

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **PARTH SHAH AND HINAL PARTH SHAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 65, Plan M-1114, Part 16, Plan 43R-20429 municipally known as **4 RAIN LILY LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
3. To permit a second dwelling unit (basement apartment) on a lot containing a quattroplex whereas the by-law only permits a second dwelling unit in a single detached, semi detached or townhouse dwelling.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



LANDSCAPE



ENTRANCE & EGRESS

NOTE: EXISTING GRADE REMAINS AS IS

NEW BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

NEW BELOW GRADE SIDE YARD ENTRANCE AREA UNDER MINOR VARIANCE APPLICATION.

PROPERTY LINE 8'-7" (2.62M)

PROPERTY LINE 1'-9" (0.53M)

PROPERTY LINE 5'-0" (1.52M)

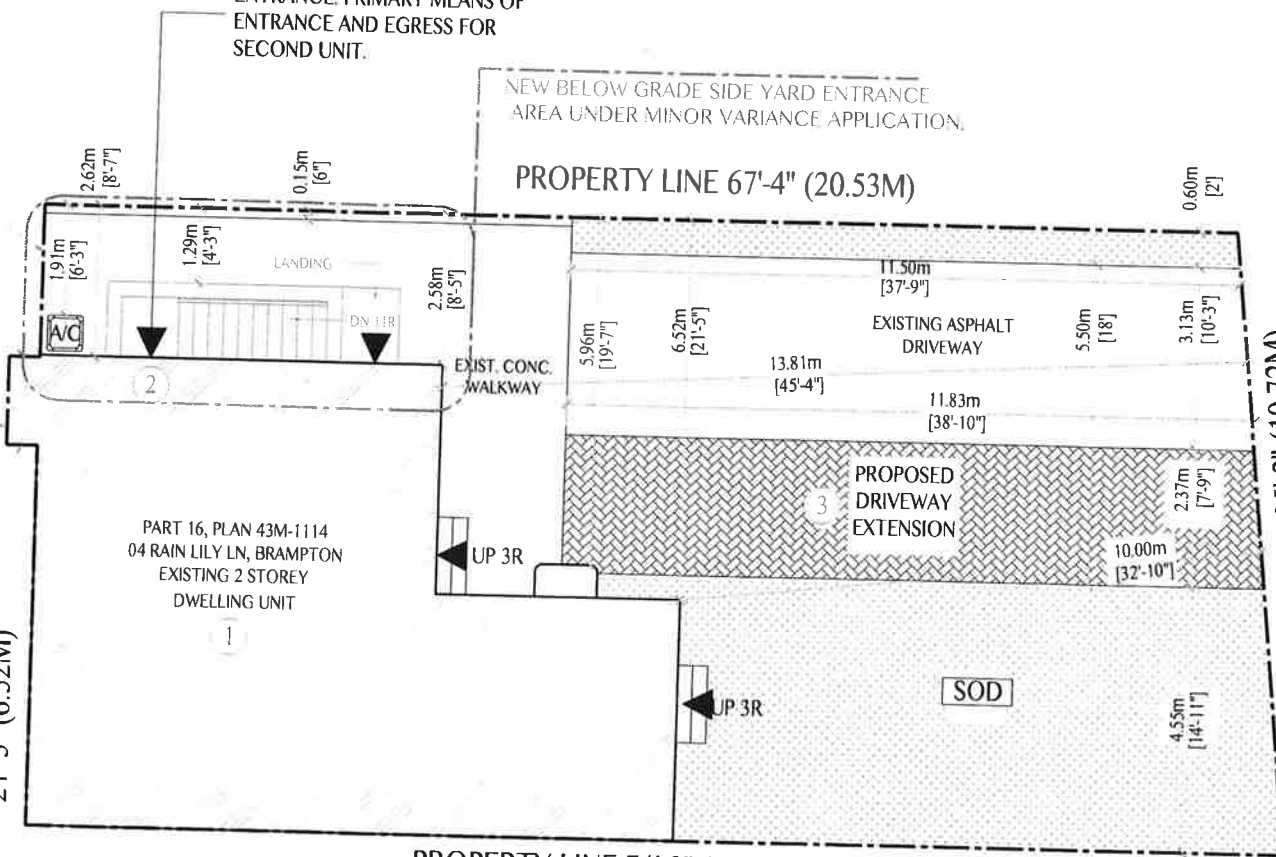
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PROPERTY LINE 21'-5" (6.52M)

PROPERTY LINE 67'-4" (20.53M)

PROPERTY LINE 35'-2" (10.72M)
RAIN LILY LANE

PROPERTY LINE 71'-0" (21.65M)



SCOPE OF WORK

- 1 BASEMENT APARTMENT
- 2 NEW BELOW GRADE SIDE YARD ENTRANCE
- 3 DRIVEWAY EXTENSION

AREA STATISTICS FOR SECONDARY UNIT

GROSS FLOOR AREA CALCULATIONS

A -

EXISTING MAIN FLOOR AREA	: 806.68 SFT / 74.97 M ²
EXISTING SECOND FLOOR AREA	: 806.68 SFT / 74.97 M ²
TOTAL GFA	: 1613.36 SFT / 149.94 M ²

B -

EXISTING BASEMENT	
BASEMENT NEW AREA GFA	: 699.34 SFT / 64.97 M ²
UTILITY AND FURNACE AREA	: 107.34 SFT / 9.97 M ²
TOTAL GFA	: 806.68 SFT / 74.94 M ²

BASEMENT APARTMENT GFA IS 43.34 % OF PRINCIPAL RESIDENCE GFA

AREA STATISTICS FOR DRIVEWAY EXTENSION

AREA CALCULATIONS	
FRONT YARD LANDSCAPE AREA	= 570.57 SFT / 53.00 M ² (44.41%)
HARDSCAPE AREA	= 696.93 SFT / 64.74 M ²
TOTAL AREA	= 1284.77 SFT / 119.35 M ²

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY FOR THE WORKS TO BE CARRIED OUT BY THE CONTRACTOR.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY FOR THE WORKS TO BE CARRIED OUT BY THE CONTRACTOR.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY FOR THE WORKS TO BE CARRIED OUT BY THE CONTRACTOR.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY FOR THE WORKS TO BE CARRIED OUT BY THE CONTRACTOR.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY FOR THE WORKS TO BE CARRIED OUT BY THE CONTRACTOR.

No.	Date	Revision/Issued
00	2023.03.01	Schematic Design
01	2023.01.25	Permit Application

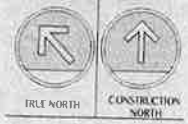
Consultants

SHAFE

BUILDING FOR FUTURE

Permit Drawings | Construction
Project Management |
Developments

126 Barnhamthorpe Rd. East |
Unit A | Oakville | ON | L6H 0X9
m: 647.471.7441
e: info@shafeinc.com
www.shafeinc.com



Seal

Project Title:
BASEMENT APARTMENT

Project Address:
**04 Rain Lily Ln,
Brampton**

Drawing title:

SITE PLAN

Project:
22-240

Scale:
1/8" = 1'-0"

Drawn	Checked
AH	SV

Drawing number:

A-01

Date Modified
MAY 22, 2023

11x17

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
PARTH SHAH AND HIMAL PARTH SHAH
PART OF LOT 65, PLAN M-111
A-2023-0051 – 4 RAIN LILY DRIVE

Please **amend** application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
3. To permit a second dwelling unit (basement apartment) on a lot containing a quattroplex whereas the by-law only permits a second dwelling unit in a single detached, semi detached or townhouse dwelling.

Galwani

Applicant/Authorized Agent

AMENDMENT LETTER

May 23, 2023

To: Committee of Adjustment

**RE: PARTH SHAH AND HINAL PARTH SHAH
PART OF LOT 65, PLAN M-1114
PART 16, PLAN 43R-20429
A-2023-0051 - 4 RAIN LILY LANE**

Please **amend** application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).
3. To permit basement apartment [second dwelling unit] on a lot containing quattroplex, Whereas the by law only permits basement apartments single detached, semi detached or townhouse dwelling.
4. To permit driveway extension from 3.3m to 5.50m to accommodate required parking for basement apartments & principle residence.



Applicant/Authorized Agent

MINOR VARIANCE BASEMENT APPARTMENT

ISSUED FOR: MINOR VARIANCE BASEMENT APPARTMENT PERMIT APPLICATION

DRAWINGS LIST	
DRAWING NUMBER	DRAWING NAME

A-00	COVER PAGE
S-00	PLAN OF SURVEY
A-01	SITE PLAN
A-02	PROPOSED MAIN FLOOR PLAN
A-03	BASEMENT- EXISTING PLAN
A-04	BASEMENT- PROPOSED PLAN
A-05	SECOND FLOOR PLAN
A-EL	NORTH ELEVATION
A-06	EGRESS OR ESCAPE WINDOW SECTION
A-07	WALKOUT PLAN
A-08	WALKOUT SECTION A-A
A-09	WALKOUT SECTION B-B
E-01	ELECTRICAL LAYOUT
G-01	NOTES & SCHEDULES

GENERAL NOTES

- 1. COPYRIGHT REMAINS THE PROPERTY OF SHAFTEC. THESE PLANS DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF SHAFTEC AND MUST NOT BE LENT, REPRODUCED, COPIED, OR OTHERWISE COMMUNICATED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- 2. THE DRAWER SHALL VERIFY THAT THE INFORMATION CONTAINED WITHIN THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY WORK. WORK NOT SPECIFICALLY DETAILLED THEREIN SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECT THE CITY'S ZONING BY-LAW AND STANDARDS.
- 3. ALL FIELD DIMENSIONS AND SPECIFIC NOTES SHALL BE PRESENTED IN METRIC UNITS UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE CORRELATED FOR CLARITY. ALL THE SIZE DIMENSIONS INCORPORATED ARE IN METRIC UNITS UNLESS OTHERWISE NOTED. IN CASE OF A DISCREPANCY BETWEEN THE METRIC AND IMPERIAL NOTES, CONSTRUCTION SHALL BE MADE TO BE GOVERNED BY THE METRIC DIMENSIONS. ALL DIMENSIONS SHALL BE TO UNLESS OTHERWISE NOTED.

