

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **FARZANA BAGAM** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 7, Plan 43M-2074 municipally known as **72 CIRCUS CRESCENT**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an exterior stairway leading to a proposed below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit a 0.12m (0.40 ft) side yard setback to an exterior stairway leading to a below grade entrance in the required interior side yard, with a combined side yard setback of 0.76m (2.50 ft), whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.) on one side and 0.6m (1.97 ft) on the other side provided that the combined total for both interior lots is 1.8m (5.91 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 9, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

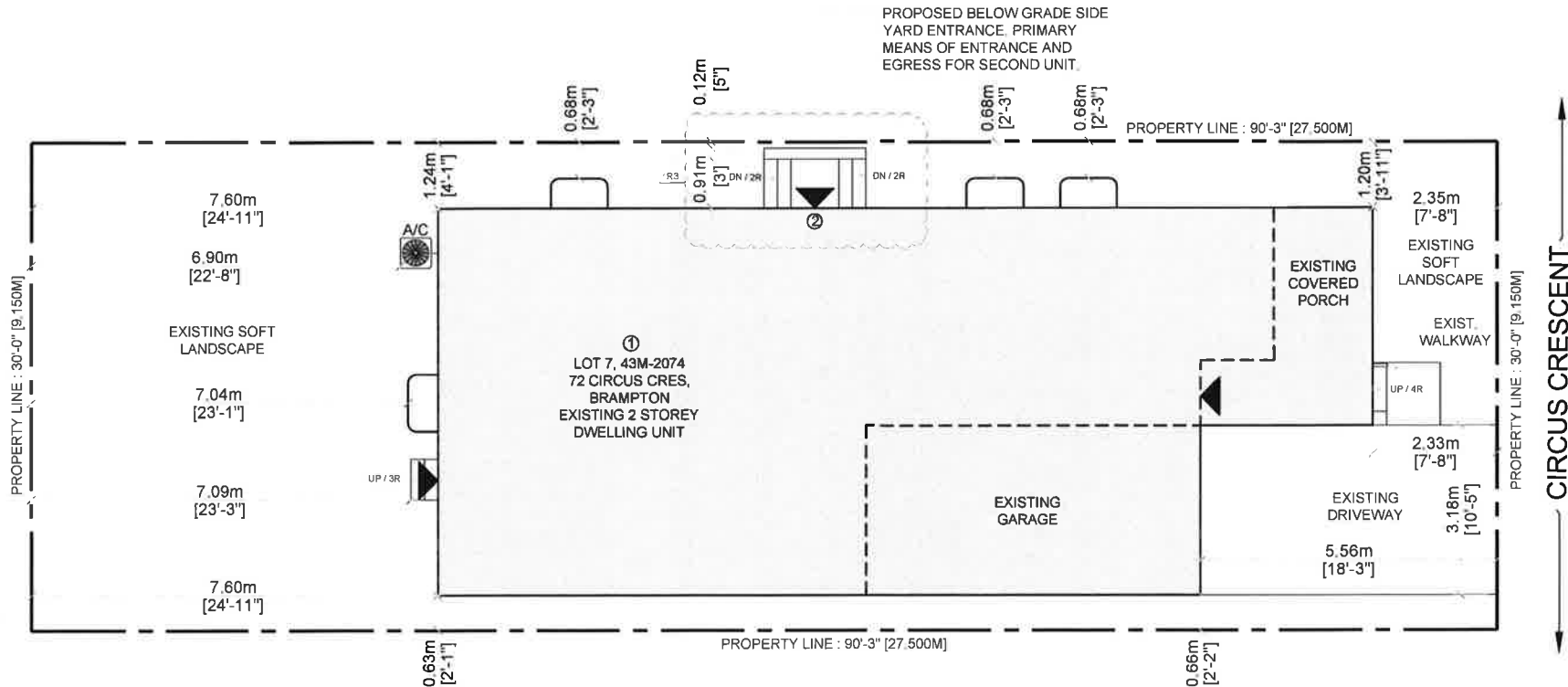
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 27th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca



1
A-001
SITE PLAN
SCALE : 1/8" = 1'-0"

LEGEND

--- PROPERTY LINE

▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED

TWO PARKING SPACES PROVIDED
(ONE OUTSIDE & ONE INSIDE THE GARAGE)

AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A - EXISTING PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR AREA = 935.77 SFT / 86.96 SM

GARAGE AREA = 214.40 SFT / 19.92 SM

EXISTING SECOND FLOOR AREA = 1152.22 SFT / 107.08 SM

TOTAL ABOVE GRADE GFA = **2,303.4 SFT / 214.07 SM**

B - EXISTING BASEMENT

BASEMENT AREA PART OF PRICIPAL RESIDENCE = 00.00 SFT / 00.00 SM

NEW BASEMENT APARTMENT GFA = 880 SFT / 81.78 SM

FURNACE AREA = 55.80 SFT / 5.18 SM

TOTAL BASEMENT GFA = **935.77 SFT / 86.96 SM**

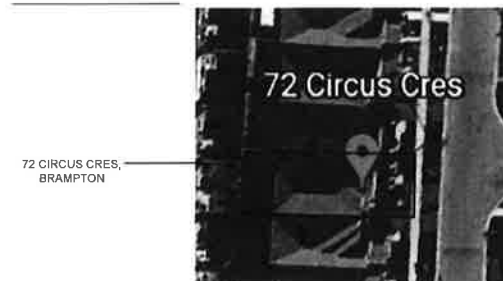
BASEMENT APARTMENT GFA IS 37.29 % OF PRINCIPAL RESIDENCE GFA

TOTAL LOT AREA : 2708 SFT / 251.67 SM

SCOPE OF WORK

- 1 BASEMENT APARTMENT
- 2 PROPOSED BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT

SITE LOCATION



RELEASED FOR BUILDING PERMIT

CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE MONITOR FIRM.

IF THIS SHEET IS NOT FULLY FIT IS A REDUCED / ENLARGED PRINT READ DRAWING ACCORDINGLY.

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NO.	DATE	REVISION / ISSUED
01	2023.01.10	SCHEMATIC LAYOUT
02	2023.01.16	PERMIT APPLICATION
03	2023.01.16	ENR COMMENTS
04	2023.01.16	ENR COMMENTS
05	2023.01.16	PERMIT REVISION



FARZANA BAGAM

ARCHITECT



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

SITE PLAN

SCALE: 1/8" = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-001

REVISION: 03

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A- 2023-0104

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** FARZANA BAGAM
Address 72 CIRCUS CRES, BRAMPTON, ON L7A 0H1

Phone # 416 830 8457 **Fax #**
Email mortgagewithmustafa@outlook.com

2. **Name of Agent** M. ARSHAD SIDDIQUI
Address 10368 WINSTON CHURCHILL BLVD, HALTON HILLS ON L7G 4S7

Phone # 647 741 5917 **Fax #**
Email arshad@c-archi.com

3. **Nature and extent of relief applied for (variances requested):**
MINOR VARIANCE REQUEST IN REQUIRED SETBACK FOR PROPOSED BELOW GRADE STAIRS AS PRIMARY MEANS OF ENTRANCE AND EXIT FOR PROPSOED SECOND UNIT

REQUIRED SETBACK IS 0.3M PER ZONING BY-LAW. PROPOSED SETBACK OF 0.12 REQUIRES MINOR VARIANCE APPROVAL OF 0.18M.

4. **Why is it not possible to comply with the provisions of the by-law?**
EXISTING SIDEYARD ENTRANCE REQUIRED BELOW GRADE STEPS DUE TO SITE CONDITION

5. **Legal Description of the subject land:**
Lot Number 5
Plan Number/Concession Number PLAN 43M-2074
Municipal Address 72 CIRCUS CRES, BRAMPTON, ON L7A 0H1

6. **Dimension of subject land (in metric units)**
Frontage 9.150 M
Depth 27.50 M
Area 251.67 SM

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 214.07 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.63 M

Rear yard setback 15.53 M

Side yard setback 1.48 M

Side yard setback 4.24 M

PROPOSED

Front yard setback 2.35 M

Rear yard setback 7.60 M

Side yard setback 0.00 M

Side yard setback 1.24 M

10. Date of Acquisition of subject land: 2022
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2022
15. Length of time the existing uses of the subject property have been continued: 2 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) NA

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) NA

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) NA

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>

M. Arshad Siddiqui
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 11TH DAY OF APRIL, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF HALTON HILLS

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 2ND 11TH DAY OF
APRIL, 20 23

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

M. Arshad Siddiqui
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1F-9-2888

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne
Zoning Officer

April 3, 2023
Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

PART 1

PLAN 43M-2074

CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300



R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

■	DENOTES MONUMENT FOUND
□	DENOTES MONUMENT SET
IB	DENOTES IRON BAR
PB	DENOTES PLASTIC BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
P.I.N.	DENOTES PROPERTY IDENTIFIER NUMBER
(WIT)	DENOTES WITNESS
PL	DENOTES PLAN 43M-2074
D.U.C.	DENOTES DWELLING UNDER CONSTRUCTION
P	DENOTES PORCH
TOW	DENOTES TOP OF WALL ELEVATION

ALL FOUND MONUMENTS BY SCHAEFFER DZALDOV
BENNETT LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE GRID AND ARE REFERRED TO THE
NORTHWEST LIMIT OF CIRCUS CRESCENT AS SHOWN ON
PLAN 43M-2074 HAVING A BEARING OF N38°22'25"E.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

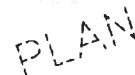
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 24th DAY OF SEPTEMBER, 2019.

DATE Nov. 8, 2019.

