

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ATLANTIC PACKAGING PRODUCTS LTD.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Blocks G, CC, OO, Plan 977, Part 2, Plan 43R-9983 municipally known as **195 WALKER DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a front yard setback of 6.69m (21.95 ft) to a proposed addition whereas the by-law requires a minimum front yard setback of 9.0m (29.53 ft);
2. To permit an interior side yard setback of 0.97m (3.18 ft) to a proposed addition whereas the by-law requires a minimum interior side yard setback of 4.0m (13.12 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 9, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

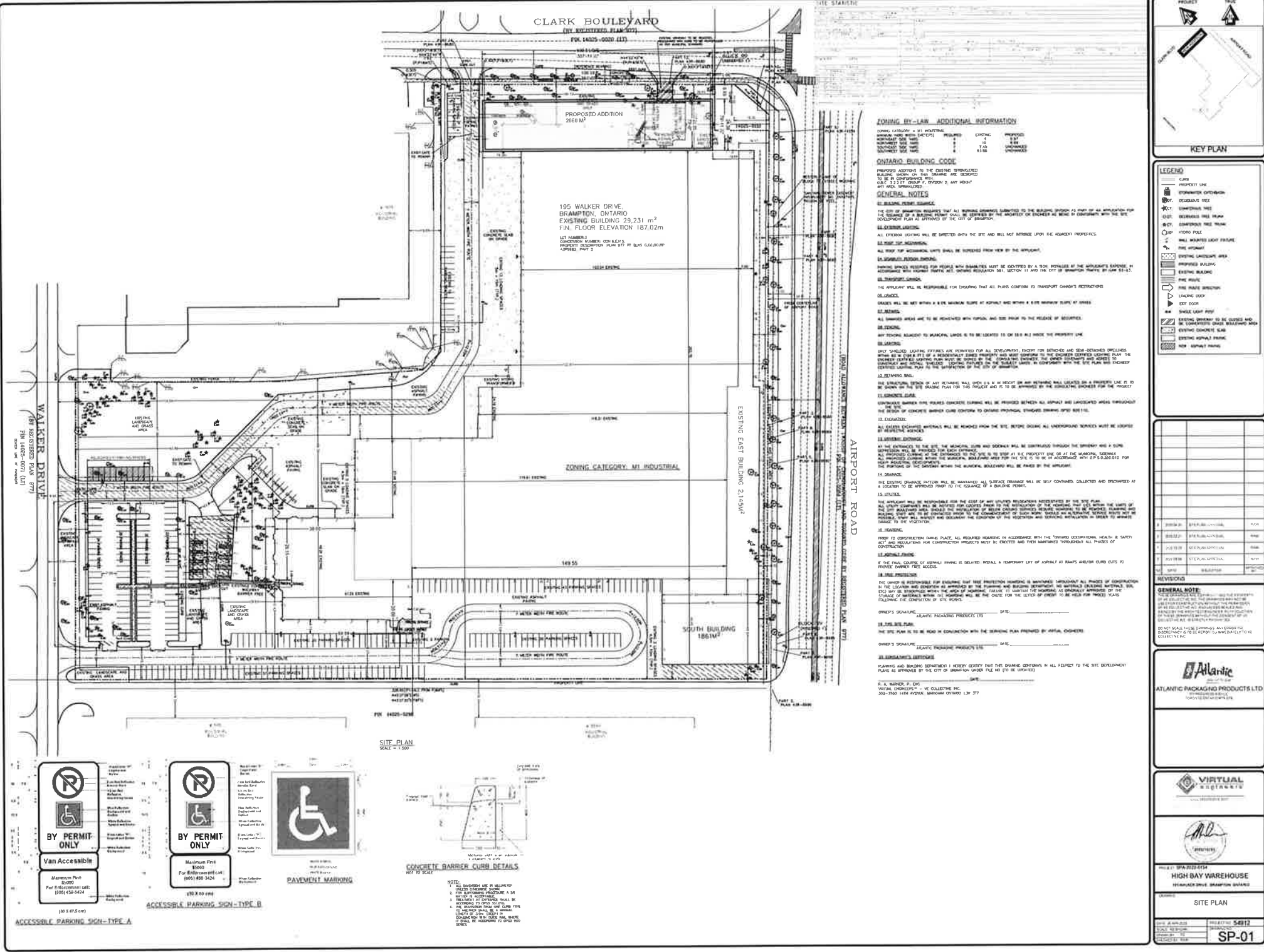
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 27th Day of April, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca



ZONING BY-LAW ADDITIONAL INFORMATION

EXISTING	PROPOSED
INDUSTRIAL	INDUSTRIAL
MINIMUM LOT AREA	10,000
MINIMUM LOT WIDTH	10.0
MINIMUM LOT DEPTH	10.0
MINIMUM LOT AREA	10,000

ONTARIO BUILDING CODE

PROPOSED ADDITIONS TO THE EXISTING UNIMPLEATED BUILDING, HEREIN, OF THE BUILDING AND DESIGN TO BE IN CONFORMANCE WITH THE BUILDING ACT, 1992, CHAPTER 23, AND THE BUILDING REGULATIONS, 1997, CHAPTER 19.

GENERAL NOTES

THE CITY OF BRAMPTON REQUIRES THAT ALL BUILDING CHANGES SUBMITTED TO THE BUILDING DEPARTMENT AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE REVIEWED BY THE BUILDING DEPARTMENT AND APPROVED BY THE CITY OF BRAMPTON.

EXISTING BUILDING

ALL EXISTING BUILDING SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

NEW BUILDING

ALL NEW BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING ACT, 1992, CHAPTER 23, AND THE BUILDING REGULATIONS, 1997, CHAPTER 19.