No	Date	Revision/Issued
00	2023.01.05	Schematic Design
01	2023.01.27	Permit Application

Consultants

SHAFTEC

BUILDING FOR FUTURE
Permit Drawings | Construction | Project Management | Developments

126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0X9
m: 647-471-7441
e: info@shafteinc.com
www.shafteinc.com

Seal

Project Title :
BASEMENT APPARTMENT

Project Address :
04 Rain Lily Ln, Brampton

Drawing title:
COVER PAGE

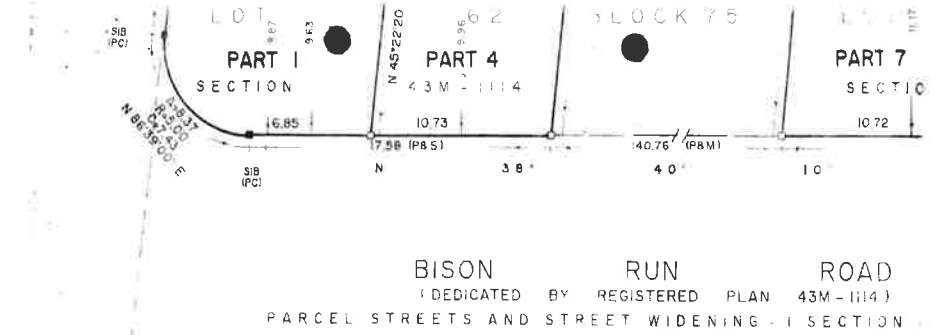
Project:
22-240

Scale:
N.T.S.

Drawn	Checked
AH	SV

Drawing number:
A-00

Date Modified
MAY 22, 2023



BISON RUN ROAD
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION



RAIN LILY LANE
 (DEDICATED BY REGISTERED PLAN 43M-1114)

PARCEL STREETS AND STREET WIDENING - I SECTION 43M-1114

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS**

PLAN 43R-20429

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

RECEIVED AND DEPOSITED

DATE JUNE 15, 1994

DATE June 15, 1994

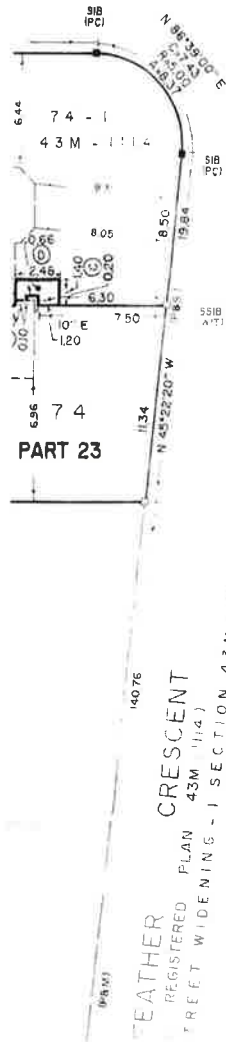
David Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR

Mark Chyde
MARK CHYDE
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
PEEL (N° 43)

PARTS 1,2,3,4,25 AND 26 - ALL OF PARCEL 62 - 1 SECTION 43M - III4
PARTS 5,6,7,8,27 AND 28 - ALL OF PARCEL 63 - 1 SECTION 43M - III4
PARTS 9,10,11,12,29 AND 30 - ALL OF PARCEL 64 - 1 SECTION 43M - III4
PARTS 13,14,15,16,31 AND 32 - ALL OF PARCEL 65 - 1 SECTION 43M - III4
PARTS 17,18,19,20,33 AND 34 - ALL OF PARCEL 73 - 1 SECTION 43M - III4
PARTS 21,22,23,24,35 AND 36 - ALL OF PARCEL 74 - 1 SECTION 43M - III4

CRESCENT
43M - III4
SECTION 43M

65-92



PLAN OF SURVEY OF
LOTS 62,63,64,65,73 AND 74
REGISTERED PLAN 43M - III4
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 250
5m 10 15m

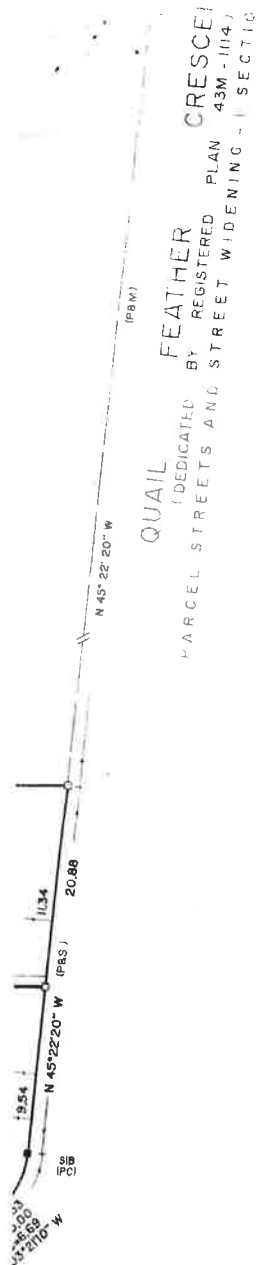
J. D. BARNES LIMITED
1994

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES:
BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF POPPY BLOOM AVENUE AS SHOWN ON REGISTERED PLAN 43M - III4, HAVING A BEARING OF N 45° 22' 20\" W.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DOC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FACE OF FOUNDATION WALL
- FC DENOTES CENTRE OF FOUNDATION WALL



BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
 THEASTERLY LIMIT OF POPPY BLOOM AVENUE AS SHOWN ON
 REGISTERED PLAN 43M - 1114, HAVING A BEARING OF N 45° 22' 20\"/>

- DENOTES SURVEY MONUMENT FOUND
- D DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FACE OF FOUNDATION WALL
- C DENOTES CENTRELINE OF FOUNDATION WALL
- CFW DENOTES CONCRETE FOUNDATION WALL
- PBS DENOTES REGISTERED PLAN 43M - 1114 AND SET
- PBM DENOTES REGISTERED PLAN 43M - 1114 AND MEASURED
- O DENOTES BEARING

PLANTED MONUMENTS ARE IRON BARS UNLESS SHOWN OTHERWISE
 FOUND MONUMENTS SET BY MARSHALL MACKLIN MONAGHAN ONTARIO LIMITED
 UNLESS SHOWN OTHERWISE

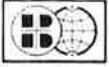
CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
 THE MEANING OF THE PLANNING ACT.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 1 THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
 ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
 2 THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY 1994.

DATE JUNE 13, 1994

David A. Black
 DAVID A. BLACK
 ONTARIO LAND SURVEYOR

 J.D. BARNES LIMITED	SURVEYING MAPPING LAND INFORMATION SERVICES	
	OFFICE OF ORIGIN 450 BRITANNIA ROAD EAST, SUITE 450B MISSISSAUGA, ONTARIO L4Z 1X9 TELEPHONE (905) 507-6767 FAX (905) 507-6977	
DRAWN BY <u>W.J.</u>	CHECKED BY <u>DB</u>	REFERENCE NO.: 94-28-9B6-00-A

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
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LANDSCAPE

ENTRANCE & EGRESS

NOTE: EXISTING GRADE REMAINS AS IS

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NEW BELOW GRADE SIDE YARD ENTRANCE AREA UNDER MINOR VARIANCE APPLICATION.

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PROPERTY LINE 1'-9" (0.53M)

PROPERTY LINE 5'-0" (1.52M)

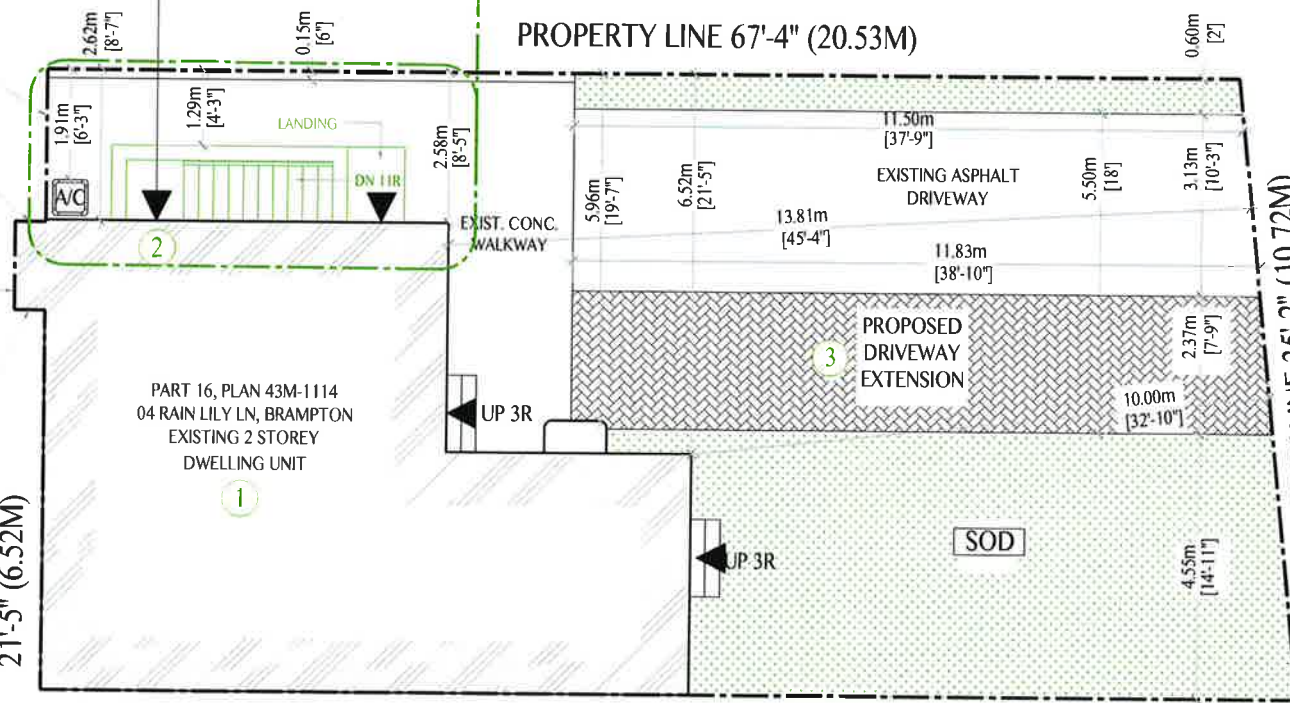
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PROPERTY LINE 35'-2" (10.72M)
RAIN LILY LANE



SCOPE OF WORK

- ① BASEMENT APPARTMENT
- ② NEW BELOW GRADE SIDE YARD ENTRANCE
- ③ DRIVEWAY EXTENSION

AREA STATISTICS FOR SECONDARY UNIT

GROSS FLOOR AREA CALCULATIONS

A -	EXISTING MAIN FLOOR AREA	: 806.68 SFT / 74.97 M ²
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BASEMENT APPARTMENT GFA IS 43.34 % OF PRINCIPAL RESIDENCE GFA

AREA STATISTICS FOR DRIVEWAY EXTENSION

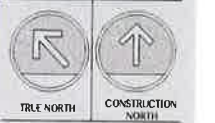
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THE USER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE STARTING OF ANY WORK. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DRAWINGS.