T. SINGH
ONTARIO LAND SURVEYOR



DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
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THIS REPORT WAS PREPARED FOR
MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

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Free

R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS

645 Chrised Road, Suite 7, Woodbridge, Ontario, L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Tel. (905) 754-2099

Website: www.1-800-695-0000

DRAWN: V.K.
 CAD FILE No. 2074-2

CHECKED: G.Y./T.S.
JOB No. 19-157

19-157 *43M-2074 L2-8*



PROPOSED BASEMENT RENOVATIONS

72 CIRCUS CRES, BRAMPTON

FARZANA BAGAM

ISSUED FOR: BASEMENT APARTMENT PERMIT APPLICATION

ISSUE DATE: JANUARY 11, 2023

NAME OF PROJECT		PROPOSED BASEMENT RENOVATION									
LOCATION		72 CIRCUS CRES, BRAMPTON									
ITEM	ONTARIO BUILDING CODE DATA MATRIX										OBC REFERENCE
1	PROJECT DESCRIPTION:										
	<input type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 9										
	<input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION										2.1.1 9.10.1.3
2	MAJOR OCCUPANCY(S) C										9.10.2
3	BUILDING AREA (m ²)	EXISTING	106.98	NEW	0	TOTAL	106.98				1.1.3.2
4	GROSS AREA (m ²)	EXISTING	301.03	NEW	0	TOTAL	301.03				1.1.3.2
4a	AREA OF WORK (m ²) 86.96										
5	NUMBER OF STOREYS	ABOVE GRADE:	2	BELOW GRADE:	1						2.1.1.3
6	NUMBER OF STREET/ACCESS ROUTES 1										9.10.19
7	BUILDING CLASSIFICATION										9.10.4
8	SPRINKLER SYSTEM PROPOSED										9.10.8
	<input type="checkbox"/> ENTIRE BUILDING										
	<input type="checkbox"/> BASEMENT ONLY										
	<input type="checkbox"/> IN LIEU OF ROOF RATING										
	<input checked="" type="checkbox"/> NOT REQUIRED										
9	STANDPIPE REQUIRED										9.10.17.2
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										
10	FIRE ALARM REQUIRED										
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										
11	WATER SERVICE/SUPPLY IS ADEQUATE										N/A
	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO										
12	HIGH BUILDING										N/A
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH										9.10.6
	ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH										
14	MEZZANINE(S) AREA (M ²) N/A										9.10.4.1
15	OCCUPANT LOAD BASED ON										9.9.1.3
	<input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING										
	BASEMENT: OCCUPANCY _____ LOAD _____ PERSON										
	1 ST. FLOOR: OCCUPANCY _____ LOAD _____ PERSON										
	2 ST. FLOOR: OCCUPANCY _____ LOAD _____ PERSON										
	3 ST. FLOOR: OCCUPANCY _____ LOAD _____ PERSON										
16	BARRIER-FREE DESIGN										9.5.2
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) _____ N/A _____										
17	HAZARDOUS SUBSTANCES										9.10.1.3
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO										
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)							9.10.8
		FLOORS N/A HOURS									9.10.9
		ROOF _____ HOURS									
		MEZZANINE _____ HOURS									
		FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SG-2)							
		FLOORS N/A HOURS									
		ROOF _____ HOURS									
		MEZZANINE _____ HOURS									

LIST OF ARCHITECTURAL DRAWINGS

- A-000 COVER SHEET & OBC MATRIX
- A-001 SITE PLAN
- A-002 GENERAL NOTES
- A-101 BASEMENT - EXISTING LAYOUT
- A-102 BASEMENT - PROPOSED LAYOUT
- A-103 MAIN FLOOR - EXISTING LAYOUT
- A-104 SECOND FLOOR - EXISTING LAYOUT
- A-201 NORTH ELEVATION
- A-401 EGRESS WINDOW DETAIL
- A-402 TYPICAL DETAILS
- A-403 FIRE BLOCKING DETAILS
- A-404 WALKOUT DETAILS
- A-405 WALKOUT DETAILS
- E-101 BASEMENT - ELECTRICAL LAYOUT
- M-101 BASEMENT - MECHANICAL LAYOUT

NOTES:

1. PROVIDE INTERCONNECTED SMOKE ALARMS IN BOTH DWELLING UNITS. (THROUGHOUT THE ENTIRE BUILDING)
2. HORIZONTAL FIRE SEPARATION BETWEEN TWO DWELLING UNITS SHALL COMPLY WITH O.B.C. REQUIREMENTS REFER SECTION 11.5.1.1.C (C152) WHICH PRESCRIBES IT TO BE 15 MINUTES

FIRE SEPARATION
O.B.C 9.10.9.14
9.10.8.1
9.10.8.3
9.10.9.15

C152 9.10.9.14 (1) AND (3); 9.10.9.15 (1) (B) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE:

(I) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS IN CONFORMANCE WITH SUBSECTION 9.10.19., AND

(II) SMOKE ALARMS ARE INTERCONNECTED.

(C) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, THE FIRE-RESISTANCE RATING OF THE FIRE SEPARATION IS WAIVED WHERE BUILDING IS SPRINKLERED.

C147 9.10.8.1.; 9.10.8.3.; 9.10.8.8. (B) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE,

(I) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS IN CONFORMANCE WITH SUBSECTION 9.10.19., AND

(II) SMOKE ALARMS ARE INTERCONNECTED.

NUMBER OF EXITS:
(O.B.C 9.9.8)

C136 9.9.9. IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, EXIT REQUIREMENTS ARE ACCEPTABLE IF AT LEAST ONE OF THE FOLLOWING CONDITIONS EXISTS:

BEDROOM WINDOWS:
(O.B.C 9.9.10.1)

(A) A DOOR, INCLUDING A SLIDING DOOR, THAT OPENS DIRECTLY TO THE EXTERIOR FROM A DWELLING UNIT, SERVES ONLY THAT DWELLING UNIT AND HAS REASONABLE ACCESS TO GROUND LEVEL, AND THE DWELLING UNITS ARE EQUIPPED WITH SMOKE ALARMS INSTALLED IN CONFORMANCE WITH SUBSECTION 9.10.19.,

C137 9.9.10.1. IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, EXISTING ACCEPTABLE, WHERE THERE IS DIRECT ACCESS TO THE EXTERIOR.

C108 9.7 EXISTING ACCEPTABLE.

WINDOW SIZES:
(O.B.C 9.7)

04

DIV. B
O.B.C 9.10.19
9.9.10.1
9.23.4.2

DIV. B
O.B.C 11.5.1.1
C88

DIV. B
O.B.C 9.33.1.1 (1)

DIV. B
O.B.C 7.6.5.1 (1)

DIV. B
O.B.C 9.10.16.1
9.6.3.1 (1)

C107 9.7.2.3. (A) WHERE WINDOWS ARE NOT USED AS A MEANS OF EGRESS AND WHERE THEY DO NOT CONFLICT WITH VENTILATION REQUIREMENTS, THE MINIMUM GLASS AREAS AS SHOWN IN TABLE 9.7.2.3. MAY BE REDUCED BY 50%.

EGRESS WINDOW

TO BE OPERABLE FORM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 SM / 3.8 SFT WITH NO DIMENSION LESS THAN 1'-3" 380MM)

ALL WORK SHOULD COMPLY WITH ONTARIO BUILDING CODE 2012.

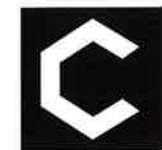
AN EGRESS WINDOW FROM THE BASEMENT FLOOR AREA WITH A MINIMUM OPEN AREA 3.8 FT² AND NO DIMENSION LESS THAN 15", HARDWIRED AND INTERCONNECTED SMOKE ALARMS IN EACH BEDROOM, AND A HARDWIRED AND INTERCONNECTED CO DETECTOR.

MINIMUM CEILING HEIGHTS FOR BASEMENT SPACES 5 YEARS OR GREATER IN AGE IS 6'-5" OVER THE BASEMENT AREA INCLUDING UNDER BEAMS AND DUCTS.

SUPPLY AIR OUTLETS ARE REQUIRED IN EACH FINISHED ROOM OR SPACE. PROVIDE AT LEAST ONE RETURN OUTLET PER FLOOR LEVEL UNDERCUT DOORS TO ROOMS WHERE RETURN AIR IS NOT PROVIDED. LOW WALL SUPPLY AND RETURN OUTLETS ARE RECOMMENDED.

EACH NEW PLUMBING FIXTURE REQUIRES A MIXING VALVE TO ENSURE THAT THE MAXIMUM TEMPERATURE OF HOT WATER SUPPLIED BY FITTINGS TO THE FIXTURE DOES NOT EXCEED 49°C. ALTERNATIVELY PROVIDE A MIXING VALVE ON THE HOT WATER HEATER TO ENSURE THAT THE WATER SUPPLIED TO ALL FIXTURES DOES NOT EXCEED 49°C.

INSULATION IS REQUIRED IN THE FLOOR JOISTS ABOVE WALLS SEPARATING FINISHED AND UNFINISHED PORTIONS. ENSURE THE DOOR TO THE UTILITY ROOM IS MINIMUM 32" WIDE.



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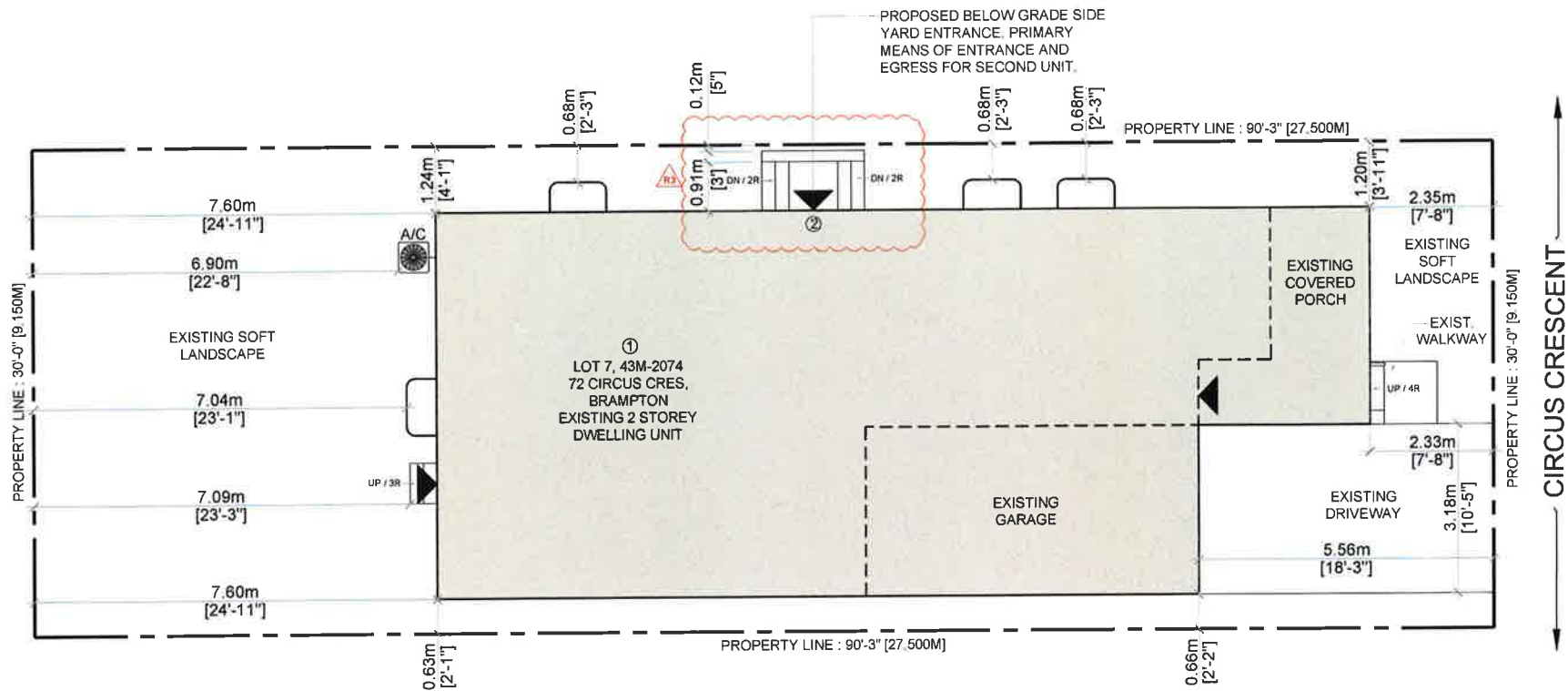
10368 WINSTON CHURCHILL BLVD.
HALTON HILLS, ON L7G 4S7
647.741.5917 | WWW.C-ARCHI.COM

