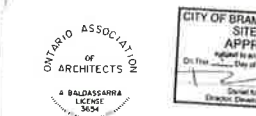
SITE STATISTICS

ZONING	M4 - Section 154B	
LOT/SITE AREA	10,124.12 m <sup>2</sup> or 2.50 acres	
	REQUIRED	PROVIDED
LOT WIDTH	MIN 30 m	126.04 m
FRONT YARD DEPTH	MIN 20 m	5.37 m
INTERIOR SIDE YARD WIDTH	MIN 4 m	7.0 m
EXTERIOR SIDE YARD WIDTH	MIN 20 m	5.96 m
REAR YARD DEPTH	MIN 20 m	12.0 m
BUILDING HEIGHT	2 storeys MANUFACT 5 storeys OFFICE	1 STOREY
LANDSCAPED OPEN SPACE	30% W/ FRONT YARD 4.50 m 30% W/ INT SIDE YARD 0.15 m 30% W/ EXT SIDE YARD 5.96 m	
LANDSCAPE BUFFER STRIP	MIN 12 m along HUMBOLDT PKWY	12.00 m
OUTSIDE STORAGE	NOT PERMITTED	
BUILDING G.F.A.	Building 'A' 923.55 m <sup>2</sup> or 9,941 sq.ft. Building 'B' 1,877.31 m <sup>2</sup> or 20,207 sq.ft. Building 'C' 965.65 m <sup>2</sup> or 10,394 sq.ft.	
TOTAL G.F.A.	3,766.51 m <sup>2</sup> or 40,542 sq.ft.	
	REQUIRED	PROVIDED
COVERAGE OF BUILDINGS	MAX 50 % of LOT AREA	37.20 %
PARKING REQUIRED	Building 'A' 914.20 m <sup>2</sup> @ 1/55 Building 'B' 1,864.51 m <sup>2</sup> @ 1/55 Building 'C' 956.69 m <sup>2</sup> @ 1/55	1662 spaces 3390 spaces 1739 spaces
TOTAL PARKING	68 spaces	77 spaces
H/C PARKING SPACES	1 space	2 spaces
LOADING SPACES	2 spaces	2 spaces

△	REVISED PER MUNICIPAL COMMENTS	JULY 11 2008
△	ENTRANCE REVISION	MAR. 22 2008
△	ENTRANCE REVISION	APRIL 22 2008
△	REVISED AS PER SPA COMMENTS	MAY 02 2008
△	REVISED AS PER MUNICIPAL SPA COMMENTS	MAY 04 2008

**Sun Pac Blvd. & Williams Pkwy**  
7, 11 & 15 Sun Pac Blvd.  
Brampton, Ontario

**A. BALDASSARRA**  
Architect Inc.  
7800 Jane Street, Suite 200  
Concord, Ontario L4K 4R6  
Tel: (905) 660-0722  
Fax: (905) 660-7019



**SITE PLAN**  
SP 08-004.001  
DRAWN BY: fda/dw/dp  
DATE: JAN 2008  
PROJECT NO: 07-40  
SCALE: 1:300  
DRAWING NO: A-1.0



A-2023-0093

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c

d

e



M3

M4