

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SATWINDER BAINS** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 5, Plan 339 municipally known as **9 EASTERN AVENUE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit lot coverage of 32.2% whereas the by-law permits a maximum lot coverage of 30%;
2. To permit an interior side yard setback of 1.22m (4.0 ft) to a second storey whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft) to the first storey, or part thereof, plus 0.6m (1.97 ft) for each additional storey, or part thereof, where the lot width is less than or equal to 16 metres.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 9, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 27th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2023-0090

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SATWINDER BAINS

Address 9 EASTERN AVE , BRAMPTON, L6W 1X5

Phone # 647-500-0185 Fax #

Email sunny@ampowerelectric.com

2. Name of Agent JOHN RAMIREZ

Address UNIT A - 371 STRAWBERRY CREST, WATERLOO, N2K 3J3

Phone # 416-745-7828 Fax #

Email PERMITS@RHOMEDESGINER.COM

3. Nature and extent of relief applied for (variances requested):

1 - TO PROPOSE A LOT COVERAGE OF 32.2% WHEREAS, THE MAXIMUM LOT COVERAGE IS 30%

2 - TO PROPOSE A SIDE YARD SETBACK OF 1.22m, WHEREAS, THE MINIMUM BUILDING SETBACK IS 1.8m FOR A 2 STOREY HOUSE

4. Why is it not possible to comply with the provisions of the by-law?

THE VARIANCES PROPOSED ARE NOT ABLE TO COMPLY DUE TO THE LOT SIZE.

5. Legal Description of the subject land: LOT 5 - REGISTERED PLAN 339, CITY OF BRAMPTON, REGION OF PEEL

Lot Number LOT 5

Plan Number/Concession Number PLAN - 339

Municipal Address 9 EASTERN AVE , BRAMPTON, L6W 1X6

6. Dimension of subject land (in metric units)

Frontage 12.19m

Depth 39.62

Area 482.96 m2

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING 1-1/2 STOREY FRAMED DWELLING - SINGLE FAMILY DWELLING - GFA = APPROXIMATELY 117.00 Sq.m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSING A NEW 2 STOREY PRIMARY HOUSE W/ A 2UNIT IN THE BASEMENT - GFA = 258.27 Sq.m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	7.48m
Rear yard setback	21.68m
Side yard setback	2.34m (EAST SIDE)
Side yard setback	2.14m (WEST SIDE)

PROPOSED

Front yard setback	7.47m
Rear yard setback	15.52m
Side yard setback	1.52m 1 STOREY & 1.98m 2 STOREY (EAST SIDE)
Side yard setback	1.22m (WEST SIDE)

10. Date of Acquisition of subject land: 2014

11. Existing uses of subject property: SINGLE FAMILY DWELLING

12. Proposed uses of subject property: 2 UNIT FAMILY DWELLING

13. Existing uses of abutting properties: 1-1/2 STOREY HOUSE

14. Date of construction of all buildings & structures on subject land: APPROX. 1970's

15. Length of time the existing uses of the subject property have been continued: APPROX 40 YEARS

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input checked="" type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF WATERLOO _____

THIS 3RD DAY OF MARCH, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, John Ramirez, OF THE City OF WATERLOO

IN THE REGION OF WATERLOO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 5th DAY OF