Project #: 22-176

PROJECT TEAM:

ARCHITECT

C-ARCHITECTURE LTD.
M. ARSHAD SIDDIQUI, OAA
C: 647.741.5917
E: arshad@c-archi.com



1
A-001
SITE PLAN
SCALE : 1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- ▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED

TWO PARKING SPACES PROVIDED
(ONE OUTSIDE & ONE INSIDE THE GARAGE)

AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A - EXISTING PRINCIPAL RESIDENCE
EXISTING MAIN FLOOR AREA
GARAGE AREA
EXISTING SECOND FLOOR AREA
TOTAL ABOVE GRADE GFA
= 935.77 SFT / 86.96 SM

B - EXISTING BASEMENT
BASEMENT AREA PART OF PRICIPAL RESIDENCE
NEW BASEMENT APARTMENT GFA
FURNACE AREA
TOTAL BASEMENT GFA
BASEMENT APARTMENT GFA IS
37.29 % OF PRINCIPAL RESIDENCE GFA
TOTAL LOT AREA : 2708 SFT / 251.67 SM

= 214.40 SFT / 19.92 SM

= 1152.22 SFT / 107.08 SM

= **2,303.4 SFT / 214.07 SM**

= 00.00 SFT / 00.00 SM

= 880 SFT / 81.78 SM

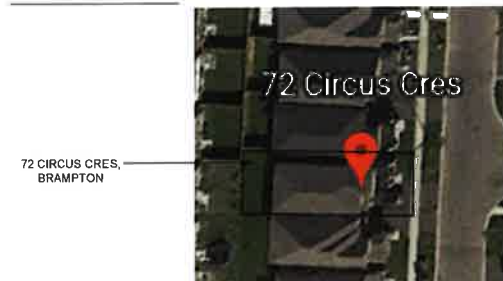
= 55.80 SFT / 5.18 SM

= **935.77 SFT / 86.96 SM**

SCOPE OF WORK

- BASEMENT APARTMENT
- PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT

SITE LOCATION



RELEASED FOR BUILDING PERMIT

CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION.

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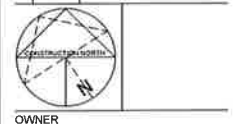
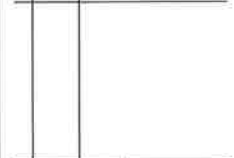
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NO.	DATE	REVISION / ISSUED
01	2022.12.28	SCHEMATIC LAYOUT
02	2023.01.09	PERMIT APPLICATION
03	2023.01.16	CITY COMMENTS
04	2023.02.02	CITY COMMENTS
05	2023.02.09	PERMIT REVISION



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

SITE PLAN

SCALE: 1/8" = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-001

REVISION: 03

SPECIFICATION:

① FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., ½" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED.

1A NOT USED

DATE
RECEIVED: 2023/02/15

② INTERNAL WALLS
½" DRY WALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH JOINTS TAPED AND SEALED. **SB-3: W1** (WATER RESISTANT GWB ON BATHROOMS' WALLS).

2A INTERNAL WALLS
½" TYPE X DRYWALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W1b. FIRE RESISTANCE : 45 MIN, STC: 34**

2B NOT USED

3 CEILING
½" DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **SB-3: F3e**

3A NOT USED

3B 5/8" TYPE X DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE . **SB-3: F3b. FIRE RESISTANCE : 31 MIN, STC : 30.**

3C NOT USED

4 20 MIN. RATED DOOR FOR FURNACE ROOM AND BETWEEN BASEMENT APARTMENT AND BASEMENT AREA WHICH IS PART OF PRINCIPAL RESIDENCE

5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR

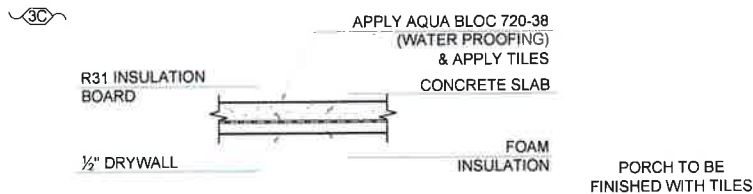
6 MECHANICAL VENTILATION
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT THROUGH ENTIRE HOUSE ALARM - AS PER OBC 9.10.19.

8 PERMANENTLY CONNECTED TO ELECTRICAL CIRCUIT CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3.

9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

10 SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, "EMERGENCY LIGHTING EQUIPMENT" - AS PER OBC 9.9.12



SCHEDULES

ROOM FINISH SCHEDULE

RM NO	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	LIVING / DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
2	KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
3	BEDROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
4	STORAGE	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
5	CLOSET	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
6	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-3"	

DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE OR SLIDING DOORS. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80".
2. ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND AHJ BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

\$3
4

3 OR 4 WAY SWITCH
E EXISTING
N NEW

INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE
4 DENOTES 4-WAY SWITCH
SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS

GFI
WP

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE, WHITE
C/W WHITE COVER PLATE
GFI- GROUND FAULT TYPE
WP- WEATHERPROOF COVER
C - ABOVE COUNTER

INSTALL DUCT TYPE SMOKE DETECTOR IN FURNACE.

NEW CEILING TO BE 45 MIN. FIRE RATED WITH ABSORPTIVE MATERIAL IN CAVITY. RESILIENT METAL CHANNELS @ 610MM O.C. WITH 2 LAYERS OF 12.7 MM TYPE X GYP. BD. ON CEILING SIDE AS PER "TABLE 2, FLOORS & CEILINGS F9h OF SB-3"

2/ 2x10 SPR WOOD LINTEL

ESCAPE WINDOW:
TO BE OPERABLE FROM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M2/3.76 Sq.Ft WITH NO DIMENSION LESS THAN 1'-3" 380MM)

BULKHEAD / STAIR CEILING 45 MIN. FIRE SEPARATION, 2 LAYERS 1/2" TYPE X GYPSUM (NOTE: NO OPENINGS PERMITTED THIS MEMBRANE ONLY FIRE SEPARATION.

A

RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.

EXHAUST FAN

EXHAUST FAN

FD: FLOOR DRAIN

FD: FLOOR DRAIN

SPRINKLER

SPRINKLER

EMERGENCY LIGHT

EMERGENCY LIGHT

SD: SMOKE ALARM W/ STROBE LIGHT

SD: SMOKE ALARM W/ STROBE LIGHT

CO: CARBON MONOXIDE ALARM

CO: CARBON MONOXIDE ALARM

POT LIGHT

POT LIGHT

City of Brampton
Building Division
Building Reviewed
2023/02/21
L.Orquin

PLEASE SEE ATTACHED NOTES AS THEY FORM PART OF THE REVIEWED DRAWINGS

RELEASED FOR BUILDING PERMIT

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NO.	DATE	REVISION / ISSUED
01	2023/02/28	SCHEMATIC LAYOUT
02	2023/03/08	PERMIT APPLICATION
03	2023/03/11	CITY COMMENTS
04	2023/03/13	CITY COMMENTS

OWNER

FARZANA BAGAM

ARCHITECT



C-Architecture Ltd

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c: 647.741.5917, e: info@c-archi.com

SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

GENERAL NOTES

SCALE: N.T.S

DATE: 2023.01.11

PROJECT: 22-176

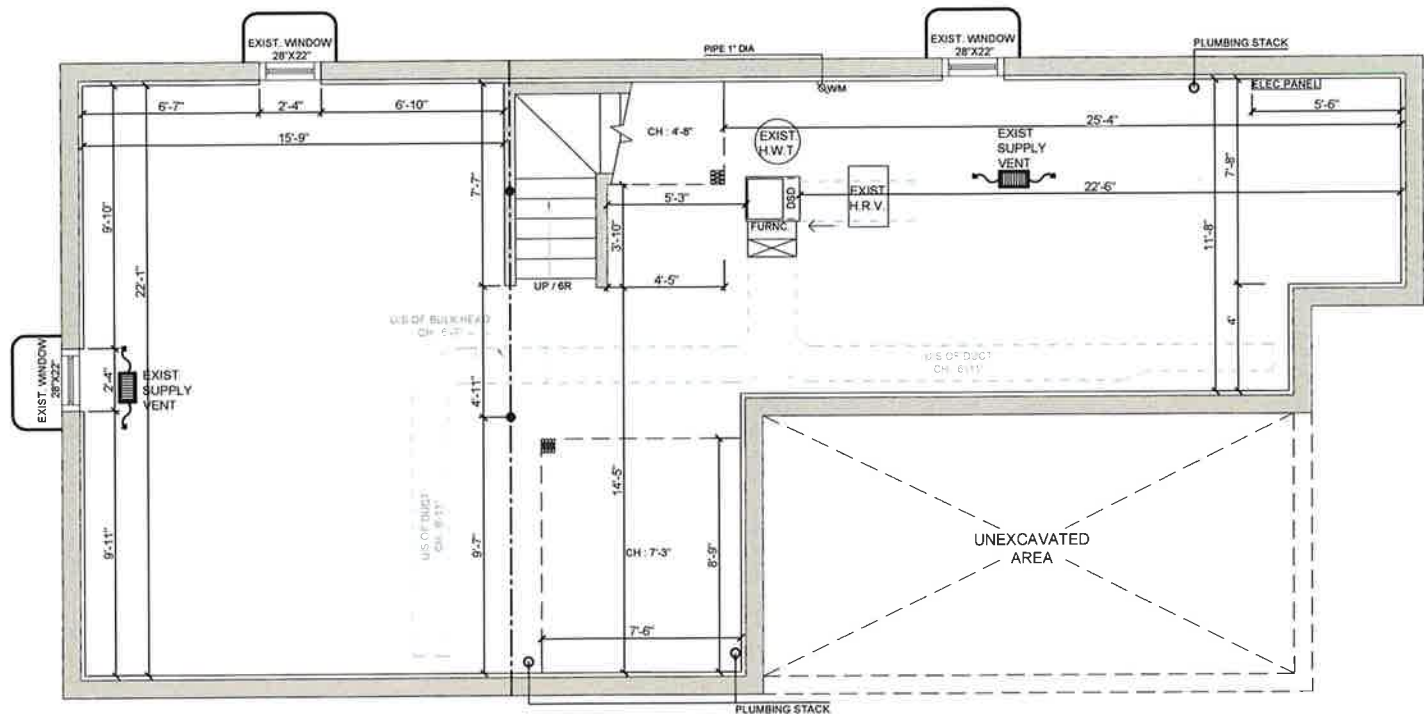
DRAWING NO:

A-002

REVISION: 01

DATE
RECEIVED: 2023/02/15

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NOTES AS THEY FORM
PART OF THE
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1
A-101
BASEMENT - EXISTING LAYOUT
SCALE: $\frac{3}{16}" = 1'-0"$

LEGEND:

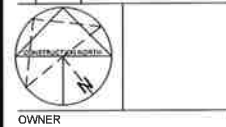
- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

BASEMENT - EXISTING LAYOUT

BASEMENT AREA = 935.77 SFT / 86.96 SM
U/S OF DUCT CEILING HEIGHT = 6'-11"
U/S OF BULK HEAD CEILING HEIGHT = 6'-7"
CEILING HEIGHT = 7'-8"

RELEASED FOR BUILDING PERMIT
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NO	DATE	REVISION / ISSUED
01	2023.01.08	SCHEMATIC LAYOUT
02	2023.01.08	PERMIT APPLICATION
03	2023.01.11	CITY COMMENTS
04	2023.01.11	CITY COMMENTS



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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
EXISTING
LAYOUT

SCALE: $\frac{3}{16}" = 1'-0"$
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-101

REVISION: 01

DATE RECEIVED 2023/02/15

City of Brampton
Building Division
Building Reviewed

2023/02/21
LOquin

NOT TO SCALE. SEE ATTACHED NOTES FOR DIMENSIONS.

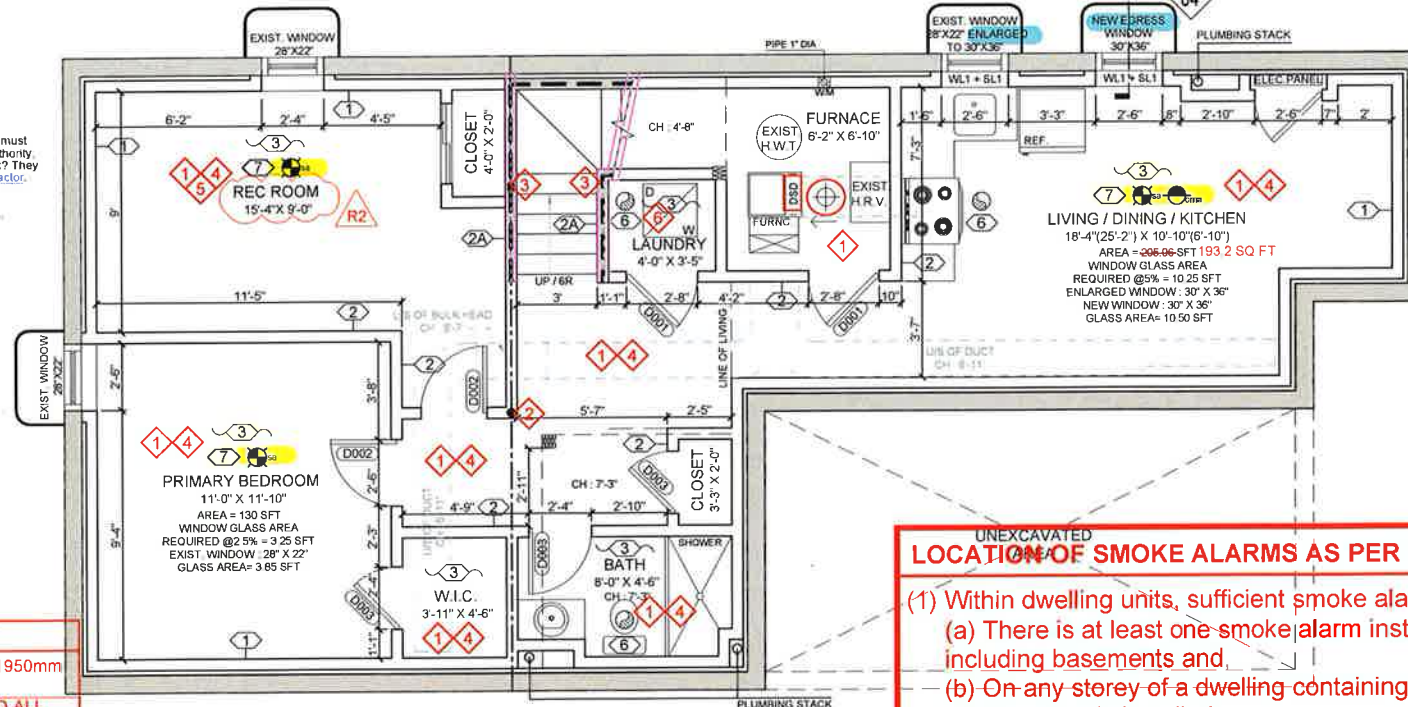
PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS



Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the law. For more information go to esa.safesite.com or call 1-877-372-7233.

The fire sprinkler system shall be a flow through system with a minimum 3/4" copper pipe connected to the supply to the hot water tank (OR 3/4" PEX)

TO BE DESIGNED FOR RESIDENTIAL USE.



NOTES

- MINIMUM CEILING HEIGHT OF 1950mm (6'-5") THROUGHOUT.
- MINIMUM 15min. F.R.R. AROUND ALL STRUCTURAL BEAMS AND COLUMNS.
- MINIMUM 30min. VERTICAL FIRE SEPARATION.
- MINIMUM 15min. HORIZONTAL FIRE SEPARATION.
- ROOM HAS NOT BEEN REVIEWED FOR SLEEPING/BEDROOM PURPOSES
- DRYER EXHAUST AS PER OBC 2012 6.2.4.11.

City of Brampton
Building Division
Plumbing Reviewed

2023/02/21
A. Sturino

ALL PLUMBING SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332/12, AS AMENDED, DIVISION B, PART 7

PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVE REQUIRED ON SHOWER AS PER OBC DIVISION B, 7.6.5.2.(1)

LOCATION OF SMOKE ALARMS AS PER O.B.C. DIV B, SEC 9.10.19.3

- Within dwelling units, sufficient smoke alarms shall be installed so that,
 - There is at least one smoke alarm installed on each storey, including basements and,
 - On any storey of a dwelling containing sleeping rooms, a smoke alarm is installed,
 - In each sleeping room and,
 - In a location between the sleeping room and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm should be located in the hallway.

SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE A VISUAL SIGNAL

1 BASEMENT - SCHEMATIC LAYOUT

A-102 SCALE: 3/16" = 1'-0"

LEGEND:

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

BASEMENT - SCHEMATIC LAYOUT

BASEMENT AREA PART OF PRINCIPAL RESIDENCE = 0.0 SFT / 0.0 SM

NEW BASEMENT APARTMENT GFA = 880 SFT / 81.78 SM

FURNACE AREA = 55.60 SFT / 5.18 SM

TOTAL BASEMENT GFA = 935.77 SFT / 86.96 SM

U/S OF DUCT CEILING HEIGHT = 6'-11"

U/S OF BULK HEAD CEILING HEIGHT = 6'-7"

CEILING HEIGHT = 7'-8"

04 EGRESS WINDOW

TO BE OPERABLE FROM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 SM / 3.8 SFT WITH NO DIMENSION LESS THAN 1'-5" 460MM)

ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O. REG. 332/12 AS MENTIONED

SL1: STEEL LINTEL 31/2" X 31/2" X 3/8"
WL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2

DOOR SCHEDULE

- (EXIST) EXISTING DOOR & WINDOW TO REMAIN. REPAINT IF REQUIRED
- (D001) NEW 2'-8" X 6'-8" WOOD DOOR & FRAME
- (D002) NEW 2'-6" X 6'-8" WOOD DOOR & FRAME
- (D003) NEW 2'-4" X 6'-8" WOOD DOOR & FRAME
- (D004) NEW DOUBLE DOOR
- (D005) NEW 2'-8" X 6'-8", 20 MIN. FIRE RATED DOOR

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION.
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NO.	DATE	REVISION / ISSUED
01	2021/02/06	SUBMITTAL LAYOUT
02	2023/01/04	PERMIT APPLICATION
03	2023/01/31	CITY COMMENTS
04	2023/02/01	CITY COMMENTS



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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
SCHEMATIC
LAYOUT

SCALE: 3/16" = 1'-0"

