

APPLICATION # A-2023-0153
WARD #7

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SUVANSH MEHTA AND SHRUTI RAIBAGI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 272, Plan 742 municipally known as **21 DANESBURY CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the front lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the front lot line;
2. To permit a front yard setback of 7.1m (23.30 ft) to a below grade entrance whereas the by-law requires a minimum front yard setback of 7.6m (24.93 ft);
3. To permit an existing building addition (sunroom) with a rear yard setback of 5.2m (17.06 ft) whereas the by-law requires a minimum rear yard setback of 7.6m (24.93 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

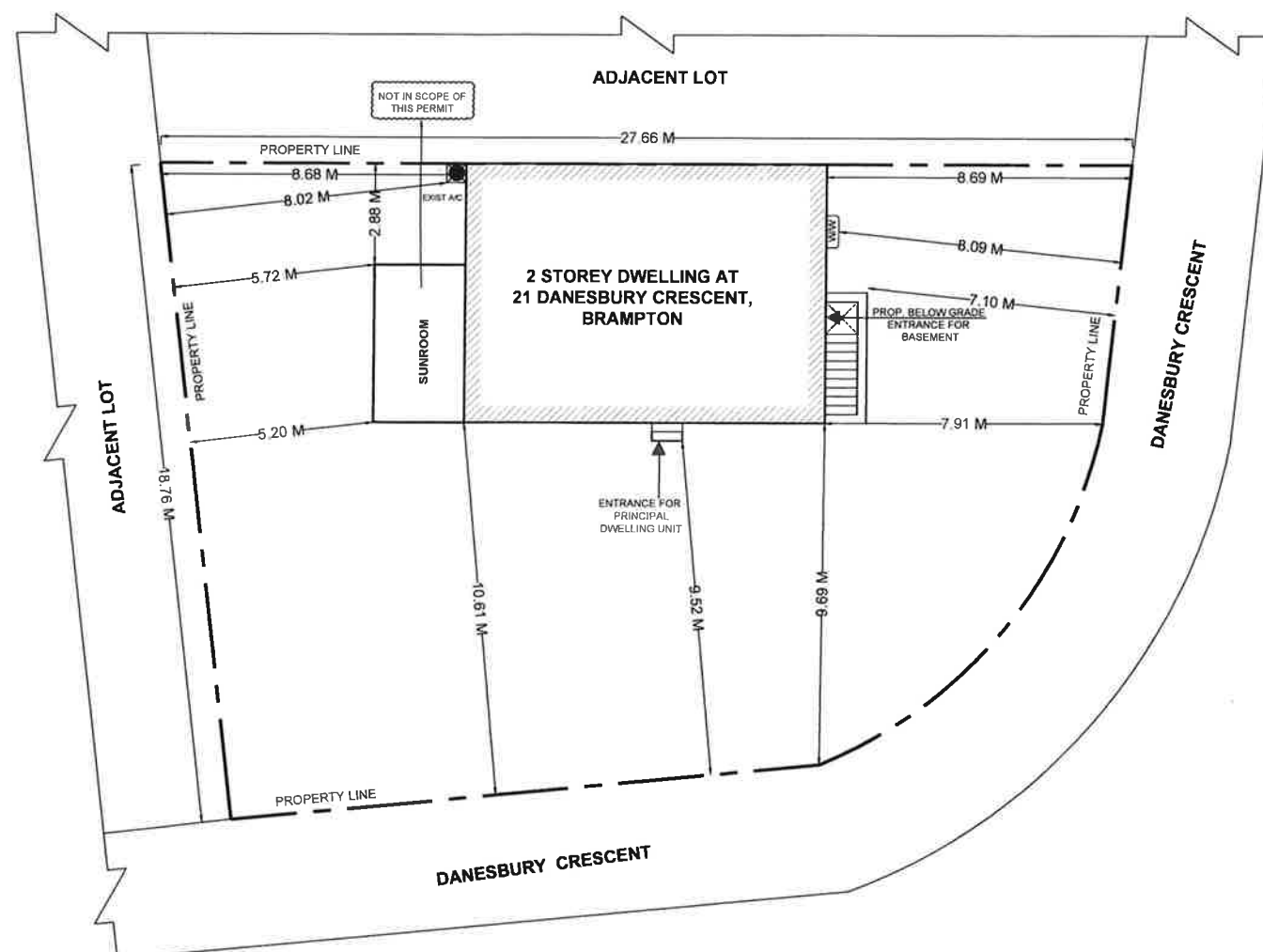
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SCOPE OF WORK
1. LEGALIZATION OF AS-BUILT BASEMENT TO FINISHED BASEMENT FOR PERSONAL USE
2. PROP. BELOW GRADE ENTRANCE

GENERAL NOTES:
DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER

VMOHAMMED

100216807

MAR 30, 2023

PROVINCE OF ONTARIO

NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023

ENGINEER:

 **Mechways Inc.**

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON, L4T 5G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:


FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT

SHEET TITLE:

SITE PLAN

CHECKED: GB
DRAWN: KA
SCALE: 1 : 150
DATE: MAR/30/ 2023

DRAWING:



A 0.1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0153

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Suvansh Mehta / Shruti Raibagi

Address 21 Danesbury Crescent, Brampton, ON L6T 1T2

Phone # 647 391 5898 Fax # _____

Email suvanshruti@gmail.com

2. Name of Agent Valiuddin Mohammed

Address 2751 Thamesgate Drive, Mississauga, ON L4T 1G5

Phone # 647 786 5940 Fax # _____

Email info@mechways.com

3. Nature and extent of relief applied for (variances requested):

To permit a below grade entrance in the front yard of the property with a setback of 7.10m.
To permit an existing building addition (sunroom) with a rear yard setback of 5.2m.

4. Why is it not possible to comply with the provisions of the by-law?

As per the zoning by-law, a below grade entrance in the front yard of the property is not permitted. As per the zoning by-law, a minimum rear yard setback of 7.6m is required.

5. Legal Description of the subject land:

Lot Number 272

Plan Number/Concession Number 742 PT

Municipal Address 21 Danesbury Crescent, Brampton, ON L6T 1T2

6. Dimension of subject land (in metric units)

Frontage 26.02 m.

