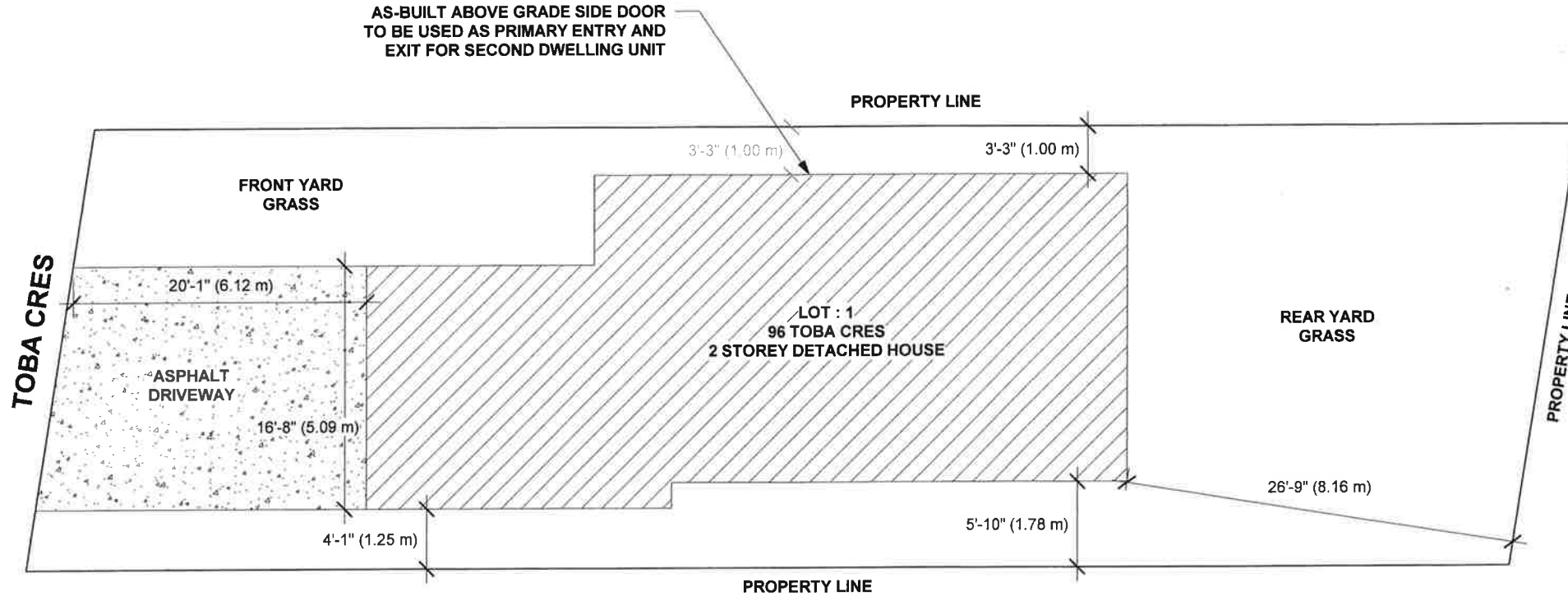


MINOR VARIANCE

-To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;

-To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE APR 25/23

ADDRESS
96 TOBA CRES,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB

PROJECT NUMBER: 23R-27604

NOBLE PRIME SOLUTIONS LTD

2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

DATE: APR 25/23

SCALE: 1:100

DWG No:

A-1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 6, 2023

To: Committee of Adjustment
SANDEEP RAJ
LOT 272, PLAN 742
A-2023-0152 – 96 TOBA CRESCENT

Please **amend** application **A-2023-0152** to reflect the following:

1. To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.

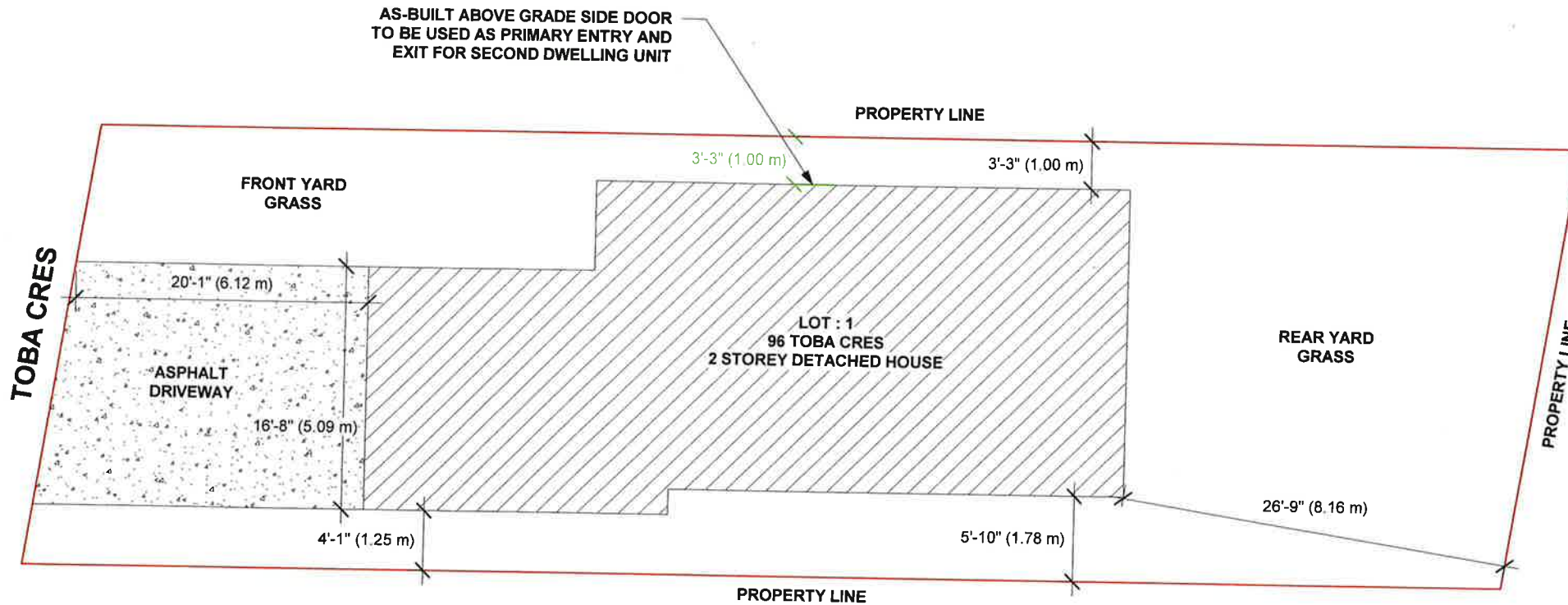
Navpreet Kaur

Applicant/Authorized Agent

MINOR VARIANCE

-To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;

-To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.



SITE PLAN

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01 ISSUED FOR VARIANCE APR 25/23

ADDRESS:

96 TOBA CRES,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB

PROJECT NUMBER: 23R-27604

NOBLE PRIME SOLUTIONS LTD

2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19

(437)-888-1800

DATE: APR 25/23

DWG. No.

SCALE: 1:100

A-1



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0152

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SANDEEP RAJ
Address 96 TOBA CRES. BRAMPTON, ON, L6Z 4R8

Phone # 416-805-9397 Fax # _____
Email sunnyraj@liva.ca

2. Name of Agent NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-988-1800 Fax # _____
Email applications@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT AN ABOVE GRADE SIDE DOOR WITH SETBACK 1.0m FROM THE SIDE LOT LINE, WHEREAS ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 1.2m FROM ANY SIDE DOOR TO A SIDE LOT LINE.

4. Why is it not possible to comply with the provisions of the by-law?

-ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 1.2m FROM ANY SIDE DOOR TO A SIDE LOT LINE WHEREAS AN ABOVE GRADE SIDE DOOR WITH SETBACK 1.0m FROM THE SIDE LOT LINE IS PROPOSED.