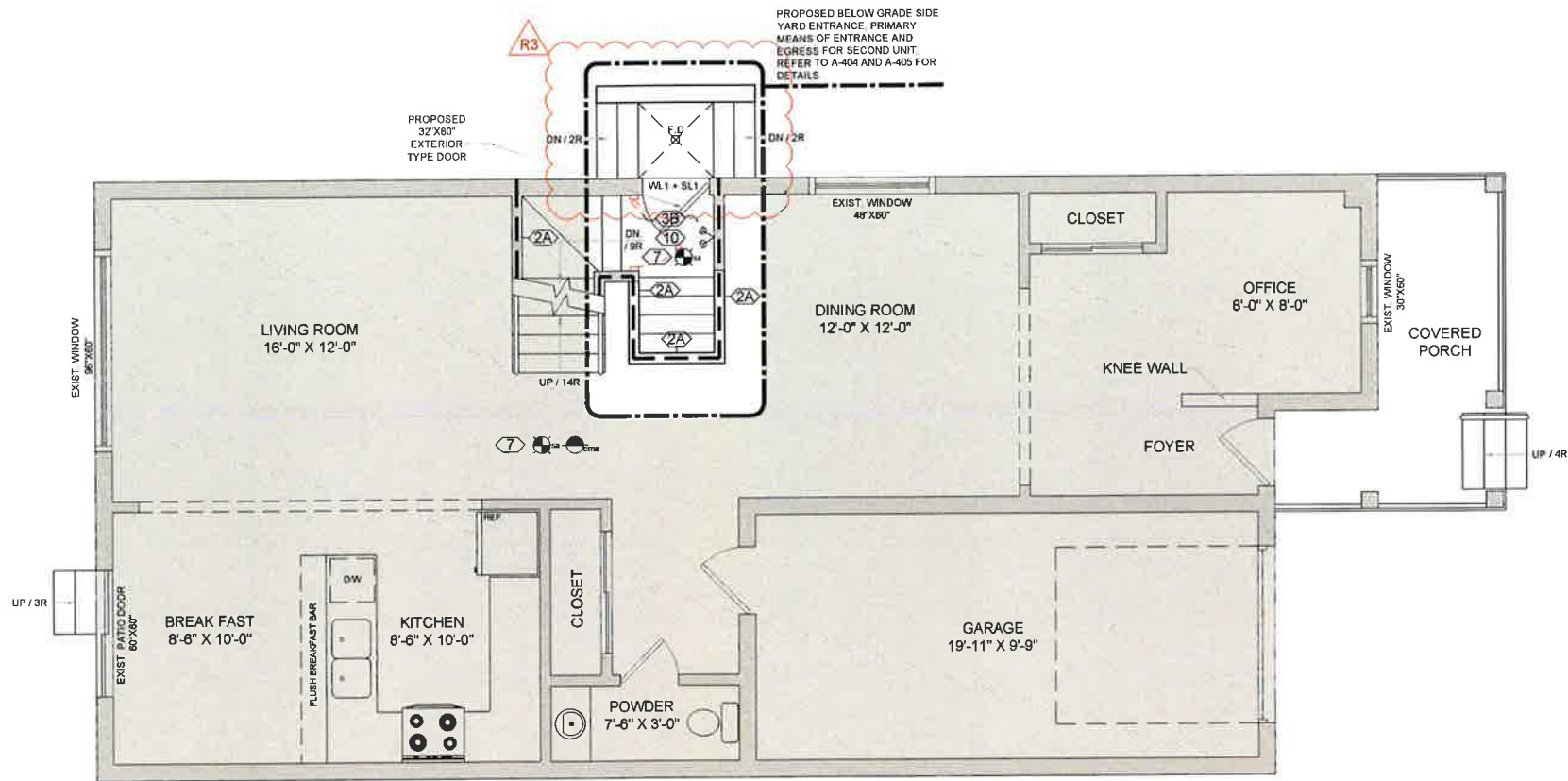
DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-102

REVISION: 01



1 MAIN FLOOR - EXISTING LAYOUT
A-103 SCALE: $\frac{3}{16}'' = 1'-0''$

LEGEND:

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

MAIN FLOOR - EXISTING LAYOUT

MAIN FLOOR AREA = 935.77 SFT / 86.96 SM
GARAGE AREA = 214.40 SFT / 19.92 SM
TOTAL MAIN FLOOR AREA = 1151.18 SFT / 106.98 SM
CEILING HEIGHT = 8'-0"

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION.
- ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
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NO.	DATE	REVISION / ISSUED
01	2023.01.28	SCHEMATIC LAYOUT
02	2023.01.28	PERMIT APPLICATION
03	2023.01.11	CITY COMMENTS
04	2023.01.11	CITY COMMENTS
05	2023.01.11	PERMIT REVIEW



OWNER

FARZANA BAGAM

ARCHITECT



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c. 947.741.5917, e. info@c-archi.com

SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

MAIN FLOOR -
EXISTING LAYOUT

SCALE: $\frac{3}{16}'' = 1'-0''$
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-103

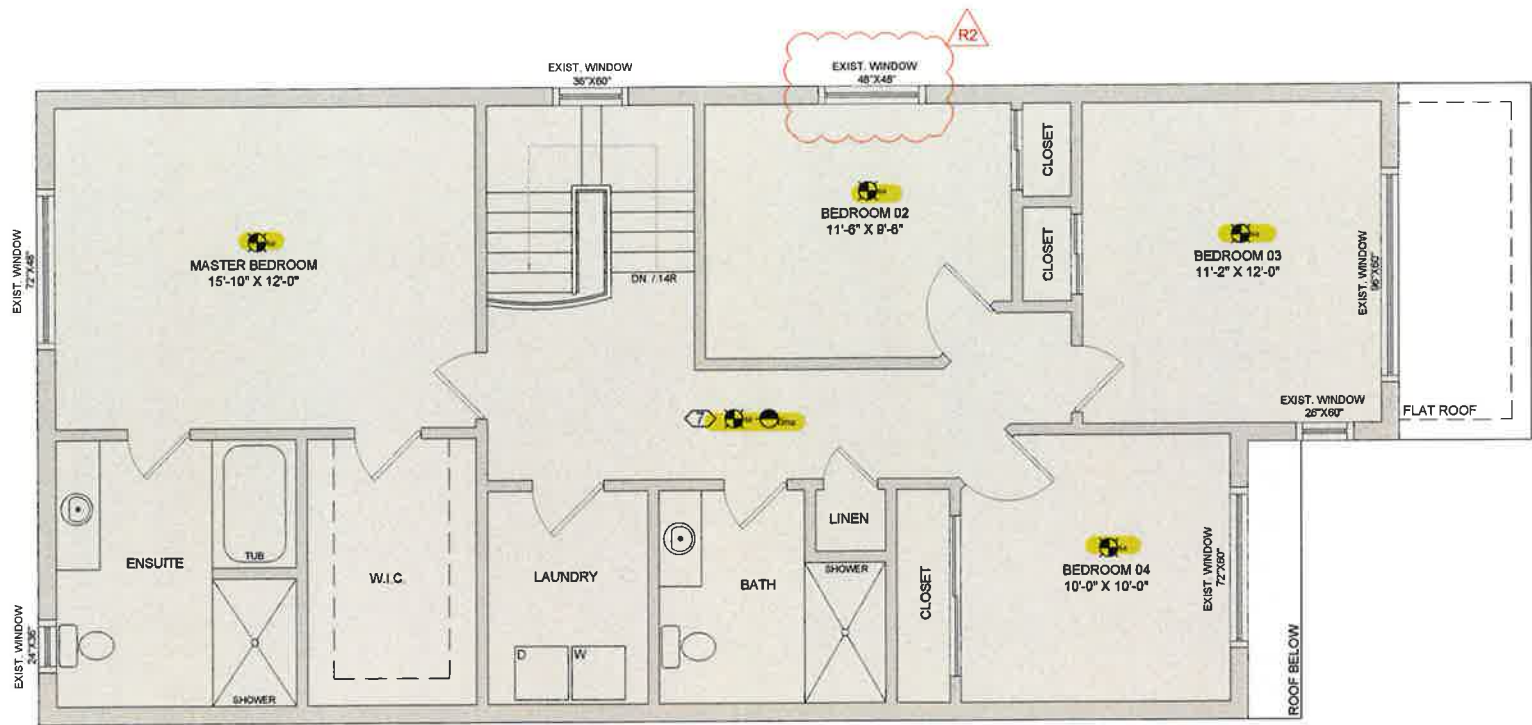
REVISION: 03

DATE RECEIVED: 2023/02/15

City of Brampton
Building Division
Building Reviewed
2023/02/21
L. Orquin

ALL WORK SHALL CONFORM TO THE CURRENT
BUILDING CODE & ALL ZONING BY-LAWS

PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS



1 SECOND FLOOR - EXISTING LAYOUT
A-104 SCALE: 3/16" = 1'-0"

- LEGEND:
- EXHAUST FAN
 - EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING STEEL & WOODEN POSTS
 - HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
 - CARBON MONOXIDE ALARM

SECOND FLOOR - EXISTING LAYOUT
SECOND FLOOR AREA = 1152.22 SFT / 107.08 SM
CEILING HEIGHT = 8'-0"

LOCATION OF SMOKE ALARMS AS PER O.B.C.DIV B. SEC 9.10.19.3

- (1) Within dwelling units, sufficient smoke alarms shall be installed so that,
- (a) There is at least one smoke alarm installed on each storey, including basements and,
 - (b) On any storey of a dwelling containing sleeping rooms, a smoke alarm is installed,
 - (i) In each sleeping room and,
 - (ii) In a location between the sleeping room and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm should be located in the hallway.