SETBACKS

ALL BUILDING SHALL BE SET BACK FROM THE STREET FRONTAGE BY A MINIMUM OF 10.0 METERS.

LANDSCAPING

ALL LANDSCAPING SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

UTILITIES

ALL UTILITIES SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

PAVEMENT

ALL PAVEMENT SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

WATER

ALL WATER SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

SEWER

ALL SEWER SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

STORM

ALL STORM SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

WALKWAY

ALL WALKWAY SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

BIKEWAY

ALL BIKEWAY SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

TRAIL

ALL TRAIL SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

ROAD

ALL ROAD SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

RAILROAD

ALL RAILROAD SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

WATERWAY

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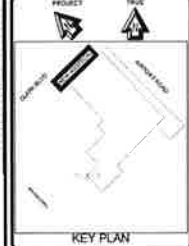
ALL WATERWAY SHALL BE MAINTAINED AND NOT REMOVED FROM THE SITE.

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WATERWAY

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NO.	DESCRIPTION	DATE
1	ISSUED BY: BRAMPTON CITY	2010
2	ISSUED BY: BRAMPTON CITY	2010
3	ISSUED BY: BRAMPTON CITY	2010
4	ISSUED BY: BRAMPTON CITY	2010
5	ISSUED BY: BRAMPTON CITY	2010
6	ISSUED BY: BRAMPTON CITY	2010
7	ISSUED BY: BRAMPTON CITY	2010
8	ISSUED BY: BRAMPTON CITY	2010
9	ISSUED BY: BRAMPTON CITY	2010
10	ISSUED BY: BRAMPTON CITY	2010

GENERAL NOTE
THE CITY OF BRAMPTON REQUIRES THAT ALL BUILDING CHANGES SUBMITTED TO THE BUILDING DEPARTMENT AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE REVIEWED BY THE BUILDING DEPARTMENT AND APPROVED BY THE CITY OF BRAMPTON.

Atlantic
ATLANTIC PACKAGING PRODUCTS LTD.
1000 BRIMLEY AVE. S. UNIT 10
BRAMPTON, ONT. L6Y 4R2

VIRTUAL
VIRALITY
1000 BRIMLEY AVE. S. UNIT 10
BRAMPTON, ONT. L6Y 4R2

High Day Warehouse
1000 BRIMLEY AVE. S. UNIT 10
BRAMPTON, ONT. L6Y 4R2

SITE PLAN
PROJECT NO. 04912
DATE: 2010-07-01
SCALE: 1:500
DRAWN BY: [Signature]
CHECKED BY: [Signature]

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 9, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 4, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 4, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 4, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2023-0096

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) PAUL DOYLE c/o ATLANTIC PACKAGING PRODUCTS LTD.

Address 111 PROGRESS AVENUE, SCARBOROUGH, ONTARIO

M1P 2Y9

Phone # (416)298-5506 Fax # _____

Email paul_doyle@atlantic.ca

2. Name of Agent VIRTUAL ENGINEERS

Address 302-3760 14TH AVENUE, MARKHAM, ONTARIO L3R 3T7

Phone # (905) 707-0704 Fax # _____

Email rawarner@virtual-engineers.com

3. Nature and extent of relief applied for (variances requested):

REQUEST FOR VARIANCE OF REQUIRED BUILDING SET BACK FROM PROPERTY LINE OF 9 METERS TO 6.69 METER

4. Why is it not possible to comply with the provisions of the by-law?

New production equipment/machinery has been ordered for this facility and in order to fit the equipment into the

building, the building needs to be expanded, bringing the outside wall to approximately 6.69 meters from the property

near Clark Boulevard.

5. Legal Description of the subject land:

Lot Number 3

Plan Number/Concession Number CON. 6 E.H.S

Municipal Address 195 WALKER DRIVE, BRAMPTON, ONTARIO L6T 3Z9

6. Dimension of subject land (in metric units)

Frontage 155.5 METERS

Depth 281.5 METERS

Area 67,870.5 SQ. METERS

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☒

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

BUILDING COVERAGE: 48.96%

BUILDING HEIGHT: 8.934 METERS

NUMBER OF STORIES: 1

NUMBER OF UNITS: 1

GROSS FLOOR AREA: 34,735 SQ. METERS

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BUILDING COVERAGE: 3.92%

BUILDING HEIGHT: 31,000 METERS

NUMBER OF STORIES: 1

NUMBER OF UNITS: 1

GROSS FLOOR AREA: 2660 SQ. METERS

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 19 METERS

Rear yard setback 7.45 METERS

Side yard setback 4 METERS

Side yard setback 93.86 METERS

PROPOSED

Front yard setback 6.69 METERS

Rear yard setback 7.45 METERS

Side yard setback 0.97 METERS

Side yard setback 93.86 METERS

10. Date of Acquisition of subject land: 20-01-2003
11. Existing uses of subject property: MANUFACTURING
12. Proposed uses of subject property: WAREHOUSE
13. Existing uses of abutting properties: PARKING AND LANDSCAPE
14. Date of construction of all buildings & structures on subject land: 01-05-1981
15. Length of time the existing uses of the subject property have been continued: 20 YEARS

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☒

Swales

☒

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File #	A18-111	Decision	APPLICATION WAS WITHDRAWN	Relief	_____
File #	_____	Decision	_____	Relief	_____
File #	_____	Decision	_____	Relief	_____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY TORONTO OF ONTARIO BRAMPTON
THIS 6th April DAY OF March, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, VINOD KUMAR, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 6th DAY OF April, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

M1

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Signature of Zoning Officer

Zoning Officer

March 31, 2023

Date

DATE RECEIVED

April 6, 2023