April, 2023

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

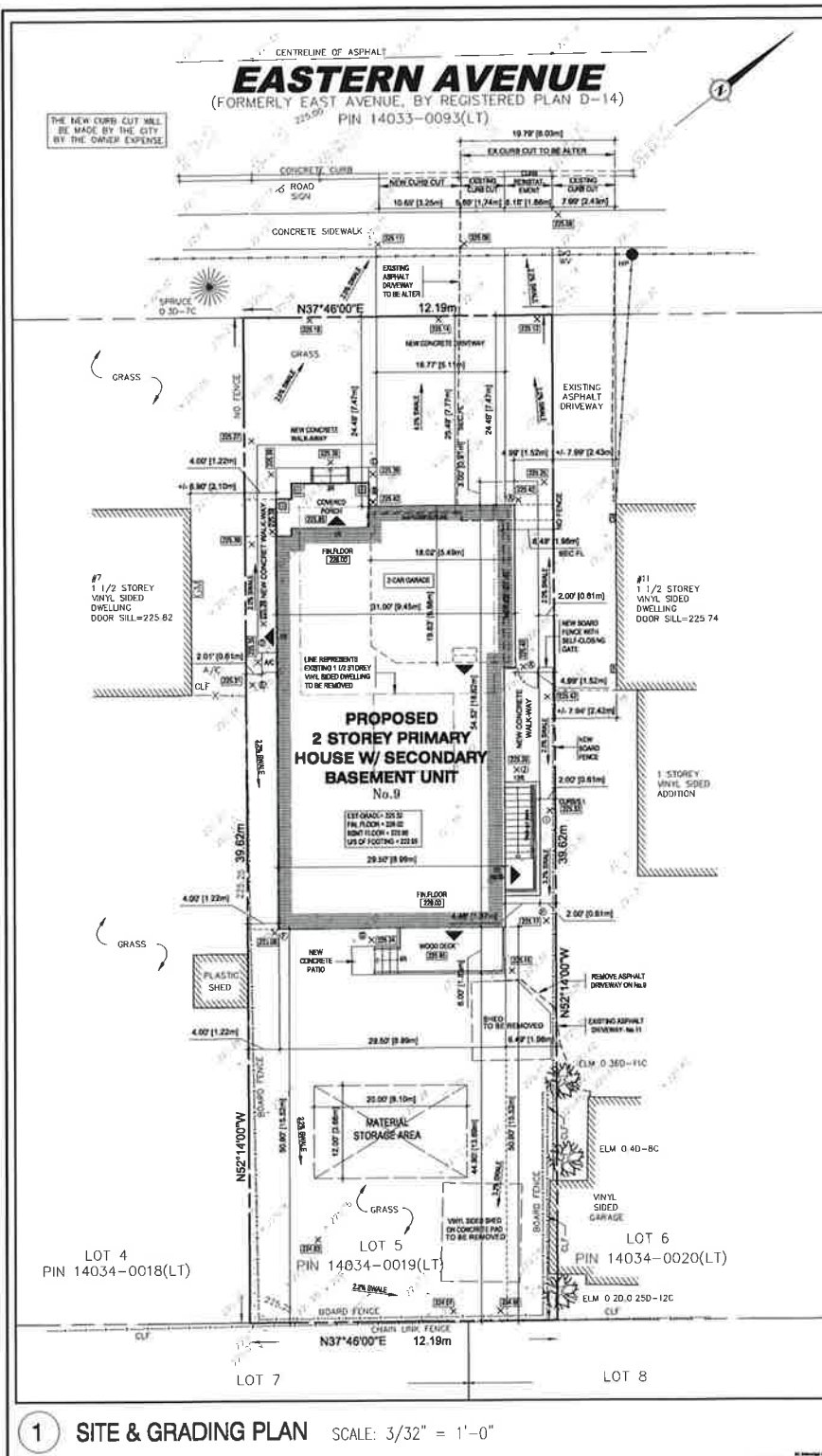
L Barbuto

Zoning Officer

March 7, 2023

Date

DATE RECEIVED April 5, 2023



NOTE: -

1) AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK SHALL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRAD SHALL BE COMPATIBLE WITH THE EXISTING ROAD AND CURB DEPRESSIONS. NO CURB CUTS SHALL BE PROVIDED AT ENTRANCES.

2) SIDEWALK TO BE REMOVED AND REPLACED AS PER 10-10-10 SPEC.

3) DOWNHILLS TO DISCHARGE ON TO THE GROUND VIA SLOSH PADS, DOWNHILLS SHALL NOT BE PROVIDED AT ENTRANCES.

4) DRIVEWAY GRAD SHALL NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.

5) LAWN AND SHALES SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 6%.

6) WHERE GRAD IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1 GRADE CHANGES EXCEPT OF 10% ARE TO BE ACCOMPISHED BY USE OF RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE EXPOSED SIDE OF THE WALL.

7) ALL DISTURBED AREA MUST BE SEED OR SOILED FOR SOIL TO BE AT LEAST 100mm.

8) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.0m.

9) GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED. ESPECIALLY WHERE NEW DEVELOPMENTS ADJACENT EXISTING LOTS SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE UNITS DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES MUST BE 0.00m.

10) DRIVEWAY PORTION WITHIN THE MUNICIPAL BOUNDARY MUST BE PAVED.

11) THE SERVICE CONNECTION THROUGH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE SHAPED TO THE 10% GRADE.

12) WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.

13) IN THE EVENT THAT THE CHANGING HAS TO EXIST TO THE ADJACENT PROPERTY, A WRITTEN AGREEMENT FROM THE OWNER OF THE PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT.

14) ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED FROM THE ISSUANCE OF A BUILDING PERMIT. CHANGE OF ADJACENT PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.

15) THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRELINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6%.

16) ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.

NOTE: -

1) ALL EXISTING TREES, WHICH ARE TO REMAIN, MUST BE FULLY PROTECTED WITH HOARDINGS WHICH SHALL BE ERECTED BEFORE THE GRAD LINE. ALL TREE PROTECTION MEASURES HAVE BEEN PERFORMED PRIOR TO THE ISSUANCE OF THIS PLAN.

2) NO MOVEMENT OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION ZONE.

3) THE AREA WITHIN THE TREE PROTECTION ZONE MUST REMAIN UNDISTURBED AT ALL TIMES.

4) ANY INCUTTING OR DISPOSAL OF MATERIALS MUST NOT BE PLACED WITHIN THE LIMITS OF THE TREE PROTECTION ZONE.

5) ANY ROOTS OR BRANCHES THAT EXTEND BEYOND THE TREE PROTECTION ZONE, WHICH REQUIRE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST AND MUST BE PERFORMED IN ACCORDANCE WITH GOOD ARBORICULTURE STANDARDS.