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00	2023.01.05	Schematic Design
01	2023.01.25	Permit Application

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SHAFE
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Permit Drawings | Construction | Project Management | Developments
126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0X9
t: 647.471.7441
e: info@shafeinc.com
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Seal

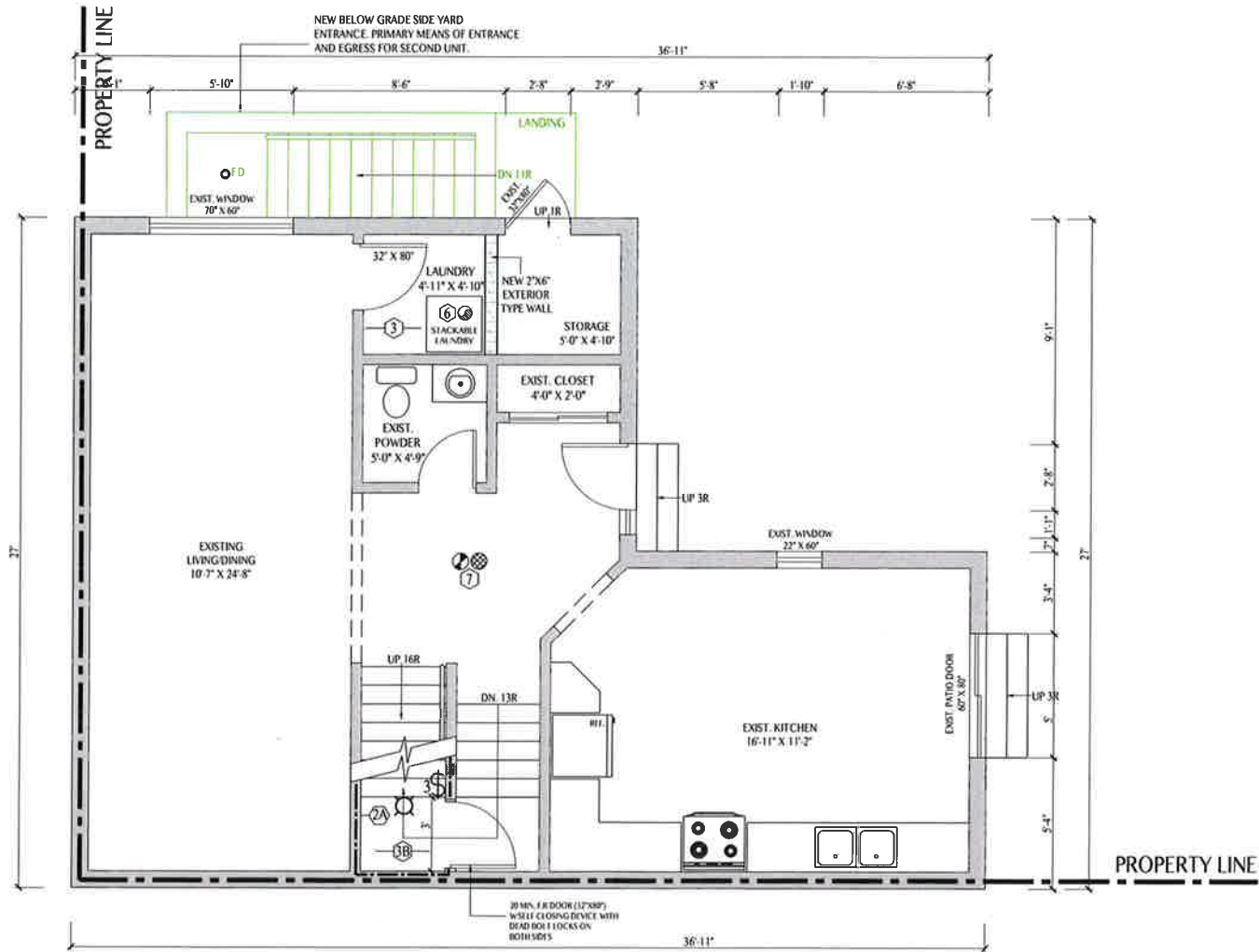
Project Title :
BASEMENT APPARTMENT
Project Address :
04 Rain Lily Ln, Brampton
Drawing title:

SITE PLAN

Project:
22-240
Scale:
1/8" = 1'-0"
Drawn: AH
Checked: SV
Drawing number:

A-01

Date Modified
MAY 22, 2023



LEGEND :

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

PROPOSED MAIN FLOOR PLAN

GROSS FLOOR AREA CALCULATIONS

TOTAL BASEMENT GFA = 806.68 SFT / 74.94 M²
 CEILING HEIGHT = 9'-0"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON COMMENCEMENT OF WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR.
2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

No.	Date	Revision/Issued
00	2023.01.01	Schematic Design
01	2023.01.25	Permit Application

Consultants

SHAFE

BUILDING FOR FUTURE

Permit Drawings | Construction | Project Management | Developments

126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0X9
 Tel: 647.471.7441
 e: info@shafeinc.com
 www.shafeinc.com

Seal

Project Title:
BASEMENT APARTMENT

Project Address:
04 Rain Lily Ln, Brampton

Drawing title:
PROPOSED MAIN FLOOR PLAN

Project:
22-240

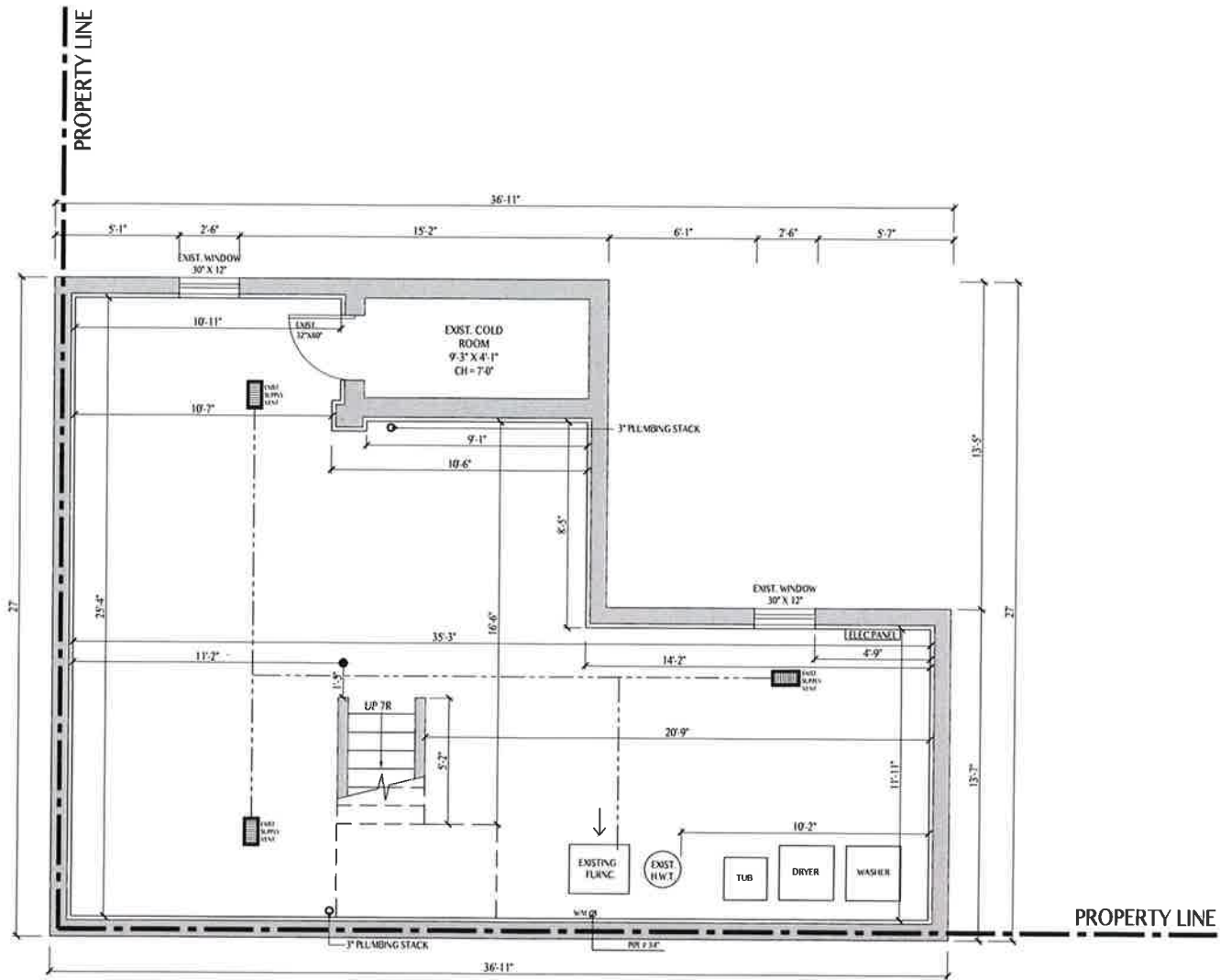
Scale:
3/16" = 1'-0"

Drawn: **AH** | Checked: **SV**

Drawing number:
A-02

Date Modified
MAY 22, 2023

11x17



LEGEND :