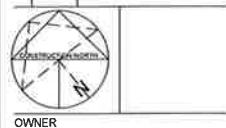
SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE A VISUAL SIGNAL

RELEASED FOR BUILDING PERMIT
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01	2023.01.10	SCHEMATIC LAYOUT
02	2023.01.26	PERMIT APPLICATION
03	2023.01.11	CITY COMMENTS
04	2023.02.01	CITY COMMENTS



OWNER

FARZANA BAGAM

ARCHITECT



C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

SECOND FLOOR -
EXISTING LAYOUT

SCALE: 3/16" = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-104

REVISION: 01

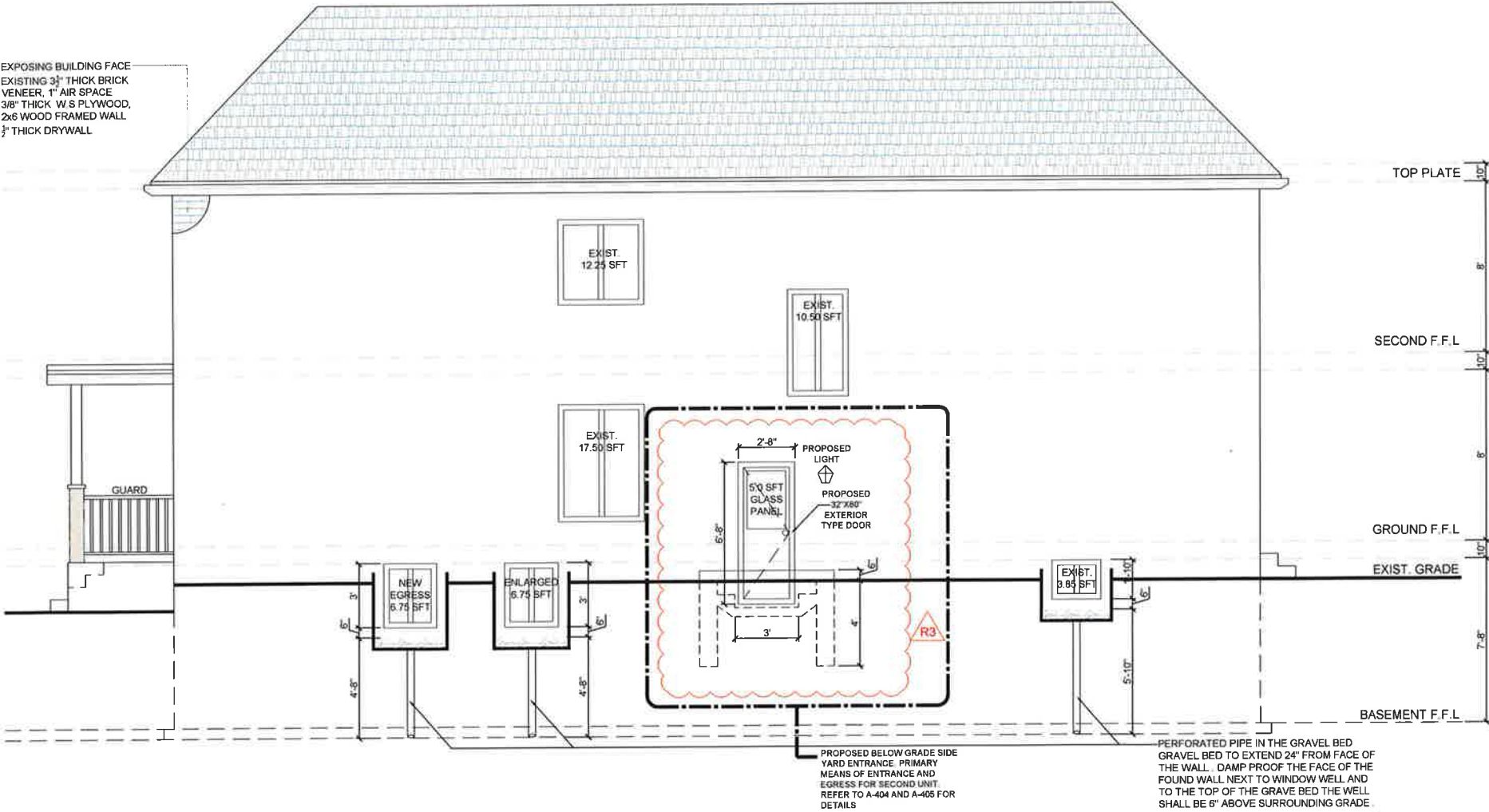
GLAZED OPENINGS:

WALL AREA: = 1016.84 SFT / 94.50

LIMITING DISTANCE: 1.31 M

WINDOW AREA PROVIDED: 62.6 SFT / 5.81 M² (6.15%)

WINDOW AREA ALLOWED: 7%



RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION
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02	2023.01.08	PERMIT APPLICATION
03	2023.01.11	CITY COMMENTS
04	2023.01.15	CITY COMMENTS
05	2023.01.18	PERMIT RELEASE

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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

NORTH ELEVATION

SCALE: 3/16"=1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-201

REVISION: 03

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200MM OF Laterally UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPA @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
- MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

1. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.6 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
SL1: STEEL LINTEL 3 1/2" X 3 1/2" X 1/4"
WL1: WOOD LINTEL 2 - 2 X 6 SPF NO.1 OR 2

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ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE 9.6.5 TO 9.6.6 AS AMENDED
PLEASE SEE ATTACHED NOTES AS THEY FORM PART OF THE REVIEWED DRAWINGS

DATE RECEIVED: 2023/02/15

MIN. CLEAR OPENING AREA OF 0.35 SM (3.8 SFT)

RIGIDLY FASTEN WINDOW

NO DIMENSION LESS THAN 380MM (15") CEILING

MIN. CLEAR OPENING AREA OF 0.35 SM (3.8 SFT)

WINDOW IN OPEN POSITION

NO DIMENSION LESS THAN 380MM (15")

FLOOR

NO LIMIT

MIN. 550MM (22") CLEAR

04

FIN. GRADE

WINDOW WELL DRAIN TO WEEPING TILE

MIN. 48"

1
A-401
EGRESS WINDOW DETAIL
SCALE : 3/8" = 1'-0"

RELEASED FOR BUILDING PERMIT
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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

EGRESS WINDOW
DETAIL

SCALE: 3/8" = 1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-401

REVISION: 01

DATE
RECEIVED: 2023/02/15

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03	2023.01.15	CITY COMMENTS
04	2023.02.03	CITY COMMENTS

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ALTERATIONS
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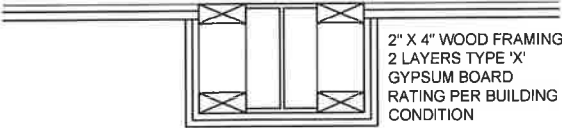
72 CIRCUS CRES,
BRAMPTON

TYPICAL DETAILS

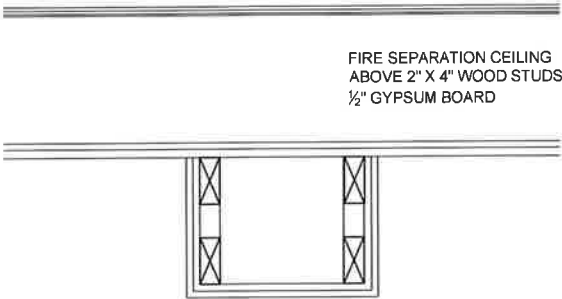
SCALE: 3/8"= 1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-402