6) TREES THAT HAVE DIED OR HAVE BEEN DAMAGED BEFORE REPAIR, MUST BE REMOVED AND REPLACED WITH TREES OF A SIZE AND SPECIES AS APPROVED BY THE CITY OF BRAMPTON PUBLIC WORKS AND ENGINEERING DEPARTMENT.

7) TREE PROTECTION HOARDING MUST NOT BE REMOVED UNTIL THE COMPLETION OF BUILDING CONSTRUCTION.

NOTE: -

1) ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMANCE WITH THE MINIMUM SITE PLAN REQUIREMENTS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.

2) THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDINGS, PLACED AT THE GRAD LINE OF THE TREE, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (I.E. BUILDING MATERIALS, TOOLS, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDINGS.

3) SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDINGS TO BE REMOVED, PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE DEMOLITION OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SEPARATING INSTALLATION IN ORDER TO WHOLELY GRADE TO THE VEGETATION.

4) THE EXISTING ON-SITE SEPARATE PATTERNS SHALL BE MAINTAINED.

5) GRADES MUST BE SET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

6) ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOUNDARY AREA.

7) THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSARY BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.

8) THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 m (2'0") IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LOT IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

9) THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY SHALL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.

10) AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK SHALL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

11) ALL PROPOSED CURBING, AT THE ENTRANCES TO THE SITE, SHALL BE INSTALLED AT THE PROPERTY LINE OR AT THE MUNICIPAL BOUNDARY.

12) CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.

13) ALL EXISTING LANDSCAPE AREAS WILL BE PROTECTED WITH TOPSOIL, AND SOIL FOLLOWING CONSTRUCTION ACTIVITY.

14) ANY LIVE BULBARIUM TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH MINIMUM 100mm CALIPER DECIDUOUS TREES TO THE SATISFACTION OF THE CORP AT THE OWNER'S EXPENSE.

15) ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

16) THERE ARE EXISTING EASEMENTS ON THE PROPERTY.

NOTES:

1. EXISTING SANITARY AND SEWER INVENT TO BE COPIED PRIOR TO CONSTRUCTION.

2. MOISTURE BACKS AND ELEVATIONS PROVIDED BY CLIENT.

3. PROPOSED CURBING DESIGN CONFORMS WITH MINIMUM STANDARD PLANS. BULBARIUM MUST BE SET WITHIN 33% MAXIMUM SLOPE.

CONTRACTOR/BUILDER

IT IS RECOMMENDED FOR CONFORMING ALL EXISTING GRADINGS AND ELEVATIONS, THE LOCATION OF ALL EXISTING SERVICES AND UTILITIES, AND THE INVERT ELEVATIONS OF ALL SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHOULD BE REPORTED IMMEDIATELY TO THE UNDER SOIL PERSONNEL.

SURVEY INFORMATION TAKEN FROM SURVEY BY:

TED VAN LANKVELD
ONTARIO LAND SURVEYORS

THE SURVEYOR'S NAME
BRAMPTON, ONTARIO
180 104
TEL: (905) 750-1804

Drawing Title List

A1 - Title Sheet & Site/Grading Plan

A2 - Basement Plan

A3 - Ground Floor Plan

M - Second Floor Plan

A5 - Roof Plan

A6 - North & South Elevation

A7 - East & West Elevation

NOTE: -

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15) THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRELINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6%.

16) ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.

NOTE: -

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12) CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.

13) ALL EXISTING LANDSCAPE AREAS WILL BE PROTECTED WITH TOPSOIL, AND SOIL FOLLOWING CONSTRUCTION ACTIVITY.

14) ANY LIVE BULBARIUM TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH MINIMUM 100mm CALIPER DECIDUOUS TREES TO THE SATISFACTION OF THE CORP AT THE OWNER'S EXPENSE.

15) ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

16) THERE ARE EXISTING EASEMENTS ON THE PROPERTY.

NOTES:

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2. MOISTURE BACKS AND ELEVATIONS PROVIDED BY CLIENT.

3. PROPOSED CURBING DESIGN CONFORMS WITH MINIMUM STANDARD PLANS. BULBARIUM MUST BE SET WITHIN 33% MAXIMUM SLOPE.

CONTRACTOR/BUILDER

IT IS RECOMMENDED FOR CONFORMING ALL EXISTING GRADINGS AND ELEVATIONS, THE LOCATION OF ALL EXISTING SERVICES AND UTILITIES, AND THE INVERT ELEVATIONS OF ALL SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHOULD BE REPORTED IMMEDIATELY TO THE UNDER SOIL PERSONNEL.