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

EXISTING - BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS

TOTAL BASEMENT GFA = 806.68 SFT / 74.94 M²
 CEILING HEIGHT = 7'-8"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND ALL NECESSARY REGULATORY AGENCIES.
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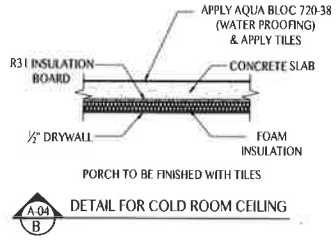
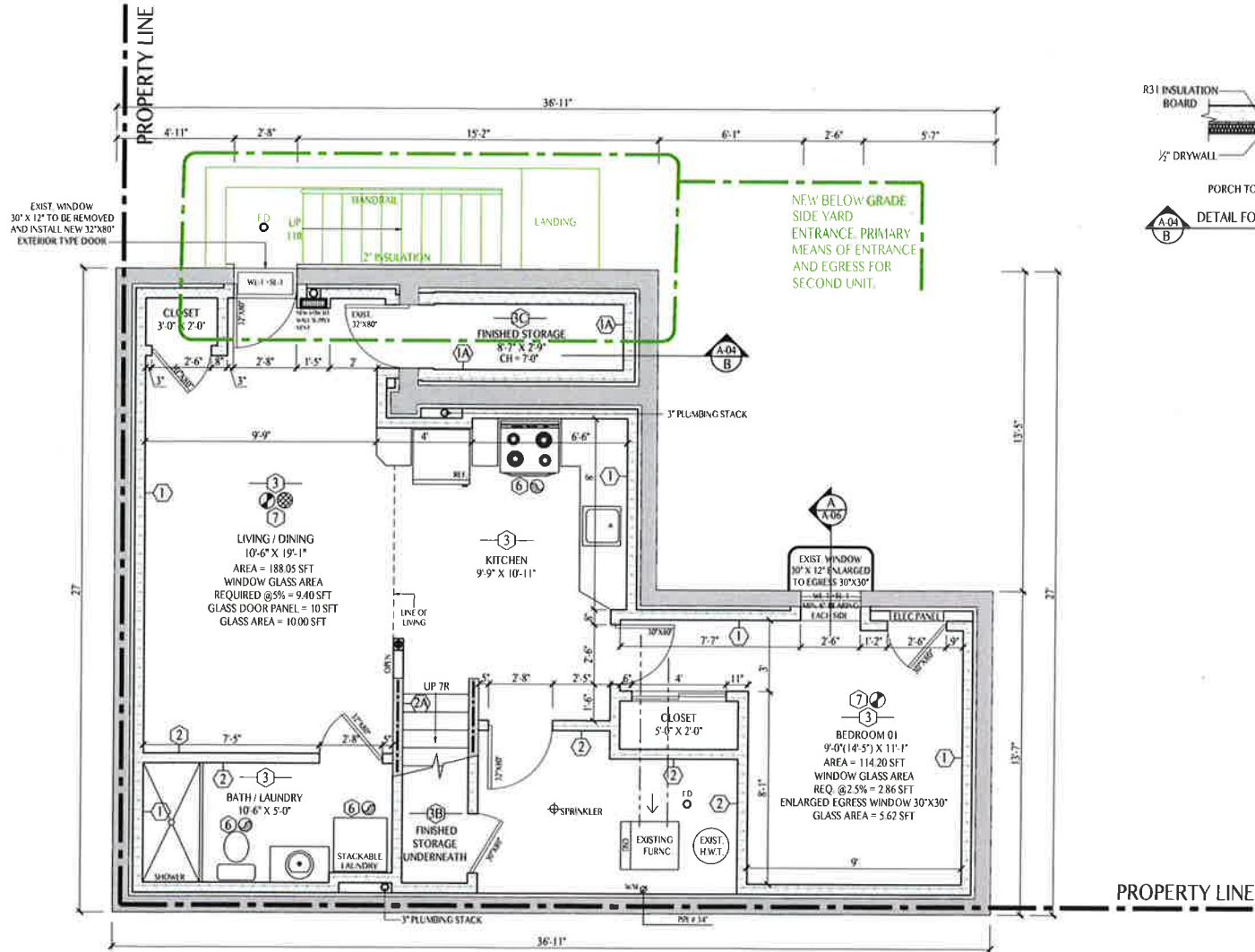
No	Date	Revision/Issued
01	2023.01.05	Schematic Design
02	2023.01.25	Permit Application

Consultants
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 Developments
 126 Burnhamthorpe Rd. East |
 Unit A | Oakville | ON | L6H 0X9
 Tel: 647.471.7441
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 www.shafenc.com

Seal

Project Title :
BASEMENT APARTMENT
 Project Address :
04 Rain Lily Ln, Brampton
 Drawing title:
EXISTING BASEMENT PLAN
 Project:
22-240
 Scale:
 $\frac{3}{16}'' = 1'-0''$
 Drawn AH Checked SV
 Drawing number:
A-03
 Date Modified
MAY 22, 2023

11X17



GENERAL NOTES:

- CONTRACTOR SHALL VERIFY THE PROPERTY OF WHAT IS SHOWN ON THESE PLANS. DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF SHAFI INC. AND NOT BE LOANED, REPRODUCED, COPIED OR OTHERWISE COMED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE OWNER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY WORK AT SITE. WORK NOT SPECIFICALLY IDENTIFIED IN THESE DRAWINGS SHALL BE EXCLUDED TO THE SAME QUALITY & SHALL BE SUBJECT TO THE LOCAL GOVERNMENT'S REGULATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CANADIAN NATIONAL BUILDING CODE & RESPECTIVE CITY ZONING BY LAWS AND STANDARDS.
- WHEREVER DIMENSIONS AND SPECIFIC VALUES SHALL BE SHOWN, THE CONTRACTOR SHALL VERIFY THE INFORMATION PROVIDED BY THE MANUFACTURER'S LITERATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT BEFORE STARTING ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT BEFORE STARTING ANY WORK.

REVISIONS:

No	Date	Revision/Issued
00	2023.04.07	Schematic Design
01	2023.04.27	Permit Application

Consultants
SHAFI INC.
BUILDING FOR FUTURE
Permit Drawings | Construction | Project Management | Developments
126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0X9
T: 647.471.7441
E: info@shafinc.com
WWW.SHAFINC.COM

Project Title:
BASEMENT APARTMENT
Project Address:
04 Rain Lily Ln, Brampton
Drawing title:
PROPOSED BASEMENT PLAN
Project:
22-240
Scale:
3/16" = 1'-0"
Drawn:
AH
Checked:
SV
Drawing number:
A-04
Date Modified:
MAY 22, 2023

- LEGEND :**
- EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS REFER TO G-01 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING COLUMNS

PROPOSED - BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS

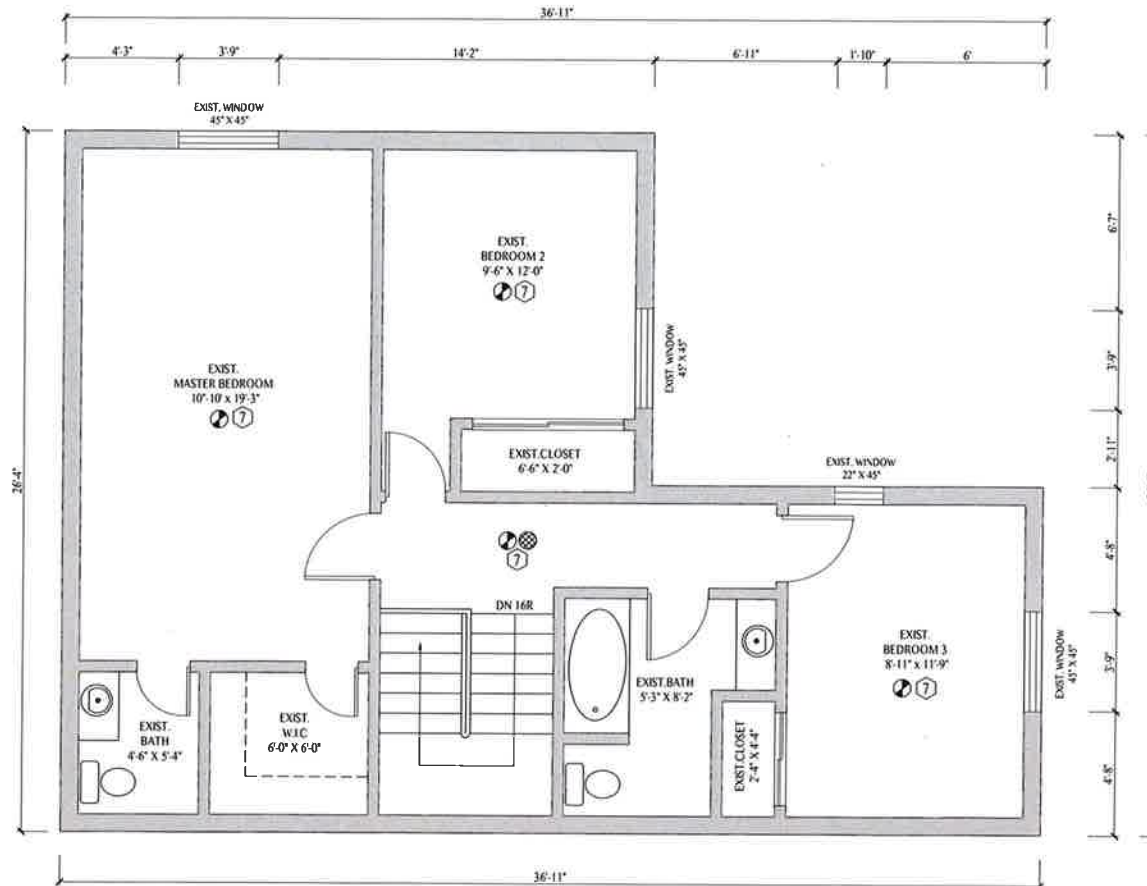
A- BASEMENT NEW AREA GFA = 699.34 SFT / 64.97 M²
B- UTILITY NAD FURNACE AREA = 107.34 SFT / 9.97 M²

TOTAL BASEMENT GFA = 806.68 SFT / 74.94 M²
CEILING HEIGHT = 7-8"






PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

11x17



LEGEND :


-  EXISTING WALLS
-  NEW WALLS
-  FIRE RATED WALLS REFER TO G-01 FOR DETAILS
-  EXISTING TO BE REMOVED
-  EXISTING COLUMNS

SECOND FLOOR PLAN

(FOR REFERENCE ONLY)

GROSS FLOOR AREA = 806.68 SFT / 74.94 M²
 CEILING HEIGHT = 8'-0"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON COMMENCEMENT OF WORK.
- THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE REGULATIONS.
- CLIENT OBTAINS BUILDING CODE & REVIEWS THE CITY'S ZONING BY-LAW AND REGULATIONS.