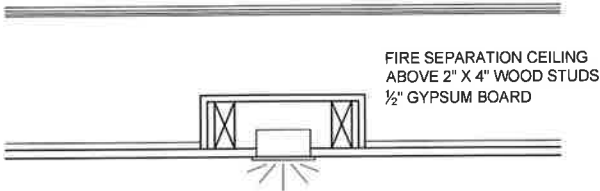
REVISION: 01



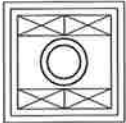
1 STEEL BEAM SEPERATION
A-402



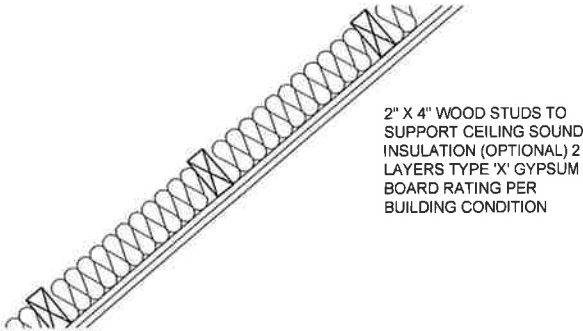
2 BULKHEAD BELOW FIRE SEPERATION
A-402



3 POT LIGHT FIRE SEPERATION
A-402

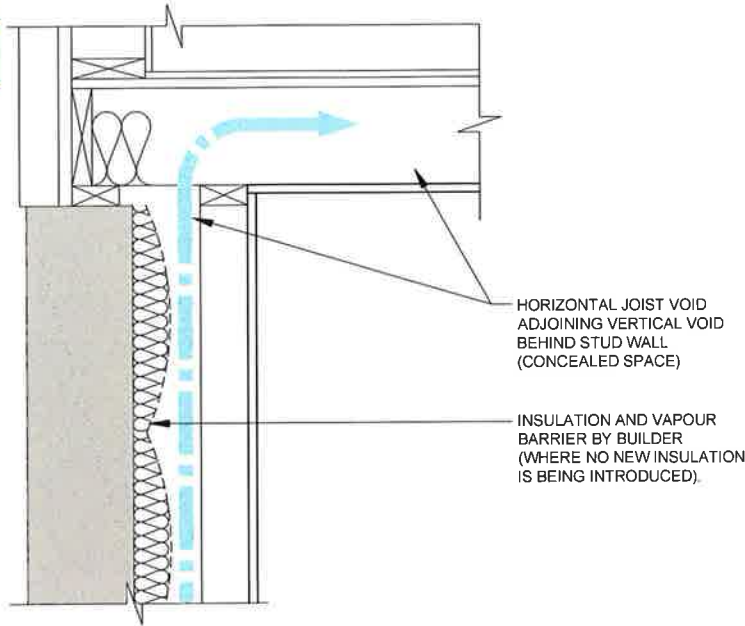


4 STEEL COLUMN SEPERATION
A-402

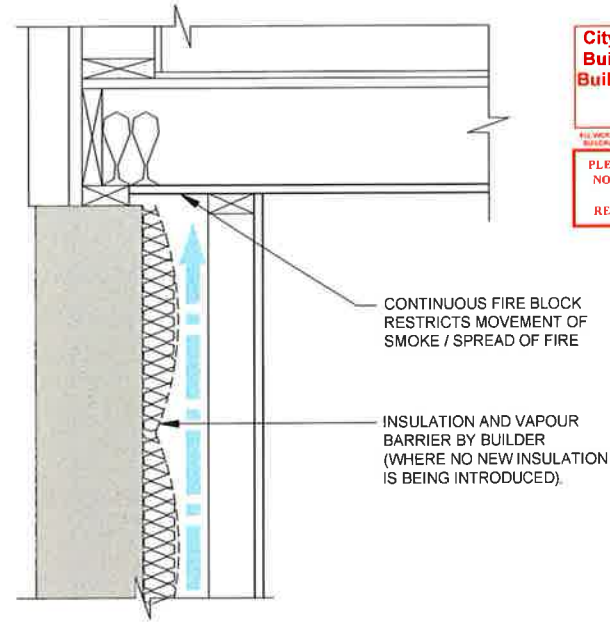


5 UNDERSIDE OF STAIR FIRE SEPERATION
A-402

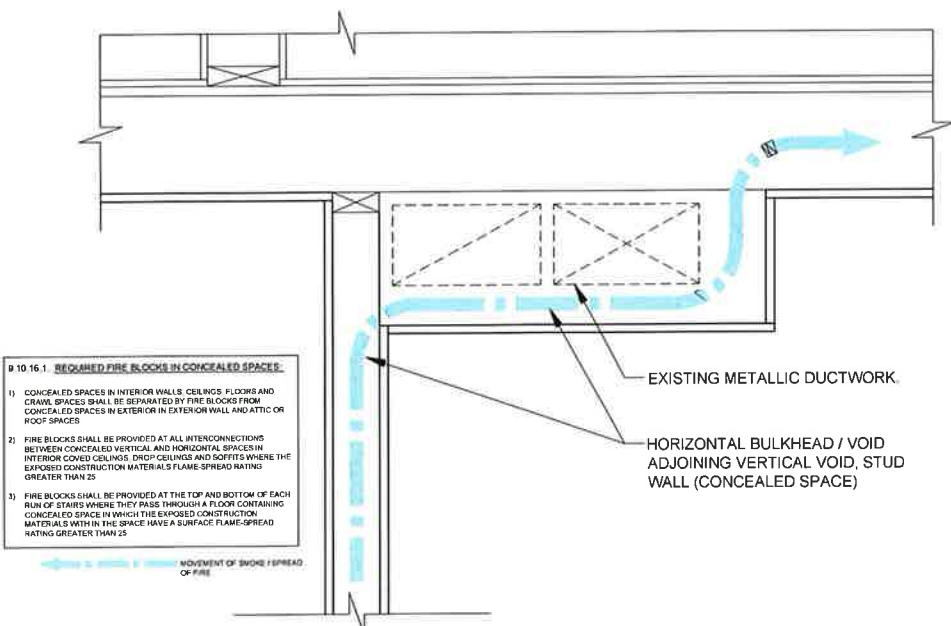
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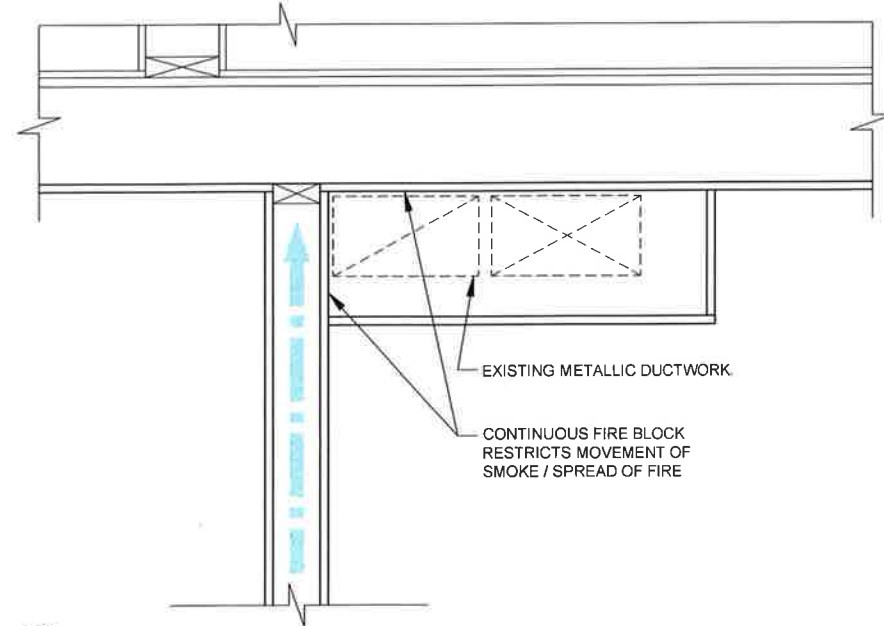
4 NON COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-403



2 COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-403



3 NON COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-403



1 COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-403

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Building Division
Building Reviewed
2023/02/21
Lorquin
ALL WORK SHALL CONFORM TO THE OUTLINE
BUILDING CODE OR REGULATED BY BRAMPTON
PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
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02	2023.01.08	PERMIT APPLICATION	
03	2023.01.15	CITY COMMENTS	
04	2023.02.03	CITY COMMENTS	

OWNER
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SEAL



ALTERATIONS
(SU)
72 CIRCUS CRES,
BRAMPTON

FIRE BLOCKING
DETAILS
SCALE: 3/8" = 1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-403
REVISION: 01

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04	2020.01.04	CITY COMMENTS
05	2020.01.09	CITY COMMENTS
06	2020.02.08	PERMIT RESPONSE

FARZANA BAGAM



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ONTARIO ASSOCIATION
OF
ARCHITECTS
M. ARSHAD SIDDIQUI
LICENCE
8950

72 CIRCUS CRES.
BRAMPTON

SCALE: $\frac{3}{8}'' = 1'-0''$

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

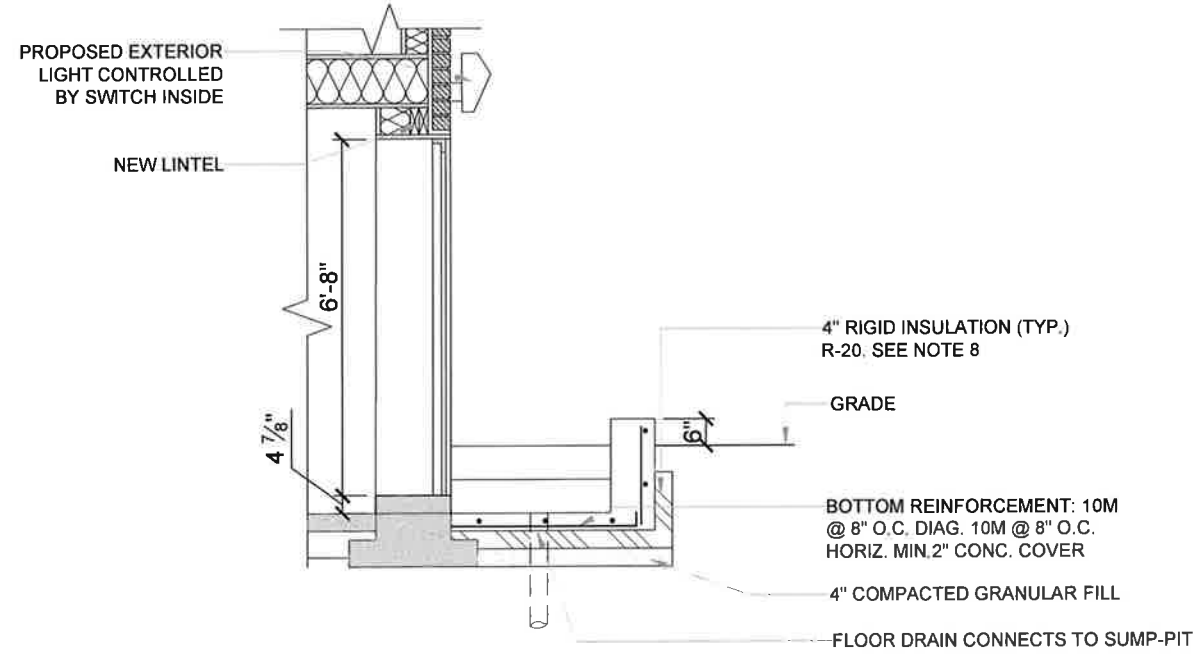
A-404

REVISION: 03



GENERAL NOTES

1. **FOOTING**
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 KPa
2. **HANDRAILS**
HANDRAILS SHOULD BE BETWEEN 34 TO 38 ABOVE THE TREAD AT THE LEADING EDGE LINE 2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WINDER
3. **EXTERIOR**
7 7/8" RISER MAXIMUM 4 7/8" MINIMUM
10" RUN MINIMUM 14" MAXIMUM
10" TREAD MINIMUM 14" MAXIMUM
4. **RETAINING WALL**
10" POURED CONCRETE WALL DOES NOT REQUIRED REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @12" O.C. EACH WAY FIR BACKFILL HEIGHTS EXCEEDING 4'-7"
5. **GUARDS (PRE-ENGINEERED)**
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS, MAXIMUM 4" BETWEEN VERTICAL PICKETS
6. **LIGHT**
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT
7. **EXTERNAL DOOR**
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3 INSTALLATION OF MANUFACTURED AND PRE - ASSEMBLED DOOR SHALL CONFORM TO THE MANUFACTURERS INSTRUCTIONS
ALL UN FINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING
8. **INSULATION DETAILS**
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATION
- STYROFOAM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
- RSI VALUE 0.87/25MM [R-5 PER 1 INCH]
- BOARD SIZE : AS INDICATED ON DRAWINGS
- COMPRESSIVE STRENGTH : 210 KPa
- DRAINING CAPACITY > 0.72 M3/ HR/ M
9. **INSULATION FINISHING**
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4FT ABOVE FOOTING INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 21 1/2" GALVANIZED J TRACK ON SECURE AND PROTECT ALL EXPOSED EDGES ALL JOINTS TO THE EXISTING WALL NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



1 SECTION - B
A-405 SCALE : 3/8" = 1'-0"

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02	2023.01.08	PERMIT APPLICATION
03	2023.01.01	CITY COMMENTS
04	2023.02.02	CITY COMMENTS
05	2023.02.02	PERMIT REVISION

OWNER

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ARCHITECT

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OF
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M. HASSAD SIDDIQUI