SURVEY INFORMATION TAKEN FROM SURVEY BY:

TED VAN LANKVELD
ONTARIO LAND SURVEYORS

THE SURVEYOR'S NAME
BRAMPTON, ONTARIO
180 104
TEL: (905) 750-1804

Drawing Title List

A1 - Title Sheet & Site/Grading Plan

A2 - Basement Plan

A3 - Ground Floor Plan

M - Second Floor Plan

A5 - Roof Plan

A6 - North & South Elevation

A7 - East & West Elevation

TOPOGRAPHY SURVEY OF LOT 5

REGISTERED PLAN 339
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:150

TAKEN BY: TED VAN LANKVELD, O.L.S. 2016

LEGEND

■ DENOTES SURVEY MONUMENT FOUND
■ DENOTES RECONSTRUCTED PLAIN AND
■ DENOTES NORTH-SOUTH/EAST-WEST
■ DENOTES MEASURED
■ DENOTES IRON PIN
■ DENOTES STANDARD IRON BAR
■ DENOTES ORIGIN UNKNOWN
■ DENOTES EASEMENT
■ DENOTES INTERSECTION OF ROADS
■ DENOTES PLAIN BY MEASURE, WASHINGTON & B. 1850
■ DENOTES PROPERTY IDENTIFIER NUMBER
■ DENOTES TOP OF CURB
■ DENOTES BOTTOM OF CURB
■ DENOTES CATCH BASIN
■ DENOTES CONCRETE TREE
■ DENOTES DECIDUOUS TREE
■ DENOTES MANHOLE
■ DENOTES UTILITY POLE
■ DENOTES WATER VALVE
■ DENOTES TOP OF ROOF ELEVATION
■ DENOTES EXISTING ELEVATION
■ DENOTES EXISTING ELEVATION TO REMAIN
■ DENOTES FINISHED FLOOR ELEVATION
■ DENOTES TOP OF WALL ELEVATION
■ DENOTES BASEMENT FLOOR ELEVATION
■ DENOTES UNFINISHED FLOOR ELEVATION
■ DENOTES CENTRELINE OF LOT
■ DENOTES INVERT
■ DENOTES WALLOUT BASEMENT
■ DENOTES RISER
■ DENOTES BOTTOM OF RETAINING WALL
■ DENOTES TOP OF RETAINING WALL
■ DENOTES DECIDUOUS TREE
■ DENOTES CONIFEROUS TREE
■ DENOTES METAL LOT STANDARD
■ DENOTES HIGH WALL ON CONCRETE PAD
■ DENOTES BULL BOX
■ DENOTES SIGN
■ DENOTES DRAIN DIRECTION
■ DENOTES MAIN WATER LEADER
■ DENOTES TOP OF CURB
■ DENOTES BOARD FENCE
■ DENOTES LIGHT STAKE
■ DENOTES UTILITY POLE
■ DENOTES TOP OF CURB
■ DENOTES BOTTOM OF CURB
■ DENOTES EXISTING GRADE ELEVATION
■ DENOTES CONCRETE TREE WITH TRUNK AND CANOPY DIAMETER
■ DENOTES CONCRETE TREE WITH TRUNK AND CANOPY DIAMETER
■ DENOTES BOARD FENCE
■ DENOTES CHAIN LINK FENCE
■ DENOTES CATCH BASIN
■ DENOTES GAS METER
■ DENOTES HYDRO METER
■ DENOTES HYDRO POLE
■ DENOTES WATER VALVE
■ DENOTES HYDRO SERVICE (OVERHEAD)
■ DENOTES FENCE

BENCHMARK NOTE

ELEVATIONS ARE QUOTED AND REFERRED TO THE CITY OF BRAMPTON BENCHMARK NO. 162, HAVING A PUBLISHED ELEVATION OF 223.615 METRES

REGION OF PEEL NOTES

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE 18" P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. 9000 LB 80 PSI. COMPLETE WITH TRENCH, WIRE, RICE, SAND, GY AND SMALL PARTS MUST BE TYPE K 80 PSI COPPER PIPE PER A.W.W.A. M-18-B SPECIFICATION.

PROVIDER FOR FLAMING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITHIN 10' OF THE 18" P.V.C. DUCTILE IRON PIPE (DIP) AND LARGER LINE. COPIES OF THE LINE TO BE FLAMING PRIOR TO THE END, THE SAME SIZE OF THE LINE. THEY MUST ALSO BE HOLED ON PIPED TO ALLOW THE WATER TO DRAIN ONCE A PARALLEL LOT OR DOWN A DRAIN, ON FIRE LINE, FLAMING DUCTILE TO BE 100 mm (4") DIAMETER AND/OR ON A FITTING.

ALL CURB STONE TO BE 30 x 60 (10") OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED

HYDRANT AND VALVE NET TO REGION STANDARD 16-1 DIMENSION A AND B, 0.7 (17") AND 0.8 (20") TO HAVE PUMPER NOZZLE.

WATERMANS TO BE INSTALLED TO GRADE AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTION PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTION.

WATERMANS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER 0.6 m (24") UNDER BEVERLY AND ALL OTHER UTILITIES WHEN CROSSING.

ALL PROPOSED WATER PIPES MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND THE CHANGING FROM EXISTING SYSTEM.