No	Date	Revision/Issued
00	2023/01/05	Schematic Design
01	2023/01/25	Permit Application

Consultants
SHAFE
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 Permit Drawings | Construction |
 Project Management |
 Developments
 126 Burrimthorpe Rd. East |
 Unit A | Oakville | ON | L6H 0X9
 Tel: 647-471-7444
 Email: info@shafenc.com
 www.shafenc.com

Seal

Project Title :
BASEMENT APARTMENT

Project Address :
04 Rain Lily Ln, Brampton

Drawing title:
SECOND FLOOR PLAN

Project:
22-240

Scale:
 $\frac{3}{16}'' = 1'-0''$

Drawn AH	Checked SV
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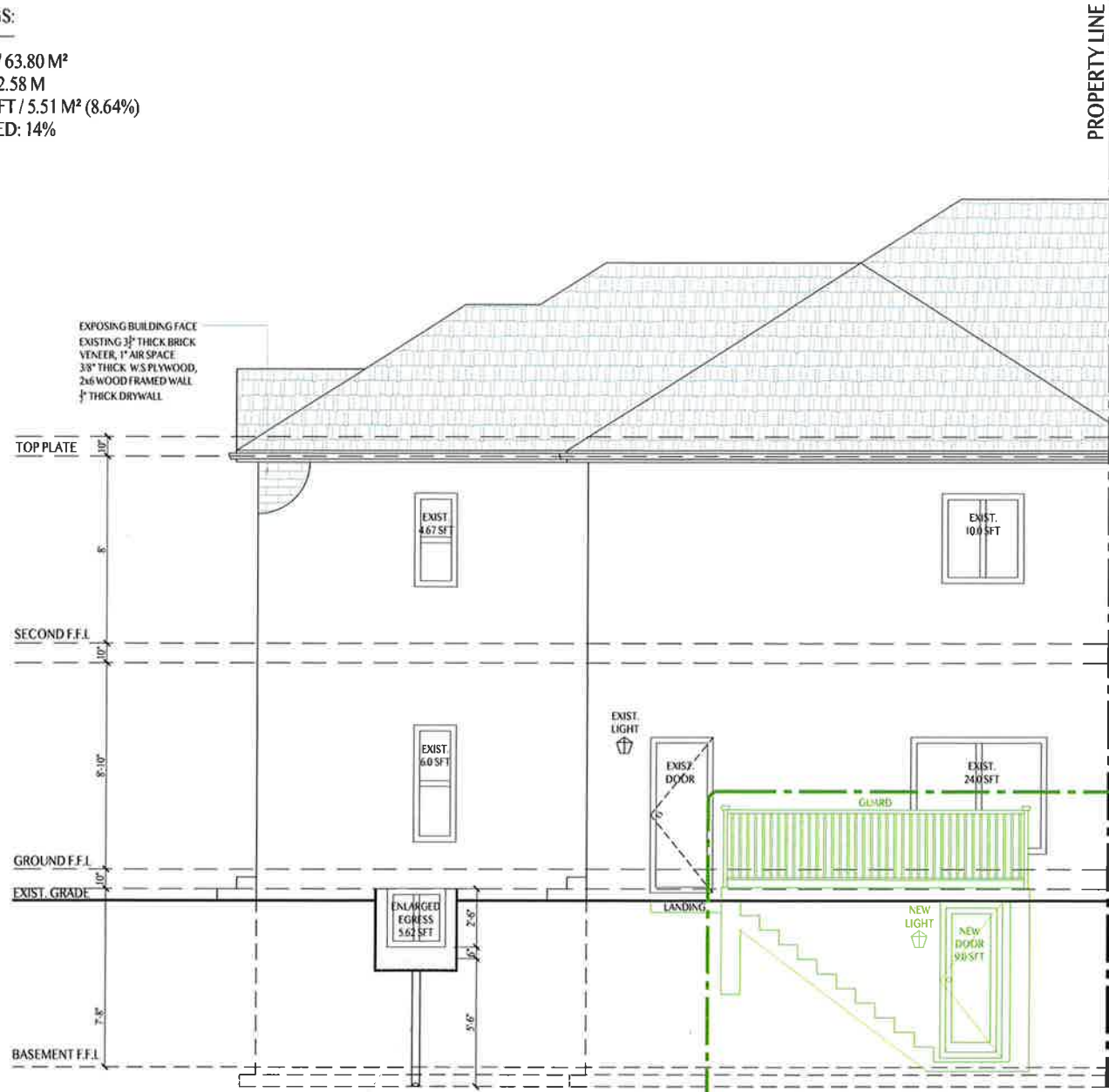
Drawing number:

A-05

Date Modified
 MAY 22, 2023

GLAZED OPENINGS:

WALL AREA: = 686.49 SFT / 63.80 M²
 LIMITING DISTANCE: 2.58 M
 WINDOW AREA PROVIDED: 59.29 SFT / 5.51 M² (8.64%)
 WINDOW AREA ALLOWED: 14%



EXPOSING BUILDING FACE
 EXISTING 3/4" THICK BRICK
 VENEER, 1" AIR SPACE,
 3/8" THICK W/S PLYWOOD,
 2x6 WOOD FRAMED WALL
 1/2" THICK DRYWALL

TOP PLATE

SECOND F.F.L.

GROUND F.F.L.

EXIST. GRADE

BASEMENT F.F.L.

PERFORATED PIPE IN THE GRAVEL BED
 GRAVEL BED TO EXTEND 24" FROM
 FACE OF THE WALL. DAMP PROOF THE
 FACE OF THE FOUND WALL NEXT TO
 WINDOW WELL AND TO THE TOP OF
 THE GRAVEL BED. THE WELL SHALL BE 6"
 ABOVE SURROUNDING GRADE.

NORTH ELEVATION

PROPERTY LINE

**NEW BELOW GRADE SIDE YARD
 ENTRANCE.**

GENERAL NOTES:

1. EXISTING BUILDING FACE TO BE EXPOSED TO THE EXISTING GRAVEL BED AND TO THE EXISTING GRAVEL BED. THE EXISTING GRAVEL BED SHALL BE DAMP PROOFED TO THE EXISTING GRAVEL BED. THE EXISTING GRAVEL BED SHALL BE DAMP PROOFED TO THE EXISTING GRAVEL BED.
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No.	Date	Revision/Issued
01	2023.01.05	Schematic Design
02	2023.02.23	Rev. Application

Consultants
SHAFI
 BUILDING FOR FUTURE
 Permit Drawings | Construction |
 Project Management |
 Developments
 126 Burnhamthorpe Rd. East |
 Unit A | Oakville | ON | L6H 0X9
 m: 647.471.7441
 e: info@shafinc.com
 www.shafinc.com

Seal

Project Title:
**FINISHED
 BASEMENT**

Project Address:
 04 Rain Lily Ln,
 Brampton

Drawing title:
**NORTH
 ELEVATION**

Project:
 22-240

Scale:
 3/16" = 1'-0"

Drawn: AK
 Checked: YK

Drawing number:
A-05

Date Modified:
 FEB 25, 2023

11x17

AMENDMENT LETTER

March 14, 2023

To: Committee of Adjustment

**RE: PARTH SHAH AND HINAL PARTH SHAH
PART OF LOT 65, PLAN M-1114
PART 16, PLAN 43R-20429
A-2023-0051 – 4 RAIN LILY LANE**

Please amend application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).

Galvan

DATED: Mar 15, 2023.

Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
 (Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** PARTH SHAH & HINAL PARTH SHAH
Address 04 RAIN LILY LANE, BRAMPTON, ON L6R 1S2

Phone # +1.647.717.8136 **Fax #** _____
Email shahparthk1989@gmail.com

2. **Name of Agent** Salman Ellahi
Address 126 BURNHAMTHORPE ROAD EAST, OAKVILLE, L6H 0X9

Phone # 647 471 7441 **Fax #** _____
Email salman@shafeinc.com

3. **Nature and extent of relief applied for (variances requested):**
To create a below grade entrance in right side yard where set back of 1.8 required as per by law. we have only 1.2 m set back.

4. **Why is it not possible to comply with the provisions of the by-law?**
In current zoning by laws below grade side yard is allowed with 1.8M set back. we have only 1.29 m set back.

5. **Legal Description of the subject land:**
Lot Number 65
Plan Number/Concession Number 43M - 1114 RP 43R20429 PART 16
Municipal Address 04 RAIN LILY LANE, BRAMPTON, ON L6R 1S2

6. **Dimension of subject land (in metric units)**
Frontage 10.72 M
Depth 21.65 M & 20.53
Area 225.64 SM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 Storey quattroplex Dwelling unit
Basement Area: 54.43 SM
Main Floor Area: 74.97 SM
Second Floor Area: 74.97 SM
Total for Floors Above Grade: 149.94 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- single-Unit Dwelling Unit quattroplex
- below grade side yard entrance. entrance and exit for a finished basement.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.0 M
Rear yard setback N/A
Side yard setback N/A (left side)
Side yard setback 2.58 (right side)

PROPOSED

Front yard setback No Change in setback.
Rear yard setback No Change
Side yard setback No Change (left side)
Side yard setback 1.29 (right side)

10. Date of Acquisition of subject land: year 2017

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1994

15. Length of time the existing uses of the subject property have been continued: 29 year

16. (a) What water supply is existing/proposed?

Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?

Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?

Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 26 DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Salman Ellahi, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 28TH DAY OF
February, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

jm.