5. Legal Description of the subject land:
Lot Number 1
Plan Number/Concession Number 43M1051
Municipal Address 96 TOBA CRES, BRAMPTON, ON, L6Z 4R8

6. Dimension of subject land (in metric units)
Frontage 9.21 M
Depth 30.750 M
Area 285.49

7. Access to the subject land is by:

Provincial Highway <input type="checkbox"/>	Seasonal Road <input type="checkbox"/>
Municipal Road Maintained All Year <input checked="" type="checkbox"/>	Other Public Road <input type="checkbox"/>
Private Right-of-Way <input type="checkbox"/>	Water <input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AN AREA OF 278 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ABOVE GRADE SIDE DOOR

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.12M
 Rear yard setback 8.16M
 Side yard setback 1.00M
 Side yard setback 1.25M

PROPOSED

Front yard setback 6.12M
 Rear yard setback 8.16M
 Side yard setback 1.00M
 Side yard setback 1.25M

10. Date of Acquisition of subject land: JANUARY 25, 2016

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: JULY 20, 1999

15. Length of time the existing uses of the subject property have been continued: 24 YEARS

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 12th DAY OF May, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JAYTESH BHALLA OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 12th DAY OF
May, 2023

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R1D-358

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

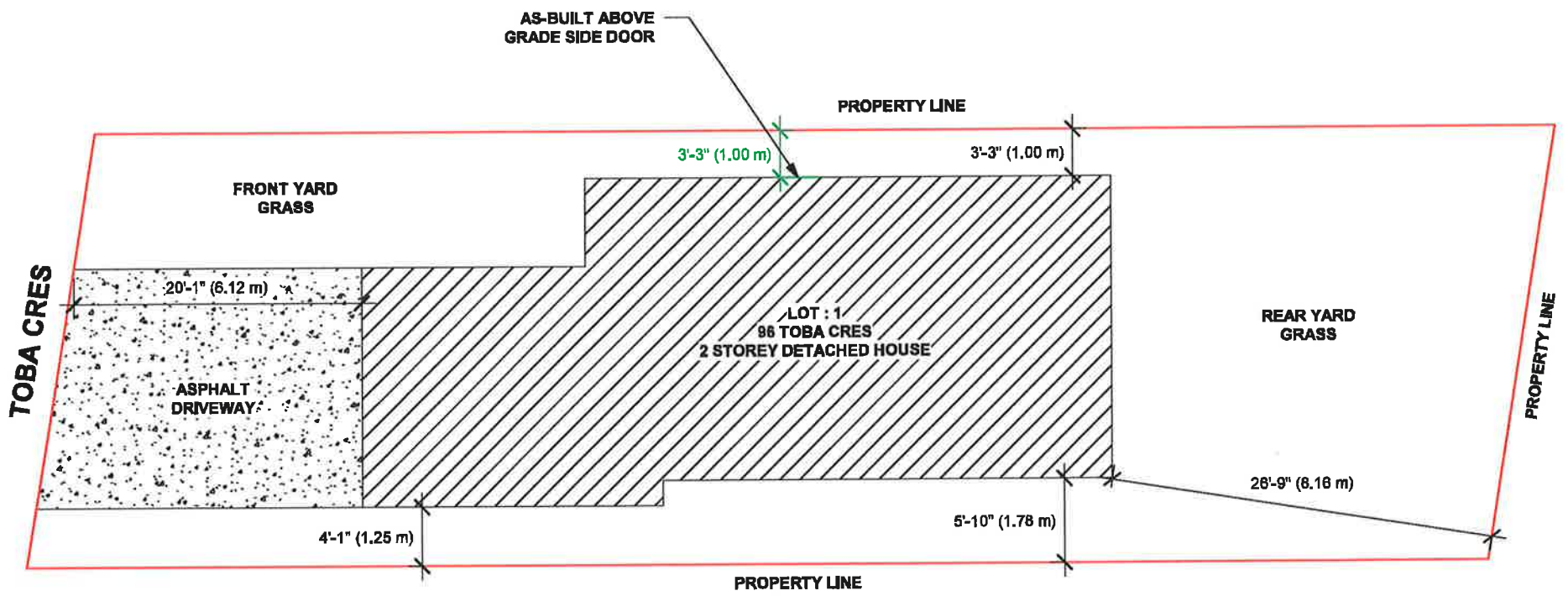
[Signature]
Zoning Officer

May 11, 2023
Date

DATE RECEIVED May 12, 2023

Date Application Deemed Complete by the Municipality _____

MINOR VARIANCE
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