ALL EXISTING WATER PIPES SHALL BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND THE CHANGING FROM EXISTING SYSTEM.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, REPAIRING AND PROTECTING ALL EXISTING UTILITIES AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER KNOWN OR UNKNOWN, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THE NOTICE WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPES MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL BE IN PLACE UNTIL THE PERMANENT CONNECTION IS COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES, PRIOR TO THE REMOVAL OF THE TEMPORARY CONNECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES, PRIOR TO THE REMOVAL OF THE TEMPORARY CONNECTION.

NOTES:

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ONTARIO LAND SURVEYORS

THE SURVEYOR'S NAME
BRAMPTON, ONTARIO
180 104
TEL: (905) 750-1804

Drawing Title List

A1 - Title Sheet & Site/Grading Plan

A2 - Basement Plan

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M - Second Floor Plan

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A6 - North & South Elevation

A7 - East & West Elevation

KEY MAP

STAMP

Drawings must not be scaled

Drawings to be read in conjunction with GENERAL NOTES AND O.B.C.

All drawings and information shown on these drawings must be checked and verified on site prior to construction and completion of all components. Should existing conditions or situations be found to vary from that indicated on the architectural drawings, the designer must be notified immediately. Unless specifically noted otherwise on the drawings no provision has been made for design by condition occurring during construction. It shall be the responsibility of the contractor to provide all necessary bracing, shoring, underpinning or other temporary supports, as required at any stage of the construction of the work.

All dimensions are given in Imperial units unless otherwise indicated.

Note:

1. VARIANCE APPLICATION 2023.02.28 JP

2. Description VVVVVA000 By

3. REVISIONS

4. The undersigned has reviewed and takes responsibility for the design and use of the drawings and notes and the requirements set out in the Ontario Building Code to the satisfaction of the undersigned.

5. Signature of Designer

6. Signature of Engineer

7. Signature of Architect

8. Signature of Planner

9. Signature of Surveyor

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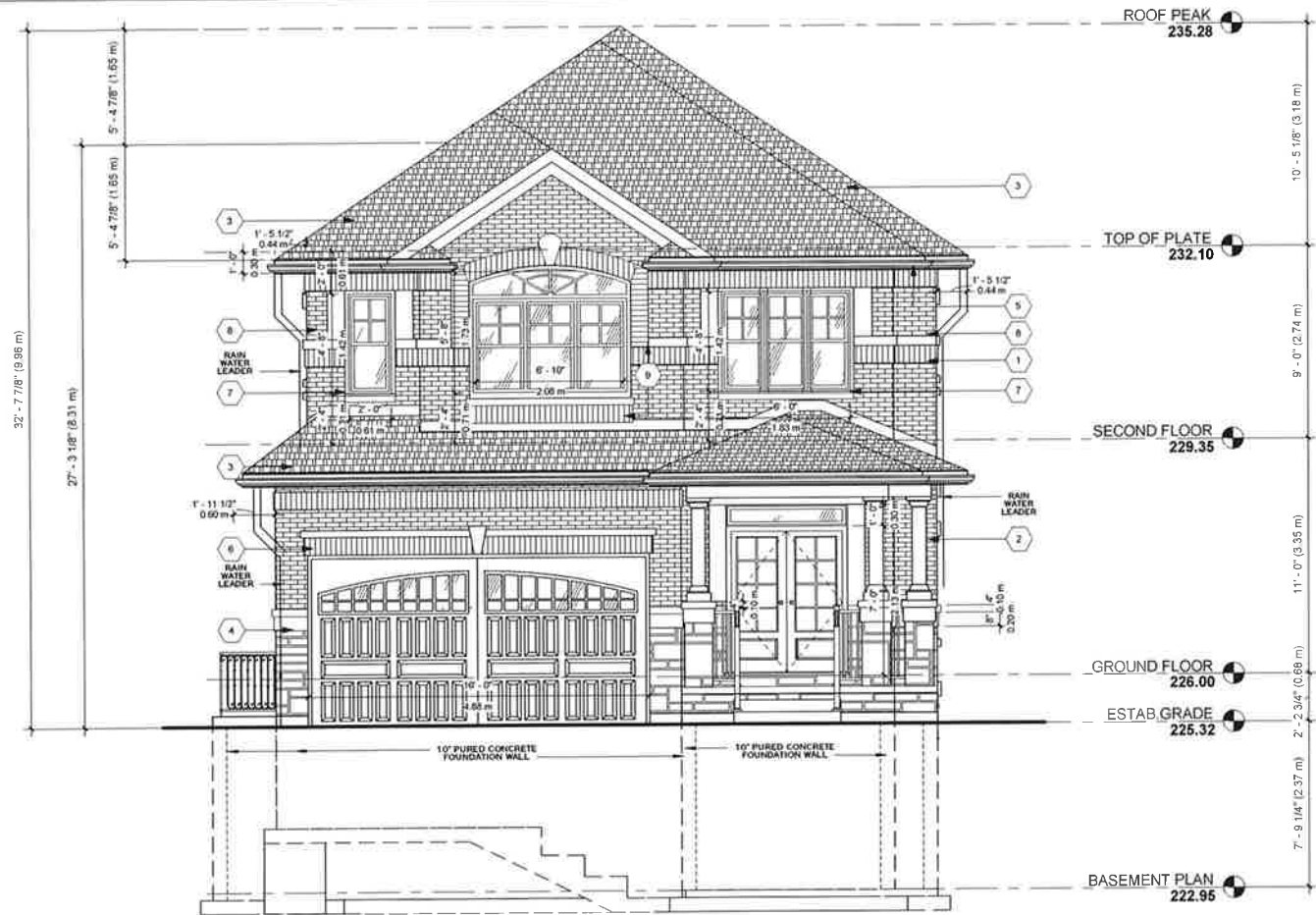
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ORTH ARROW  A5