Salman Ellahi

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

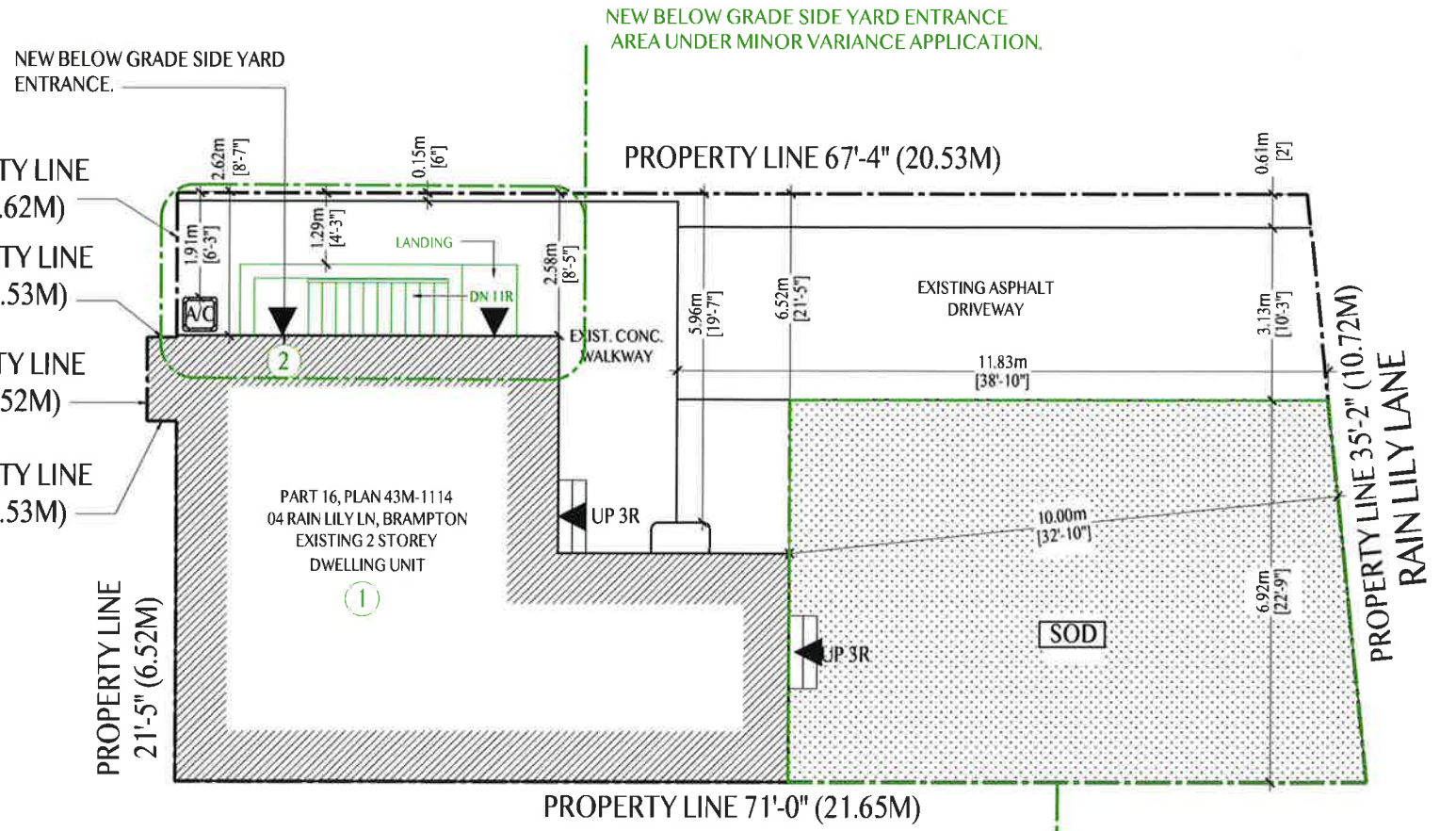
Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED February 28, 2023



NEW BELOW GRADE SIDE YARD ENTRANCE AREA UNDER MINOR VARIANCE APPLICATION.

NEW BELOW GRADE SIDE YARD ENTRANCE.

AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A-	EXISTING MAIN FLOOR AREA	: 806.68 SFT / 74.97 M ²
	EXISTING SECOND FLOOR AREA	: 806.68 SFT / 74.97 M ²
	TOTAL GFA	: 1,613.36 SFT / 149.94 M ²
B-	EXISTING BASEMENT	
	BASEMENT FINISHED AREA GFA	: 628.74 SFT / 58.43 M ²
	BASEMENT UNFINISHED AREA GFA	: 00.00 SFT / 00.00 M ²
	TOTAL GFA	: 628.74 SFT / 58.43 M ²

SCOPE OF WORK

- ① FINISHED BASEMENT
- ② NEW BELOW GRADE SIDE YARD ENTRANCE

▲ ENTRANCE & EGRESS

NOTE: EXISTING GRADE REMAINS AS IS

GENERAL NOTES

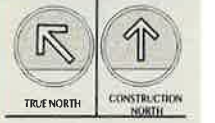
• COPYRIGHT REMAINS THE PROPERTY OF SHAFE INC. THESE PLANS BEING AND ARCHITECTURAL CONCEPT BE REMAIN THE PROPERTY OF SHAFE INC. AND SHALL NOT BE LENT, REPRODUCED, COPIED, REPRODUCED, COPIED, OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

• THE DESIGNER SHALL VERIFY THAT THE CONDITIONS AND CONSTRAINTS WITH THE INFORMATION PROVIDED IN THESE PLANS BEFORE THE START OF ANY WORK. THE DESIGNER SHALL SPECIFICALLY DETAIL ALL ITEMS THAT ARE NOT SPECIFICALLY DETAILED IN THESE PLANS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, PROVINCIAL AND FEDERAL AUTHORITIES.

• WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSIDERED FOR THE CLARIFICATION OF THE SITE CONSTRUCTION DRAWINGS. IF DIMENSIONS ARE FOUND IN THE PLANS OR NOTES, ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER THE DIMENSIONS NOTED IN THE PLANS OR NOTES. CONTRACTORS SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ALL DIMENSIONS ETC. CONTRACTORS SHALL ONLY COMMENCE WORK AFTER OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL RESPECTIVE AUTHORITIES.

No	Date	Revision/Issued
00	2023-01-09	Schematic Design
01	2023-02-21	As-Built Application

Consultants
SHAFE
 BUILDING FOR FUTURE
 Permit Drawings | Construction |
 Project Management |
 Developments
 126 Burnhamthorpe Rd East |
 Unit A | Oakville | ON | L6H 0X9
 m: 647.471.7441
 e: info@shafeinc.com
 www.shafeinc.com



Seal

Project Title:
FINISHED BASEMENT

Project Address:
 04 Rain Lily Ln,
 Brampton

Drawing title:

SITE PLAN

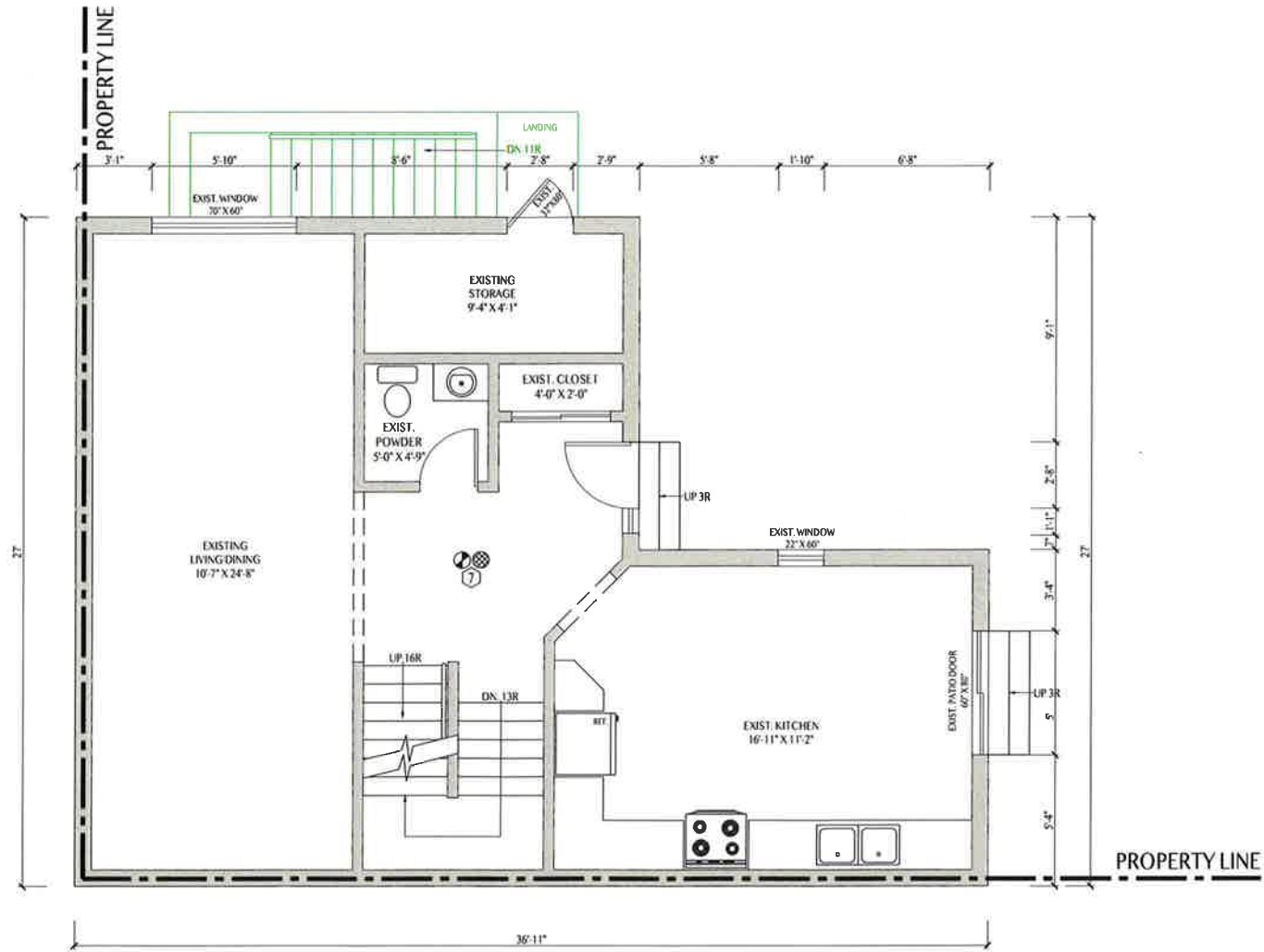
Project:
 22-240

Scale:
 1/8" = 1'-0"

Drawn AK	Checked YK
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Drawing number:

A-01
 Date Modified
 FEB 25, 2023



LEGEND:

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

MAIN FLOOR PLAN

(FOR REFERENCE ONLY)

GROSS FLOOR AREA = 812.16 SFT / 75.47 M²
 CEILING HEIGHT = 8'-10"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES:

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No	Date	Revision/Issued
00	2023/01/05	Schematic Design
01	2023/02/25	REV. Application

Consultants
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 Permit Drawings | Construction | Project Management | Developments
 126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0N9
 t: 647.471.7441
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Seal