Depth 18.76 m.

Area 431.85 sq.m.

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A 2 storey single dwelling semi-detached house with an attached sunroom in the sideyard.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A proposed below grade entrance in the front yard for basement unit.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.52 m
Rear yard setback	N/A
Side yard setback	5.2 m
Side yard setback	7.91 m

PROPOSED

Front yard setback	9.52 m
Rear yard setback	N/A
Side yard setback	5.2 m
Side yard setback	7.10 m

10. Date of Acquisition of subject land: April ,2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1967
15. Length of time the existing uses of the subject property have been continued: Since 1967

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF _____ Mississauga

THIS 12 DAY OF April, 2023.

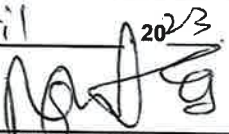
IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE City _____ OF _____ Mississauga

IN THE region _____ OF Peel _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

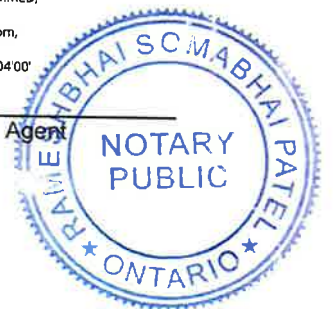
DECLARED BEFORE ME AT THE

City OF Toronto
IN THE Province OF
Ontario THIS 12th DAY OF
April 2023


VALIUDDIN
MOHAMMED
D

Digitally signed by VALIUDDIN
MOHAMMED
DN: cn=VALIUDDIN MOHAMMED,
o, ou=MECHWAYS INC,
email=mechways@gmail.com,
c=CA
Date: 2023.04.12 14:21:36 -04'00'

Signature of Applicant or Authorized Agent



Present Official Plan Designation:

Present Zoning By-law Classification:

R2A(1) - 100

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto
Zoning Officer

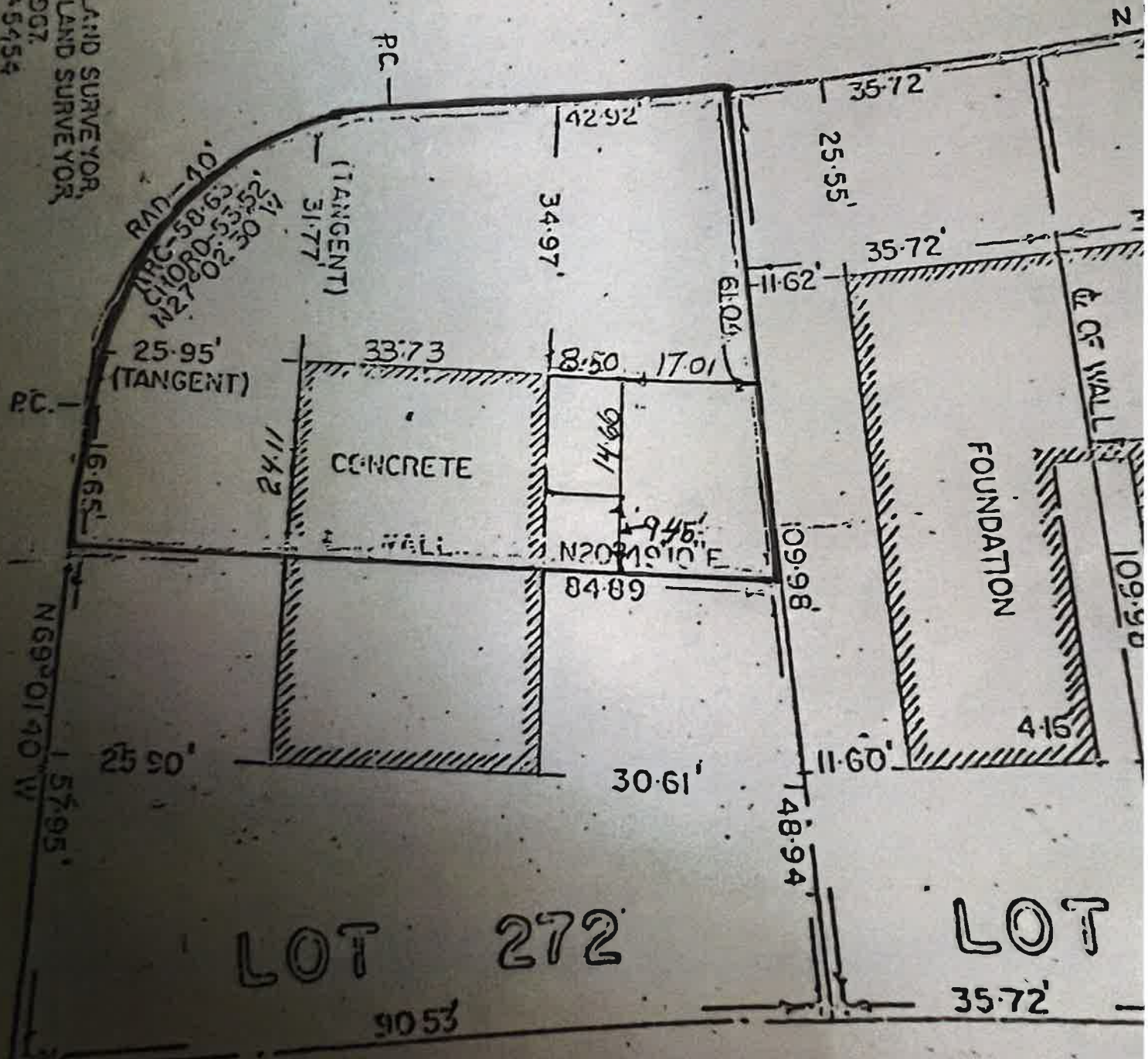
May 10, 2023
Date

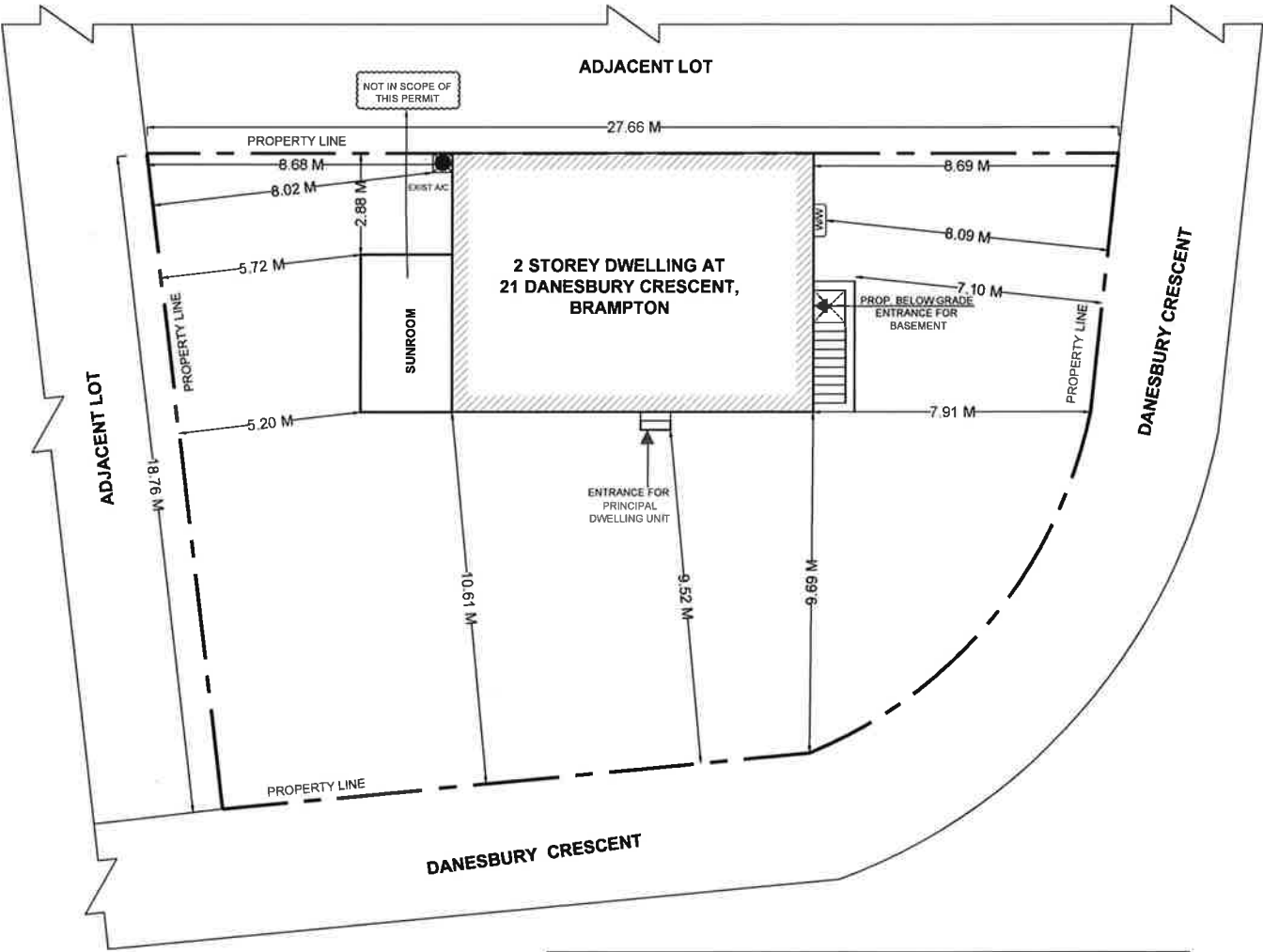
DATE RECEIVED

MAY 12, 2023

DANESBURY

JOHN W. SKINNER - ONTARIO LAND SURVEYOR
 103 VICTORIA PARK AVE., PL7-5454
 TORONTO, ONT.
 FEB. 24, 1967





SCOPE OF WORK

1. LEGALIZATION OF AS-BUILT BASEMENT TO FINISHED BASEMENT FOR PERSONAL USE
2. PROP. BELOW GRADE ENTRANCE

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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON: L4T 1G5
TEL : 416-627-4100
EMAIL: INFO@MECHWAYS.COM
WEBSITE: WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

**FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT**

SHEET TITLE:

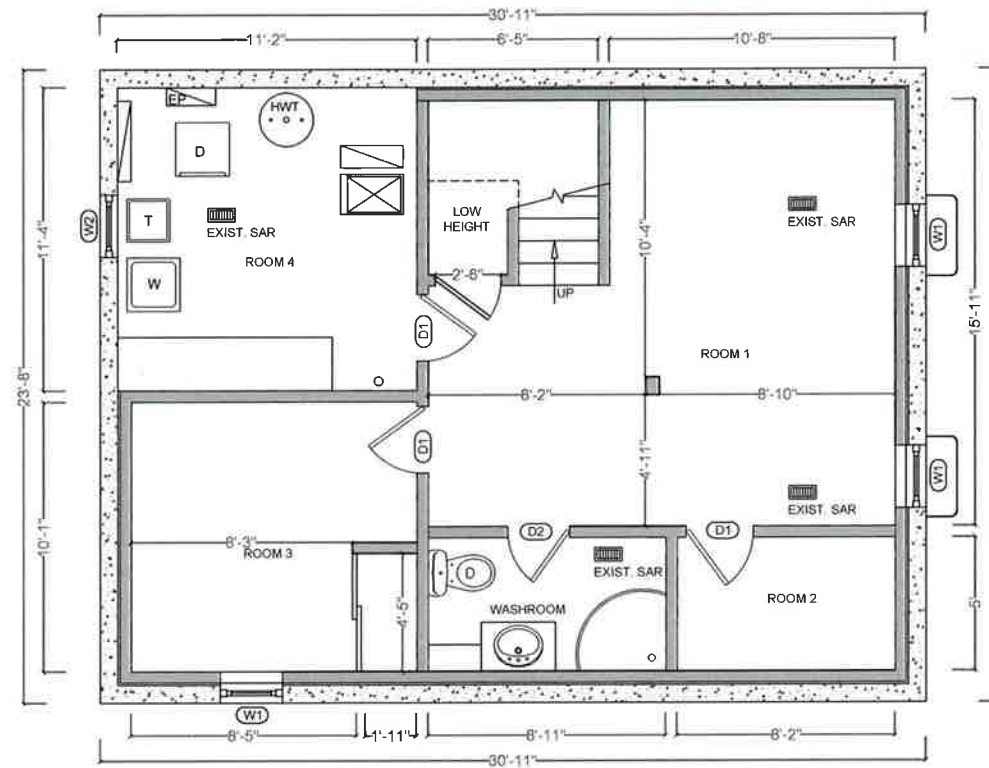
SITE PLAN

CHECKED: GS
DRAWN: KA
SCALE: 1 : 150
DATE: MAR/30/ 2023



DRAWING:

A 0.1



EXISTING BASEMENT PLAN

BASEMENT G.F.A = 731.69 ft² / 67.98 m²
 CEILING HEIGHT U/S OF JOISTS = 7' - 6"
 CEILING HEIGHT U/S OF DUCT = 6' - 8"
 FIN. CEILING HEIGHT = 7'-2"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
EXIST. W1	28" x 16"
EXIST. W2	32" X 20"

DOOR SCHEDULE	
DOOR#	DOOR SIZE
EXIST. D1	30" x 80"
EXIST. D2	28" X 80"

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SEAL:



1 ISSUED FOR BUILDING PERMIT MAR 30, 2023

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.
 ADDRESS : 2751 THAMESDALE DRIVE
 MISSISSAUGA, ON L4T 1G5
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

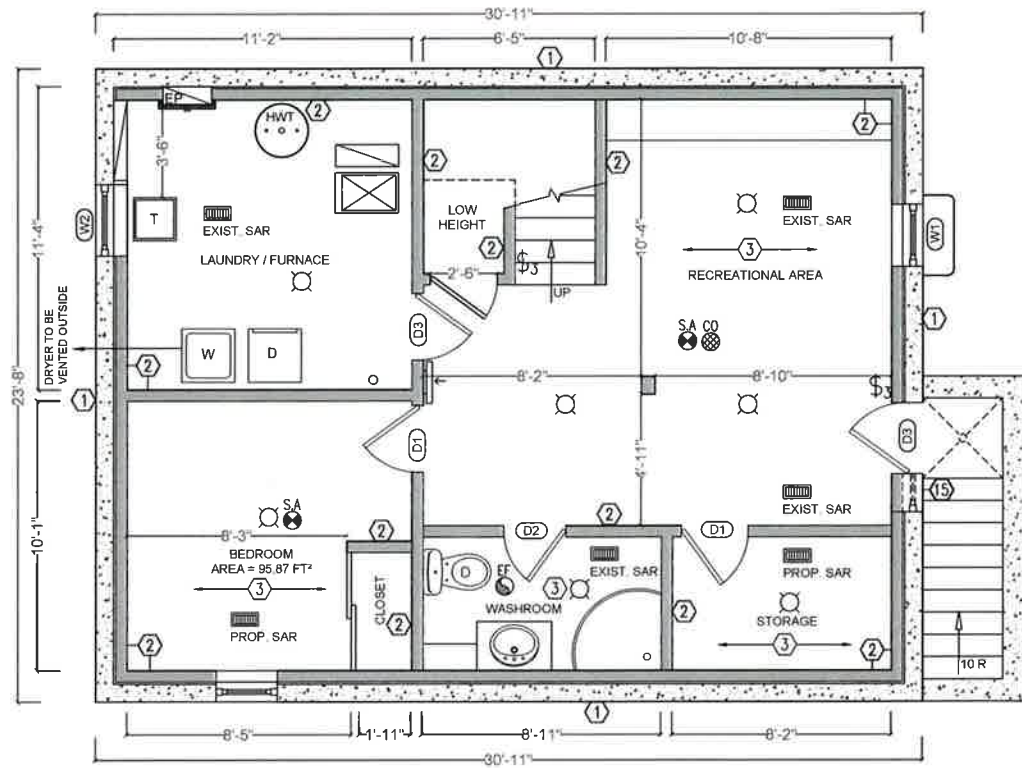
FINISHED BASEMENT
 AT 21 DANESBURY CRESCENT

SHEET TITLE:

EXIST.
 BASEMENT PLAN

CHECKED: GB
 DRAWN: KA
 SCALE: 3/16" = 1'0"
 DATE: MAR /30/2023

DRAWING:
A 1.1



LEGEND	
	EXISTING FOUNDATION WALL (8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED)
	DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWB ON BATHROOMS WALLS.)
	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	NEW/ EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN100 CFM FOR KITCHEN AND 50 CFM FOR WASHROOM
	SAR {SUPPLY AIR REGISTER} 10" x 4"
	RAG {RETURN AIR GRILLE} 12" x 6"
	LIGHT
	CLOSE THE OPENING BY PROVIDING 15 M VERTICAL STEEL REINFORCEMENT @ 12" O.C AND 15 M DISTRIBUTION REINFORCEMENT @ 12" O.C. TIE NEW CONCRETE TO EXISTING WITH 15 M @ 16" O.C 12" LONG WITH MINIMUM 4" INTO EXISTING CONCRETE WALL. CONCRETE MINIMUM COMPRESSIVE STRENGTH TO 32 MPa W/5%-8% AIR ENTRAINMENT. MATCH EXTERIOR FINISH TO EXISTING FINISH

PROP. BASEMENT PLAN

BASEMENT G.F.A =731.69 ft² / 67.98 m²
CEILING HEIGHT U/S OF JOISTS = 7' - 6"
CEILING HEIGHT U/S OF DUCT = 6' - 8"
FIN. CEILING HEIGHT = 7'-2"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
EXIST. W1	28" x 16"
EXIST. W2	32" X 20"

DOOR SCHEDULE	
DOOR#	DOOR SIZE
EXIST. D1	30" x 80"
EXIST. D2	28" X 80"
PROP. D3	32" X 80"

GENERAL NOTES:

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SEAL:



ISSUED FOR BUILDING PERMIT MAR 30, 2023

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

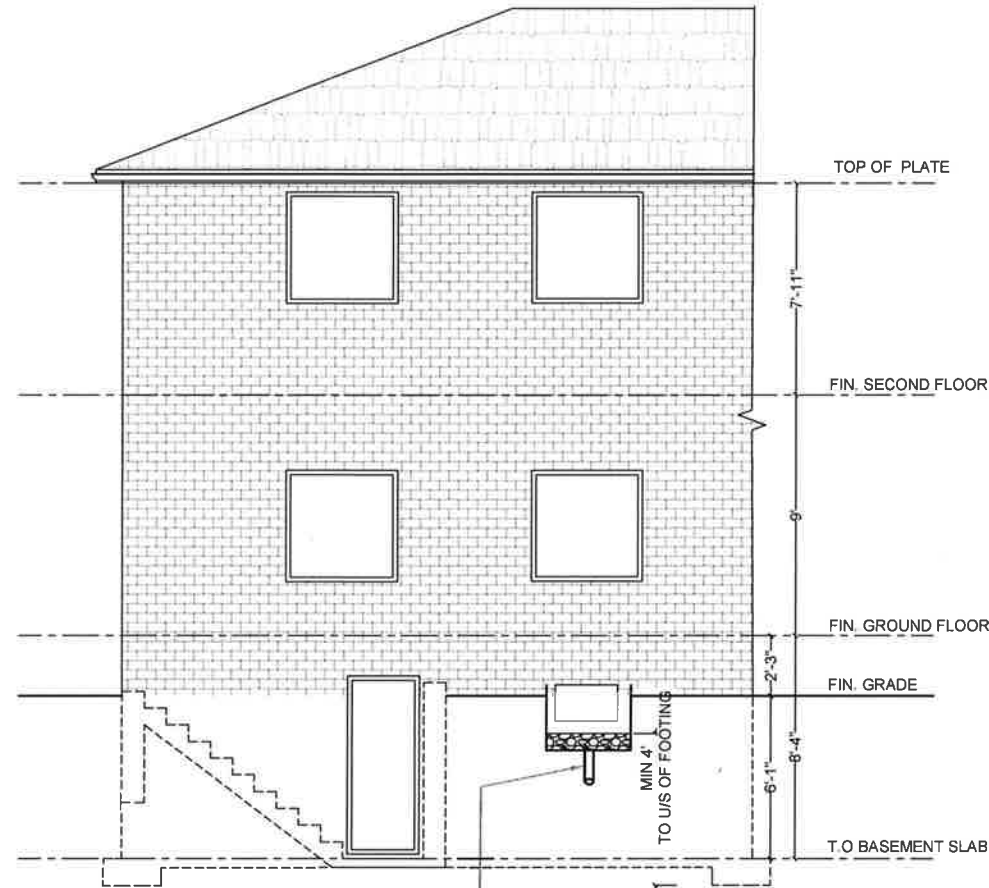
FINISHED BASEMENT AT 21 DANESBURY CRESCENT

SHEET TITLE:

PROP. BASEMENT PLAN

CHECKED: GS
DRAWN: KA
SCALE: 3/16" = 1'0"
DATE: MAR /30/2023

DRAWING: A 1.2



RIGHT SIDE ELEVATION

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023
---	-------------------------------	--------------

NO.	DESCRIPTION	DATE
-----	-------------	------

ENGINEER:



Mechways Inc.

ADDRESS : 2751 THAMESBATE DRIVE
MISSISSAUGA, ON, L4T 1G5
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

**FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT**

SHEET TITLE:

**RIGHT SIDE
ELEVATION**

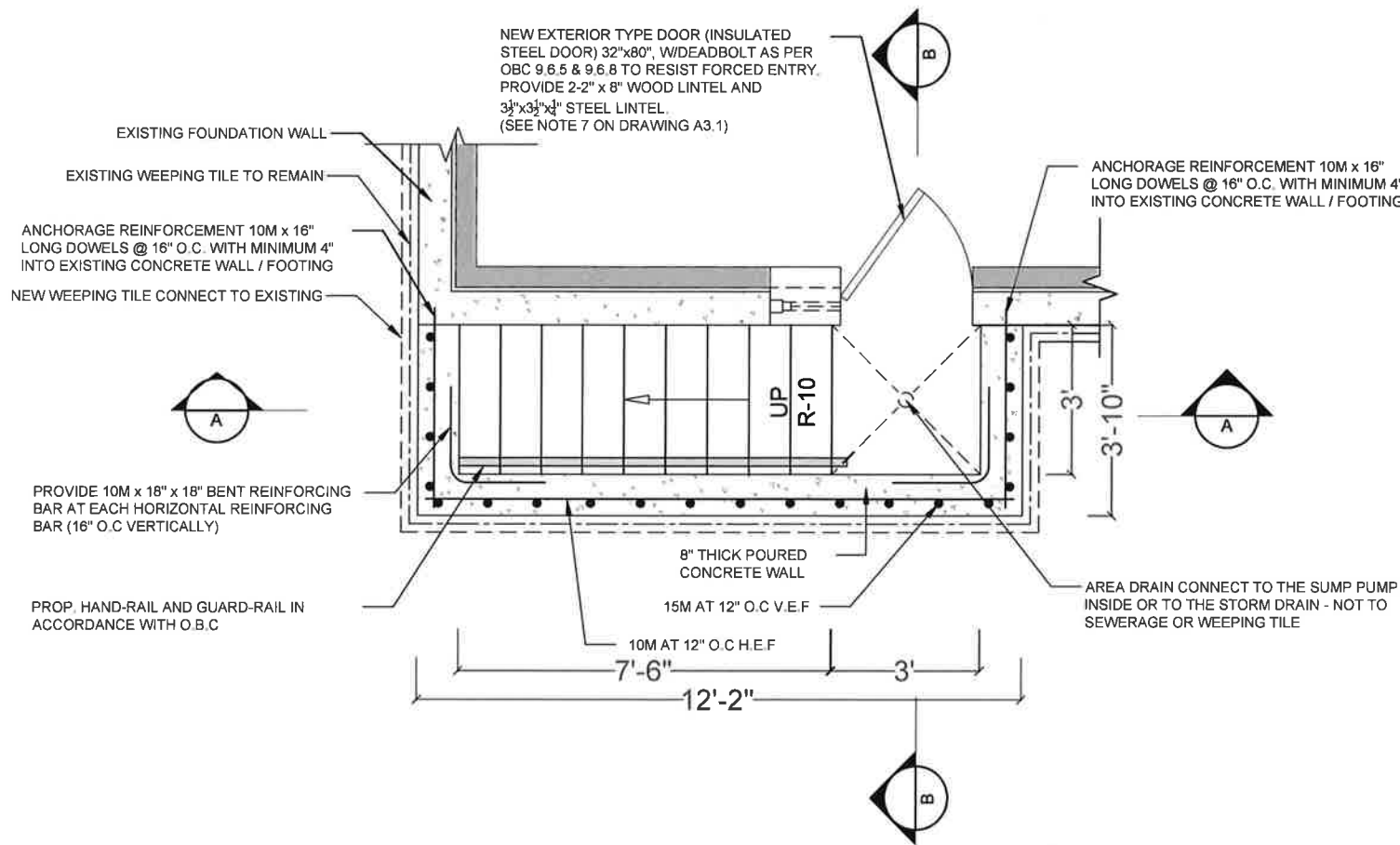
CHECKED: GS
DRAWN: KA
SCALE: 3/16" = 1'-0"
DATE: MAR /30/2023