1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

MATERIALS LEGEND

BRICK
STONE
FRONT DOOR
FRONT DOOR FRAME COLOUR
GARAGE DOOR
GARAGE DOOR FRAME COLOUR
WINDOW
SILL
LINTEL
KEYSTONE
FREEZE BOARD
RAILING
ASPHALT SHINGLES
ALUM. SOFFITS, FASCIA & RWL
STUCCO

MANUFACTURER

MERIDIAN BRICK
ARRISCAST
NOVATECH
BENJAMIN MOORE
CLOPAY
BENJAMIN MOORE
PERFORMANCE DOOR & WINDOW
ARRISCAST
MODERN PRECAST
ARRISCAST
ELITE TRIMWORKS
CPL
IKO
KAYCAN
DUROCK

STYLE

CANADA COLLECTION
ADAIR PARLIAMENT
SOHO ARIMA (STAINED GLASS)
CLASSIC COLLECTION
CASEMENT/FIXED
ROCKED CAMBRIDGE
CAMBRIDGE KEYSTONE
F170 EXTERIOR CORNICE
WROUGHT ALUMINUM RAILING
CAMBRIDGE
FINECOAT

COLOUR

SUTTON
ADAIR PARLIAMENT
BENJAMIN MOORE JET BLACK 2120-10
BENJAMIN MOORE FAIRVIEW TAUPE HC-85
BENJAMIN MOORE JET BLACK 2120-10
BENJAMIN MOORE FAIRVIEW TAUPE HC-85
WHITE
WHITE
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BLACK
DUAL BLACK
WICKER
PANTONE 12-1012 FROSTED ALMOND

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL
NOTES AND O.B.C.
All drawings and information shown on these drawings must be checked and
verified on site or by comparison and for each and every component. In the
event of any discrepancy, the drawings shall prevail over any other information.
The drawings are provided for informational purposes only and are not to be used
for construction or for any other purpose without the written consent of the
designer. The designer is not responsible for any errors or omissions in the
drawings or for any consequences arising from the use of the drawings.

Note:

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ALL INFORMATION IS PROVIDED AS IS WITHOUT WARRANTY OF ANY KIND, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE AND NONINFRINGEMENT. IN NO EVENT SHALL THE DESIGNER BE LIABLE FOR ANY DAMAGES OR OTHER LIABILITY, WHETHER IN AN ACTION OF CONTRACT, TORT OR OTHERWISE, ARISING FROM, OUT OF OR IN CONNECTION WITH THE DRAWINGS OR THE INFORMATION CONTAINED HEREIN.

JOHN RAMIREZ 32125
VAT 110313
J-R HOME DESIGNER INC. BCN

J-R HOME DESIGNER INC.
3711 Sandberg Court, Waterloo, ON N2P 3J3, 5-416-232-3413
E: jramirez@jrhomedesigner.com, www.jrhomedesigner.com

PROJECT ADDRESS
09 EASTERN AVE.
BRAMPTON, ONTARIO

PROJECT TITLE
NEW CONSTRUCTION

SHEET NO.
NORTH ELEVATION

DATE
AS NOTED

DESIGNED BY
RUBEN MONTERO SABINA

CHECKED BY
JOHN RAMIREZ

SCALE
A6



1 EAST ELEVATION
SCALE 1/4" = 1'-0"

DRAWINGS MUST NOT BE SCALED
DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

All drawings are preliminary and for informational purposes only. They are not to be used for construction or for any other purpose without the written consent of J&H Home Designer Inc. The drawings are subject to change without notice. The client is responsible for obtaining all necessary permits and for ensuring that the drawings comply with all applicable codes and regulations. The drawings are not to be used for any other purpose without the written consent of J&H Home Designer Inc.