Project Title:
FINISHED BASEMENT

Project Address:
 04 Rain Lily Ln, Brampton

Drawing title:
MAIN FLOOR PLAN

Project:
 22-240

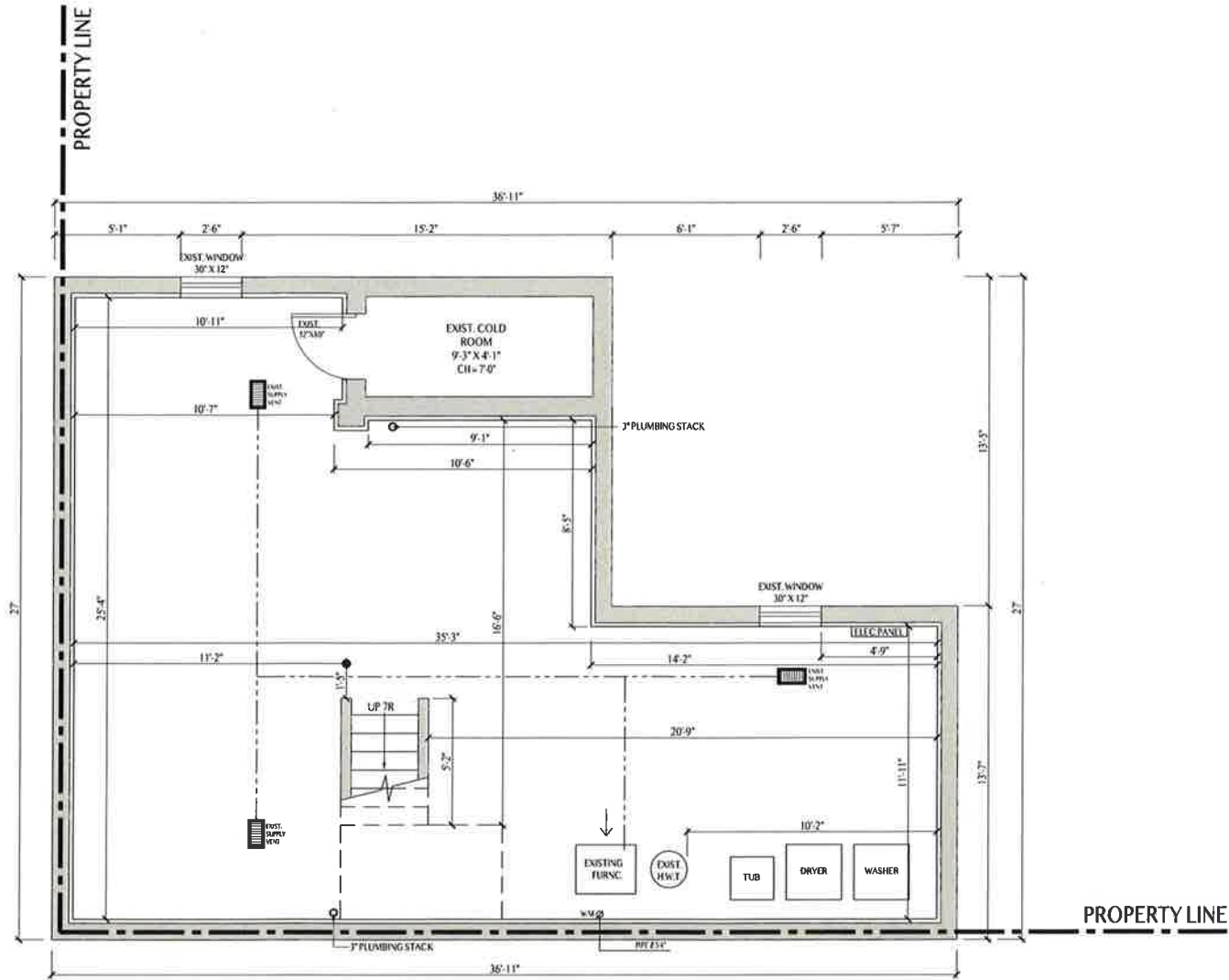
Scale:
 3/16" = 1'-0"

Drawn: AK
 Checked: YK

Drawing number:
A-02

Date Modified:
 FEB 25, 2023

11x17



LEGEND:

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

EXISTING - BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS
 A- BASEMENT FINISHED AREA GFA = 0.0 SFT / 0.0 M²
 B- BASEMENT UNFINISHED AREA GFA = 651.23 SFT / 60.52 M²
 TOTAL BASEMENT GFA = 651.23 SFT / 60.52 M²
 CEILING HEIGHT = 7'-8"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY THE PROJECT'S LOCATION AND EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL.
3. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL COUNCIL.

No	Date	Revision/Issued
00	2023.01.05	Schematic Design
01	2023.02.23	Rev. Application

Consultants
SHAFE
 BUILDING FOR FUTURE
 Permit Drawings | Construction
 Project Management
 Developments
 126 Burnhamthorpe Rd. East,
 Unit A | Oakville, ON L6H 0X9
 m: 647.471.7441
 e: info@shafeinc.com
 www.shafeinc.com

Seal:

Project Title:
FINISHED BASEMENT

Project Address:
 04 Rain Lily Ln,
 Brampton

Drawing title:
EXISTING BASEMENT PLAN

Project:
 22-240

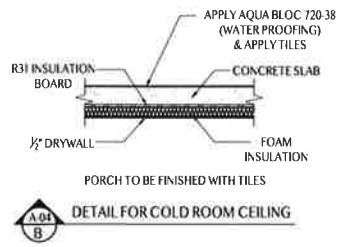
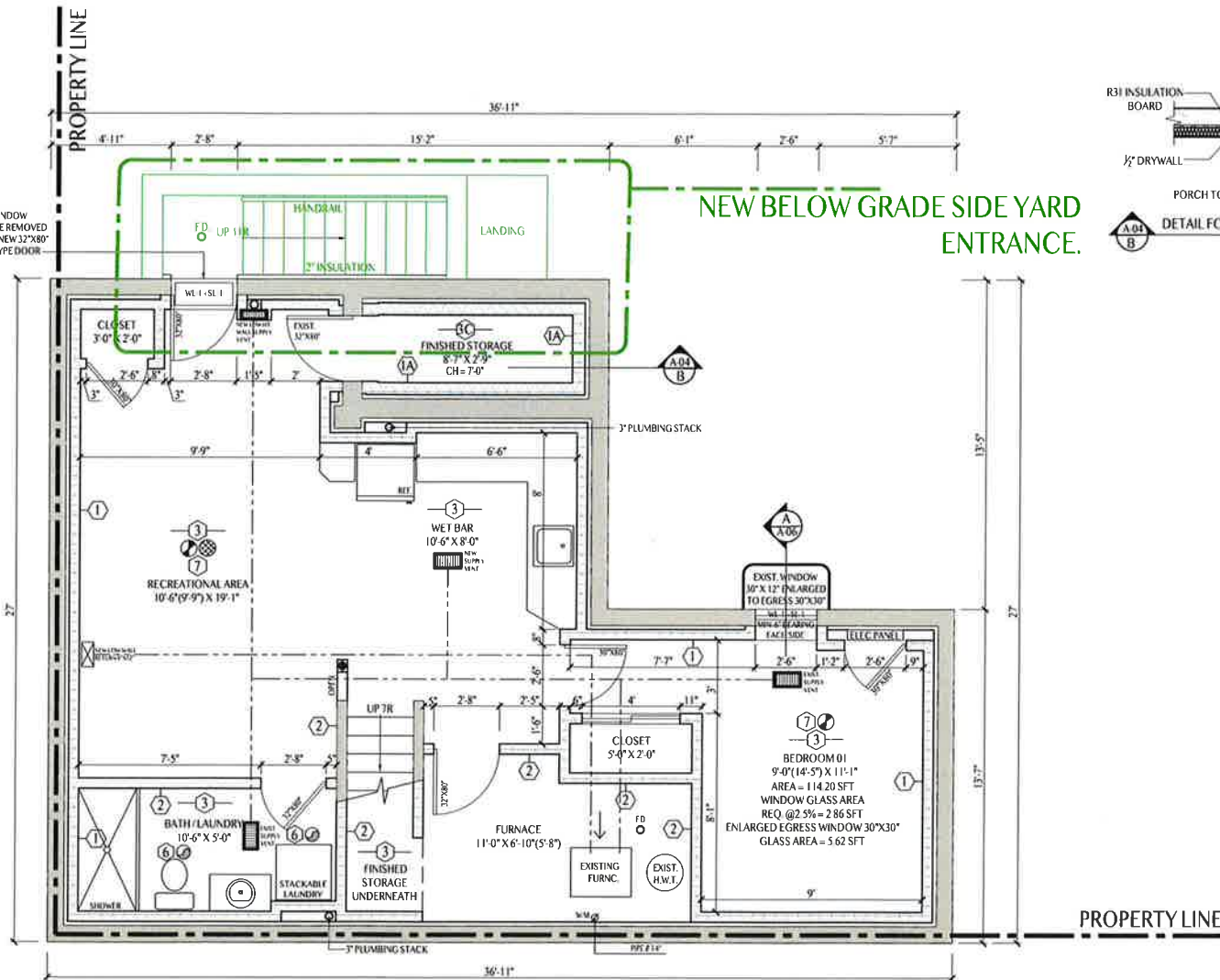
Scale:
 $\frac{3}{16}'' = 1'-0''$

Drawn AK	Checked YK
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Drawing number:
A-03

Date Modified
 FEB 25, 2023

11x17



- LEGEND:**
- EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS REFER TO G-01 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING COLUMNS

PROPOSED - BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS

A - BASEMENT FINISHED AREA GFA = 628.74 SFT / 58.43 M²

B - BASEMENT UNFINISHED AREA GFA = 00.00 SFT / 00.00 M²

TOTAL BASEMENT GFA = 628.74 SFT / 58.43 M²

CEILING HEIGHT = 7'-8"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES

- 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF THE PROVINCE OF ONTARIO AND THE REGULATIONS THEREUNDER.
- 2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

No.	Date	Revision/Issued
00	2023-01-05	Schematic Design
01	2023-02-23	AMV Application

Consultants
SHAFE
 BUILDING FOR FUTURE
 Permit Drawings | Construction | Project Management | Developments
 126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0X9
 m: 647.471.7441
 e: info@shafeinc.com
 www.shafeinc.com