LICENCE
8950

ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

WALKOUT
DETAILS

SCALE: 3/8" = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-405

REVISION: 03

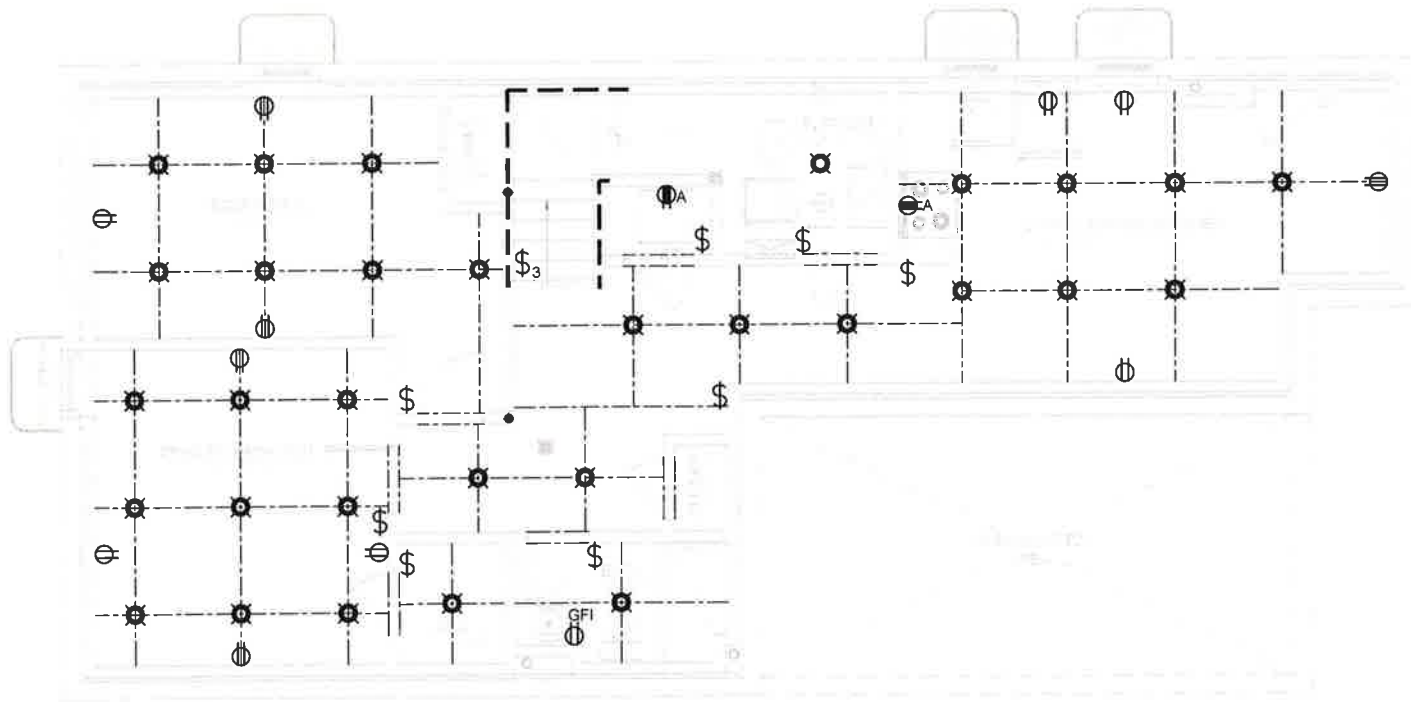
DATE
RECEIVED: 2023/02/15

City of Brampton
Building Division
Building Reviewed
2023/02/21
L.Orrin

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Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical work? They must be a Licensed Electrical Contractor. It's the law. For more information go to esasafe.com or call 1-877-372-7233.



1 BASEMENT - ELECTRICAL LAYOUT
E-101 SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOL :

- 3 OR 4 WAY SWITCH
E EXISTING
N NEW
- 15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE, WHITE
C/W WHITE COVER PLATE
GFI- GROUND FAULT TYPE
WP- WEATHERPROOF COVER
C - ABOVE COUNTER

ELECTRICAL SYMBOL :

- RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.
- EXHAUST FAN
- FD: FLOOR DRAIN
- SPRINKLER
- EMERGENCY LIGHT
- SD: SMOKE ALARM W/ STROBE LIGHT
- CO: CARBON MONOXIDE ALARM
- POT LIGHT

ELECTRICAL NOTES

LOCATIONS OF ELECTRICAL ITEMS ARE APPROXIMATE,
ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

WHERE PENETRATING FIRE SEPARATION FOR POT
LIGHT FIXTURES, USE FIRE RATED POT LIGHTS OR
PROVIDE FIRE RATED ENCLOSURE BEHIND LIGHT
FIXTURE TO ENSURE CONTINUITY OF FIRE SEPARATION

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
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NO	DATE	REVISION / ISSUED
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02	2023-01-01	PERMIT APPLICATION
03	2023-01-31	SITE COMMENTS
04	2023-02-08	SITE COMMENTS

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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
ELECTRICAL
LAYOUT

SCALE: 3/16" = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

E-101

REVISION: 01

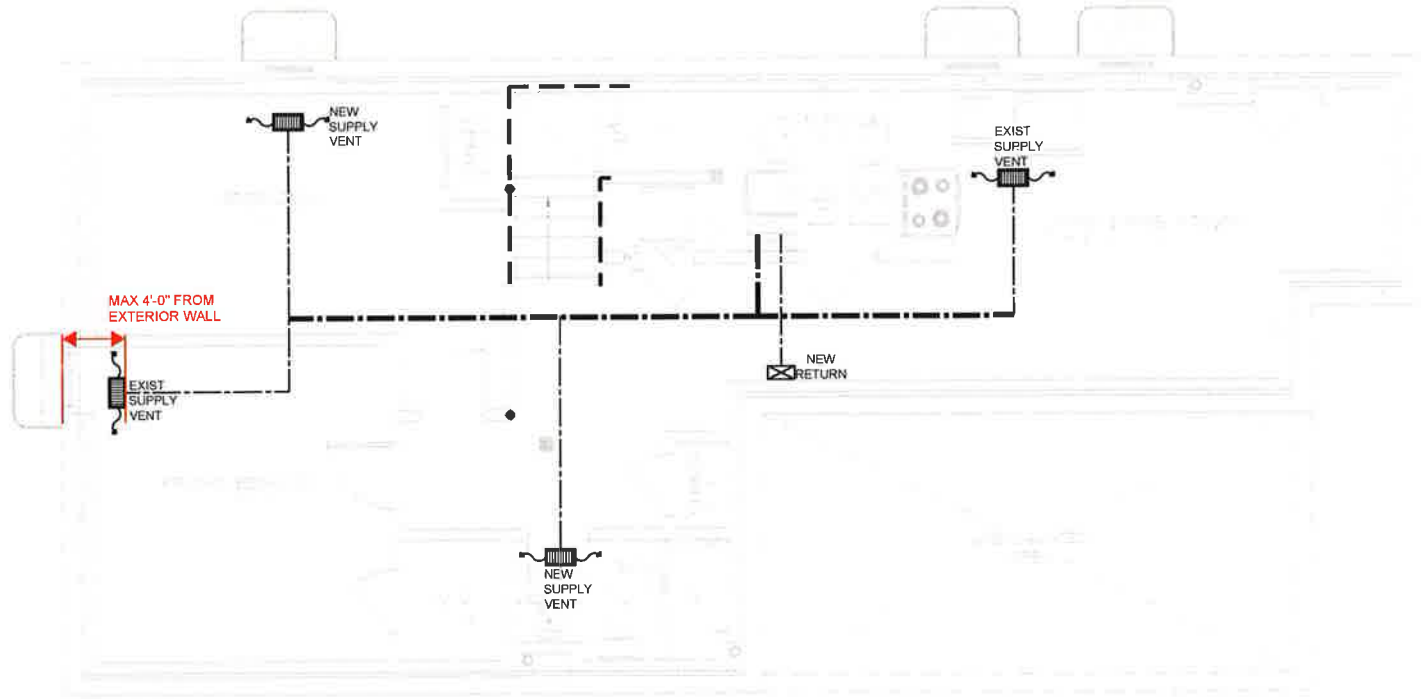
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Building Division
Building Reviewed

2023/02/21
LOQUIN

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BUILDING CODE (B.C.C.) AS AMENDED

PLEASE SEE ATTACHED
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1 BASEMENT - MECHANICAL LAYOUT
M-101 SCALE: 3/16" = 1'-0"

MECHANICAL NOTES

LOCATIONS OF MECHANICAL ITEMS ARE APPROXIMATE, ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

LOCATION OF SMOKE ALARMS AS PER O.B.C. DIV B. SEC 9.10.19.3

- (1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT,
- A. THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENT AND,
- B. ON ANY STOREY OF A DWELLING CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED
- i. IN EACH ROOM AND,
- ii. IN A LOCATION BETWEEN THE SLEEPING ROOM AND THE REMINDER OF THE STOREY AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHOULD BE LOCATED IN THE HALLWAY.

- (1) PROVIDE SUPPLY AIR REGISTER (OBC DIV. B.9.33.1(1). REGISTER SHALL BE LOCATED WITHIN 4' OF OUTSIDE WALL (7.6 HRAI DIGEST REQUIREMENTS)
- (2) THE RETURN AIR GRILLE SHALL BE INSTALLED NEAR FLOOR LEVEL (7.7 HRAI DIGEST REQUIREMENTS). UNDERCUT BY MIN 1. THE DOOR TO ANY ROOM WITHOUT RETURN AIR GRILLE
- (3) CLOTHES DRYER EXHAUST SHALL COMPLY WITH OBC DIV. B.6.2.4.11 REQUIREMENTS
- (4) SEPARATE ANY INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES, ETC. BY MIN 900MM (2'11") . OBC DIV B.9.32.3.12. ENSURE ADEQUATE VENTILATION & COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTURER'S REQUIREMENTS.

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK
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NO	DATE	REVISION / ISSUED
01	2023-12-28	SCHEMATIC LAYOUT
02	2023-01-08	PERMIT APPLICATION
03	2023-01-31	CITY COMMENTS
04	2023-02-02	CITY COMMENTS

OWNER

FARZANA BAGAM

ARCHITECT



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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
MECHANICAL
LAYOUT

SCALE: 3/16" = 1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

M-101

REVISION: 01

A-2023-0104

a

b

D1

F1

E2

E1