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J&H

J & H Home Designer Inc.
371 Strawberry Creek, Waterloo, ON N2K 3L3, T 416 221 0013
E: john@jhome designer.com, www.jhome designer.com

09 EASTERN Ave.
BRAMPTON, ONTARIO

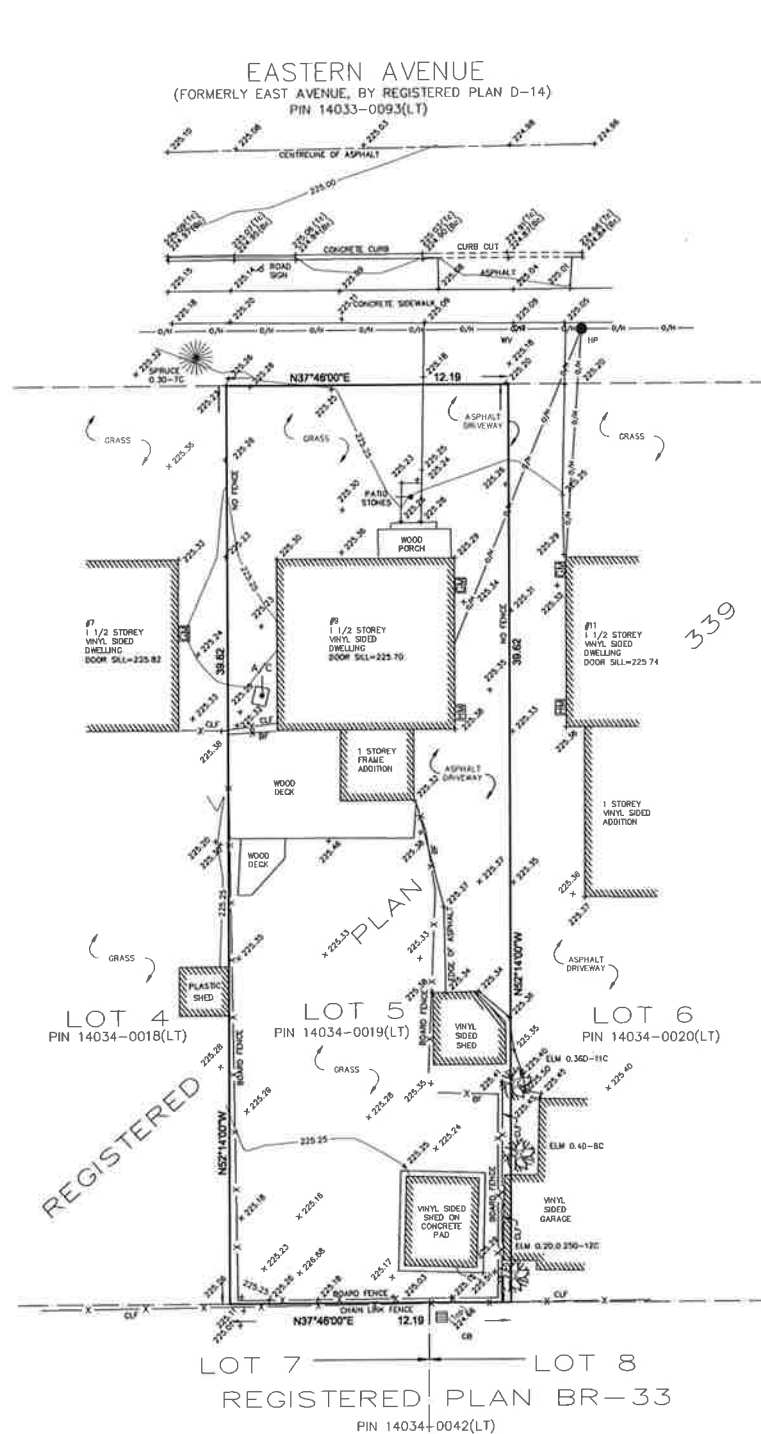
NEW CONSTRUCTION

EAST ELEVATION

AS NOTED

Drawn By: RUBEN MONTERO SABINA
Checked By: JOHN RAMIREZ

Page Number: **A7**



TOPOGRAPHY SURVEY OF
LOT 5
REGISTERED PLAN 339
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:150
TED VAN LANKVELD, O.L.S. 2016

METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BENCH MARK
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO
CITY OF BRAMPTON BENCH MARK #162 HAVING AN ELEVATION OF
223.665 METRES.

CONCRETE BLOCK BUILDING, No. 22 KENNEDY ROAD SOUTH,
SOUTHEAST CORNER OF KENNEDY ROAD AND EASTERN AVENUE.
TABLET IS SET 0.1m SOUTHEAST OF THE MOST NORTHWESTERLY
CORNER AND 0.04m BELOW ASPHALT.

NOTE
BOUNDARY INFORMATION WAS DERIVED FROM REGISTERED PLAN 339 AND
ARE NOT VERIFIED BY FIELD MEASUREMENTS.