DRAWING:

A 2.1

WALKOUT PLAN

SCALE : 3/8" = 1'-0"



GENERAL NOTES:

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NO.	DESCRIPTION	DATE

ENGINEER:

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ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON L4T 1G5

TEL : 416-627-4100

EMAIL : INFO@MECHWAYS.COM

WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

FINISHED BASEMENT AT 21 DANESBURY CRESCENT

SHEET TITLE:

WALKOUT PLAN

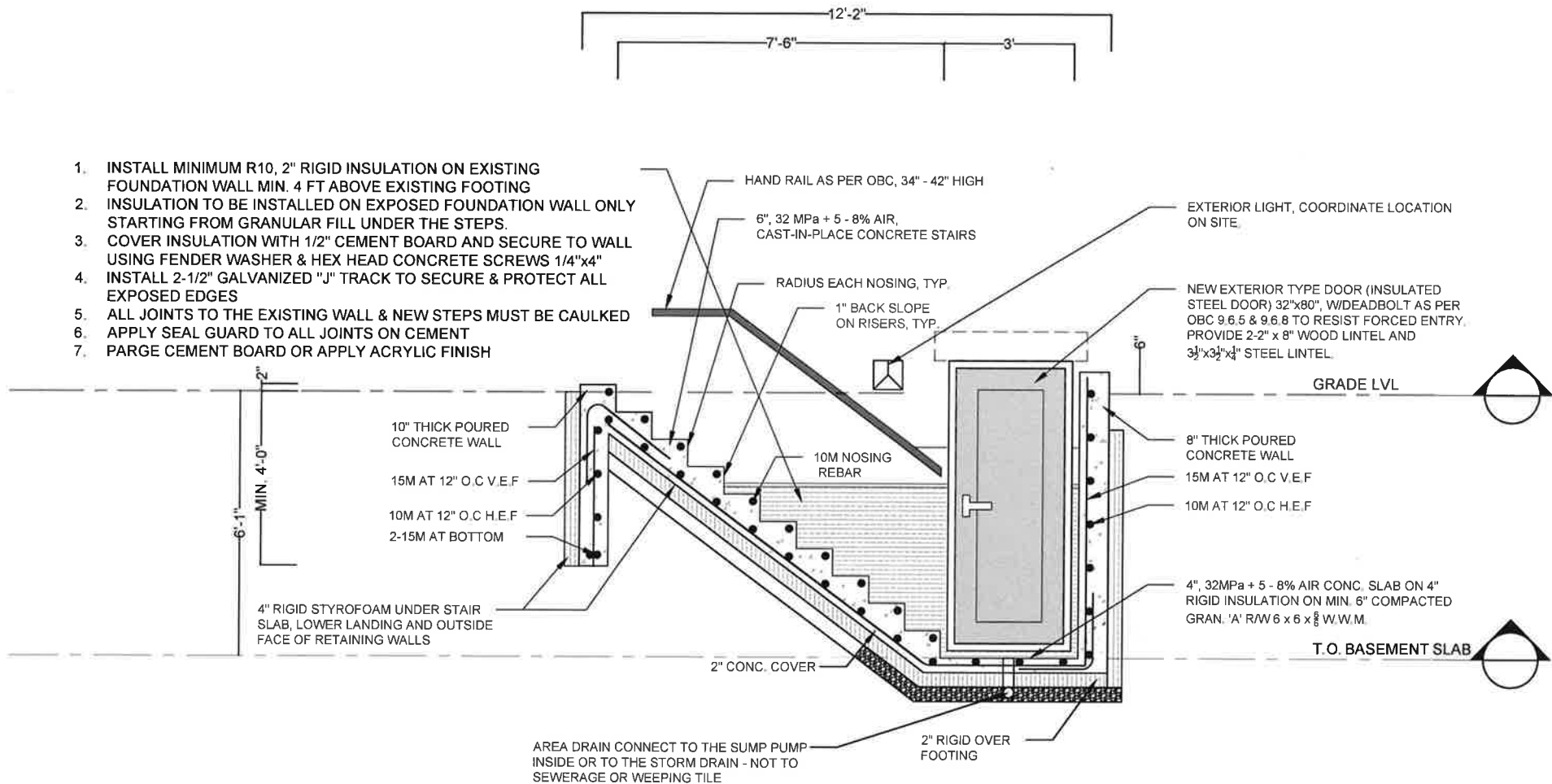
CHECKED: SS
DRAWN: KA
SCALE: 3/8" = 1'-0"
DATE: MAR /30/2023

DRAWING:

A 3.1

SECTION A-A

SCALE : 3/8" = 1'-0"