BUSHES, TREES LESS THAN 0.150 AND DEAD TREE WERE NOT LOCATED
UNLESS NOTED OTHERWISE

LEGEND

- (Tc) DENOTES TOP OF CURB
- (Bc) DENOTES BOTTOM OF CURB
- EXISTING GRADE ELEVATION
- 0.105C DENOTES CONIFEROUS TREE WITH TRUNK
AND CANOPY DIAMETER
- 0.105C DENOTES DECIDUOUS TREE WITH TRUNK
AND CANOPY DIAMETER
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- CB DENOTES CATCH BASIN
- GM DENOTES GAS METER
- HM DENOTES HYDRO METER
- HP DENOTES HYDRO POLE
- WV DENOTES WATER VALVE
- OS/H DENOTES HYDRO SERVICE (OVERHEAD)
- X DENOTES FENCE

THE SURVEY WAS COMPLETED ON THE 21st DAY OF JANUARY, 2016

DATE JANUARY 25, 2016

TED VAN LANKVELD
ONTARIO LAND SURVEYOR

TED VAN LANKVELD
ONTARIO LAND SURVEYORS

110 GOLDCREST ROAD
BRAMALEA, ONTARIO
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FIELD: T.V. DRAWN: S.D. CHECKED: T.V. JOB No: 15-2245-T
DWG NAME: 15-2245-TDWG PLOT DATE: JANUARY 23, 2016

a

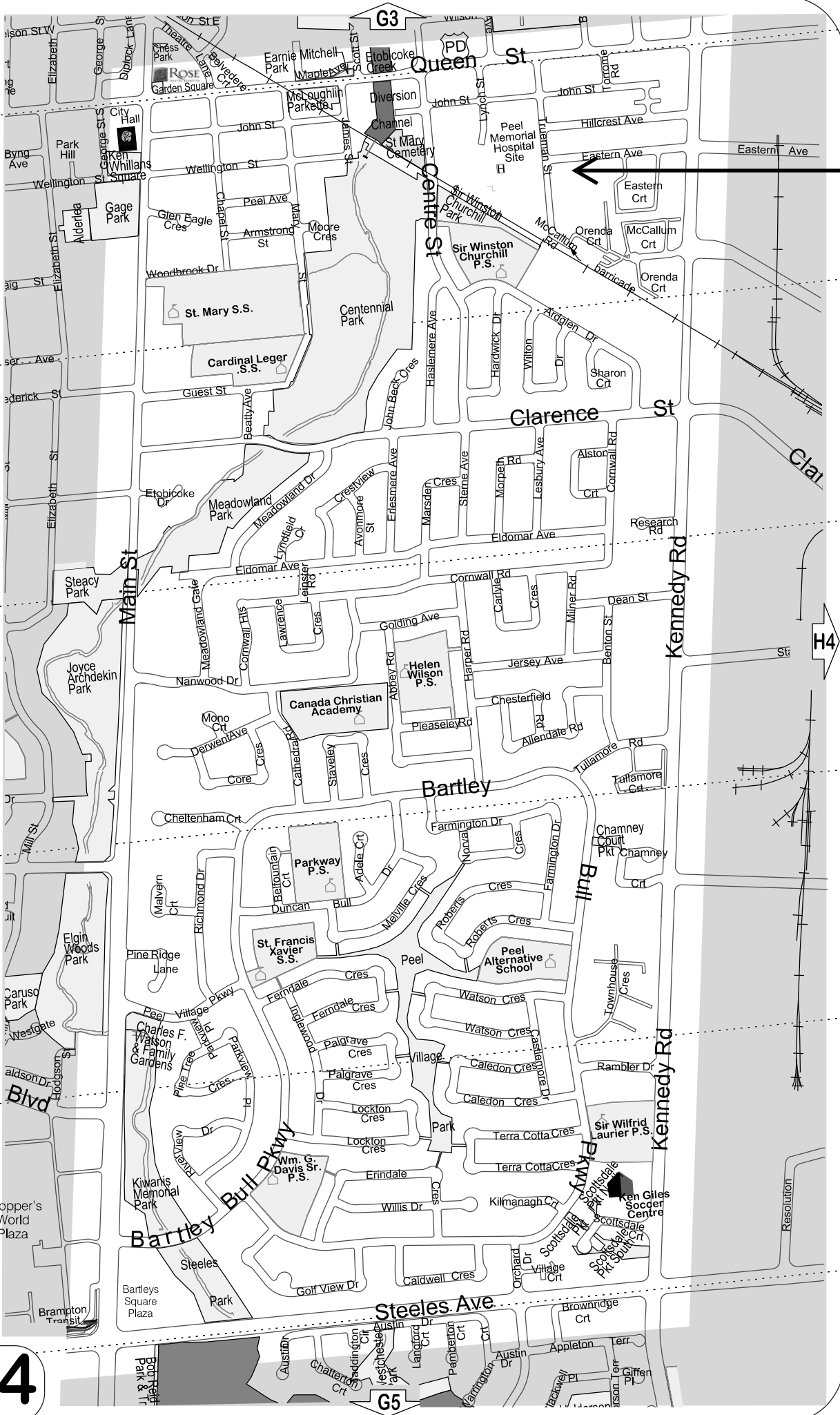
b

c

d

e

G4



H4

G5