1. INSTALL MINIMUM R10, 2" RIGID INSULATION ON EXISTING FOUNDATION WALL MIN. 4 FT ABOVE EXISTING FOOTING
2. INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER THE STEPS.
3. COVER INSULATION WITH 1/2" CEMENT BOARD AND SECURE TO WALL USING FENDER WASHER & HEX HEAD CONCRETE SCREWS 1/4"x4"
4. INSTALL 2-1/2" GALVANIZED "J" TRACK TO SECURE & PROTECT ALL EXPOSED EDGES
5. ALL JOINTS TO THE EXISTING WALL & NEW STEPS MUST BE CAULKED
6. APPLY SEAL GUARD TO ALL JOINTS ON CEMENT
7. PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH

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NO.	DESCRIPTION	DATE

ENGINEER:
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ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
**FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT**

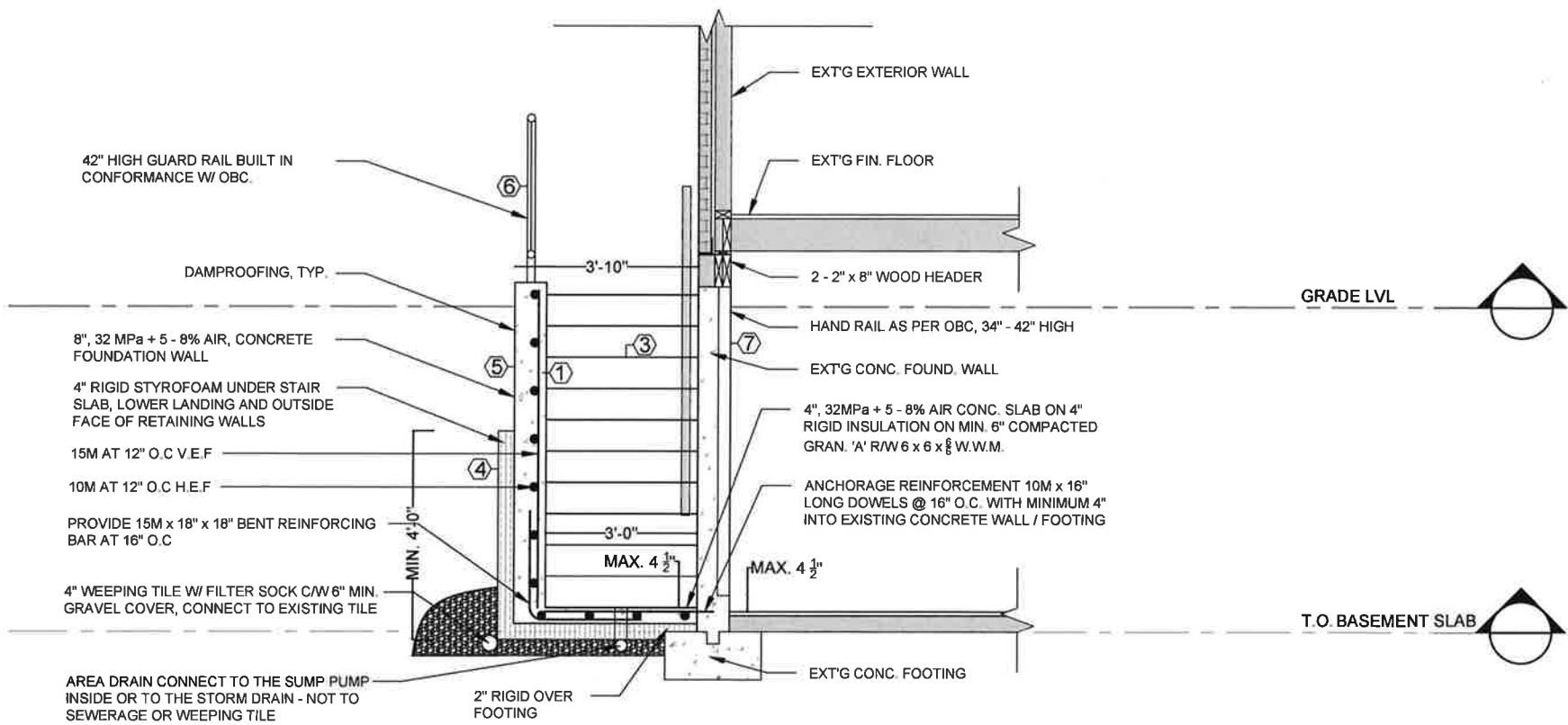
SHEET TITLE:
SECTION A-A

CHECKED: GS
DRAWN: KA
SCALE: 3/8" = 1'-0"
DATE: MAR /30/2023

DRAWING:
A 3.2

SECTION B-B

SCALE : 3/8" = 1'-0"



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SHEET TITLE:

SECTION B-B

CHECKED: GS
DRAWN: KA
SCALE: 3/8" = 1'-0"
DATE: MAR /30/2023

DRAWING:
A 3.3

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF Laterally unsupported height or the soil is clay or silt, the underpinning & related CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.

2. STEEL

MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
RUN 10" MINIMUM 14" MAXIMUM
TREAD 10" MINIMUM 14" MAXIMUM
TREAD SHOULD BE A MAX. OF 1" > RUN
ADJUST STEP SIZE TO SUIT SITE

4. INSULATION

- 4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- 4B PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

5. RETAINING WALL

8" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS -

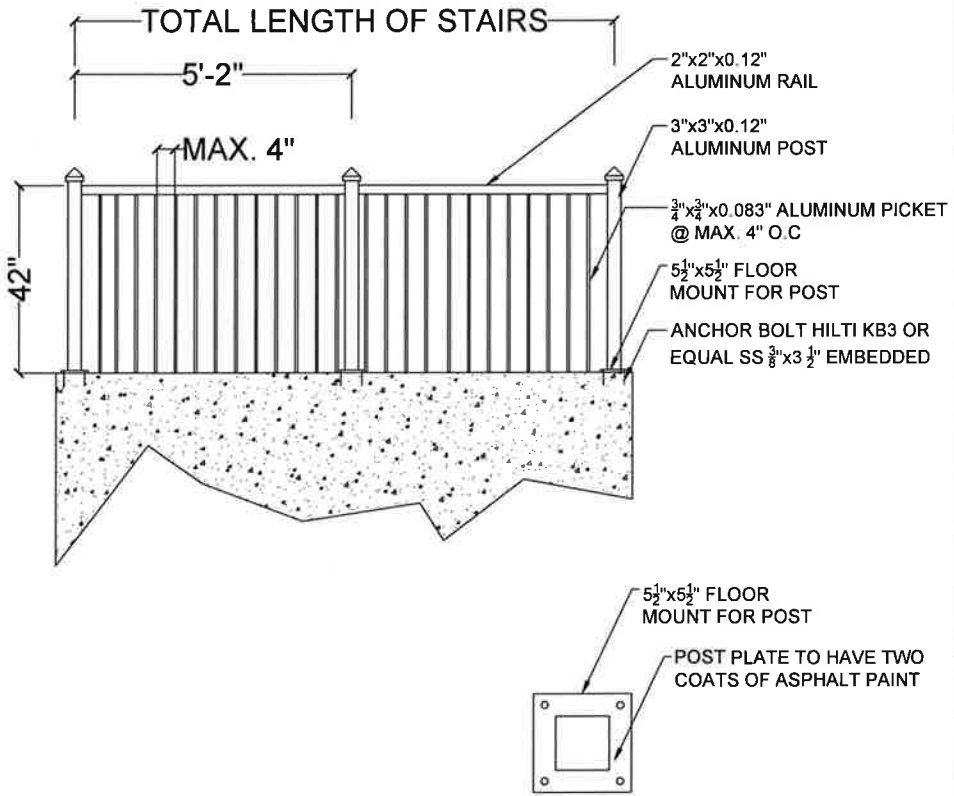
42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8" x 6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM

GUARD RAIL DETAILS

SCALE : 3/8" = 1'-0"



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GUARD RAIL DETAILS

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DRAWING:

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DOOR SCHEDULE

- 1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE, THE SIZES ARE MENTIONED ON THE FLOOR PLAN.
- 2. EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- 1 FOUNDATION WALL INSULATION
8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- 2 INTERNAL WALLS
WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWB ON BATHROOMS WALLS.
- 5 EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
- 6 MECHANICAL VENTILATION
50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM
- 7 IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- 8 PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- 9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

- \$

SWITCH
- \$3

3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS
- GFI

WP

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

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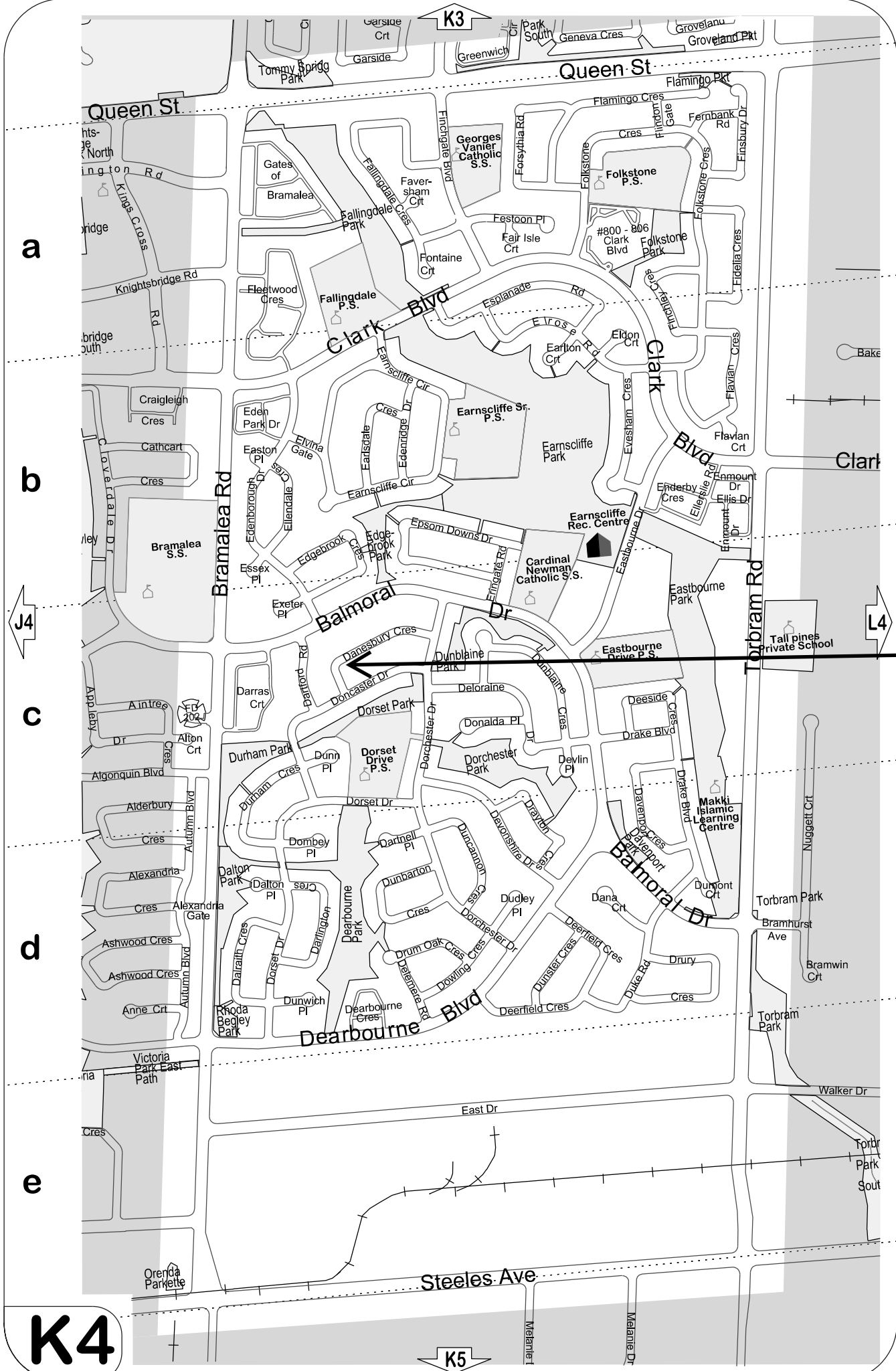
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CHECKED: GS
DRAWN: KA
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DATE: MAR /30/2023

DRAWING:

A 4.1



A-2023-0153