Seal

Project Title:
FINISHED BASEMENT

Project Address:
 04 Rain Lily Ln,
 Brampton

Drawing Title:
PROPOSED BASEMENT PLAN

Project:
 22-240

Scale:
 3/16" = 1'-0"

Drawn AK	Checked YK
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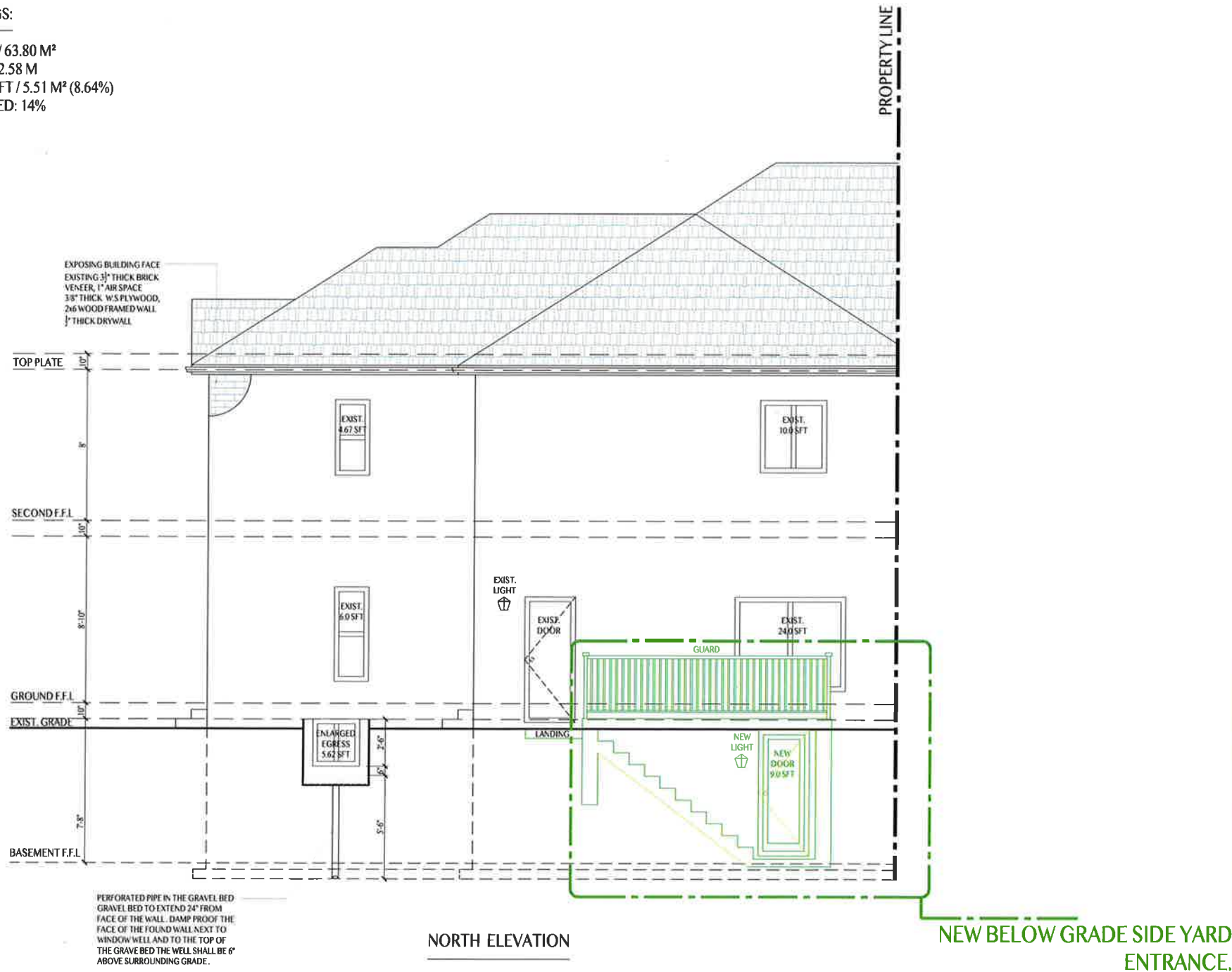
Drawing number:
A-04

Date Modified
 FEB 25, 2023

11x17

GLAZED OPENINGS:

WALL AREA: = 686.49 SFT / 63.80 M²
 LIMITING DISTANCE: 2.58 M
 WINDOW AREA PROVIDED: 59.29 SFT / 5.51 M² (8.64%)
 WINDOW AREA ALLOWED: 14%



GENERAL NOTES:

1. CONVEYANCE OF THE PROPERTY OF SHAFTE INC. TO THE PLANNING BOARD AND THE CITY OF OAKVILLE AND THE COUNTY OF DUNELM, ONTARIO, IS SUBJECT TO THE APPROVAL OF THE BOARD AND THE CITY OF OAKVILLE AND THE COUNTY OF DUNELM, ONTARIO.
2. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ZONING BY-LAW AND THE BUILDING CODE OF ONTARIO AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
3. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ZONING BY-LAW AND THE BUILDING CODE OF ONTARIO AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
4. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ZONING BY-LAW AND THE BUILDING CODE OF ONTARIO AND ALL APPLICABLE REGULATIONS AND ORDINANCES.

No	Date	Revision/Issued
00	2021.01.01	Schematic Design
01	2021.02.25	App: Application

Consultants
SHAFTE
 BUILDING FOR FUTURE
 Permit Drawings | Construction |
 Project Management |
 Developments
 126 Burnhamthorpe Rd. East |
 Unit A | Oakville | ON | L6H 0X9
 m: 647.471.7441
 e: info@shafteinc.com
 www.shafteinc.com

Scale

Project Title:
**FINISHED
 BASEMENT**
 Project Address:
 04 Rain Lily Ln,
 Brampton
 Drawing title:
**NORTH
 ELEVATION**

Project:
 22-240

Scale:
 3/16" = 1'-0"

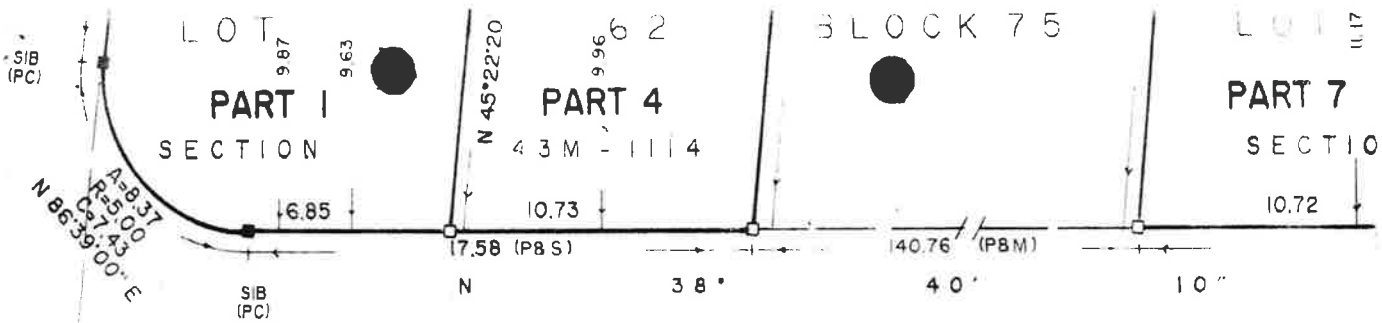
Drawn
 AK

Checked
 YK

Drawing number:

A-05

Date Modified:
 FEB 25, 2023



BISON RUN ROAD
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION



RAIN LILY LANE
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION 43M-111

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

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SURVEYOR'S COPY

PLAN 43R-20429

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED

DATE JUNE 15, 1994

DATE June 15, 1994

David Black

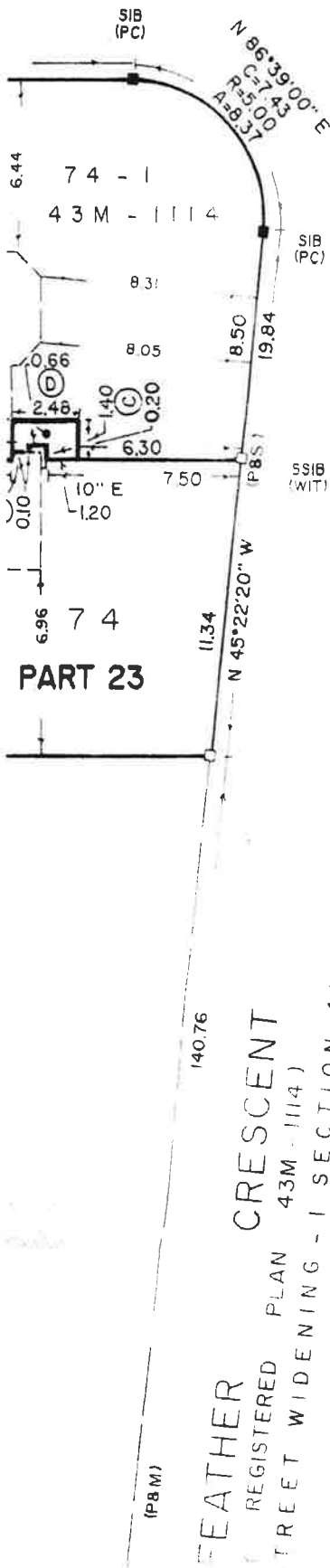
DAVID A. BLACK
ONTARIO LAND SURVEYOR

Mark Chyde
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
PEEL (N° 43)

PARTS 1,2,3,4,25 AND 26	- ALL OF PARCEL 62 - I SECTION 43M - 1114
PARTS 5,6,7,8,27 AND 28	- ALL OF PARCEL 63 - I SECTION 43M - 1114
PARTS 9,10,11,12,29 AND 30	- ALL OF PARCEL 64 - I SECTION 43M - 1114
PARTS 13,14,15,16,31 AND 32	- ALL OF PARCEL 65 - I SECTION 43M - 1114
PARTS 17,18,19,20,33 AND 34	- ALL OF PARCEL 73 - I SECTION 43M - 1114
PARTS 21,22,23,24,35 AND 36	- ALL OF PARCEL 74 - I SECTION 43M - 1114

DESCRIBED
SECTION 43M - 1114

65-92



PLAN OF SURVEY OF
LOTS 62,63,64,65,73 AND 74
REGISTERED PLAN 43M - 1114
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 250
5m 0 5 10 15m

J. D. BARNES LIMITED
1994

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MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

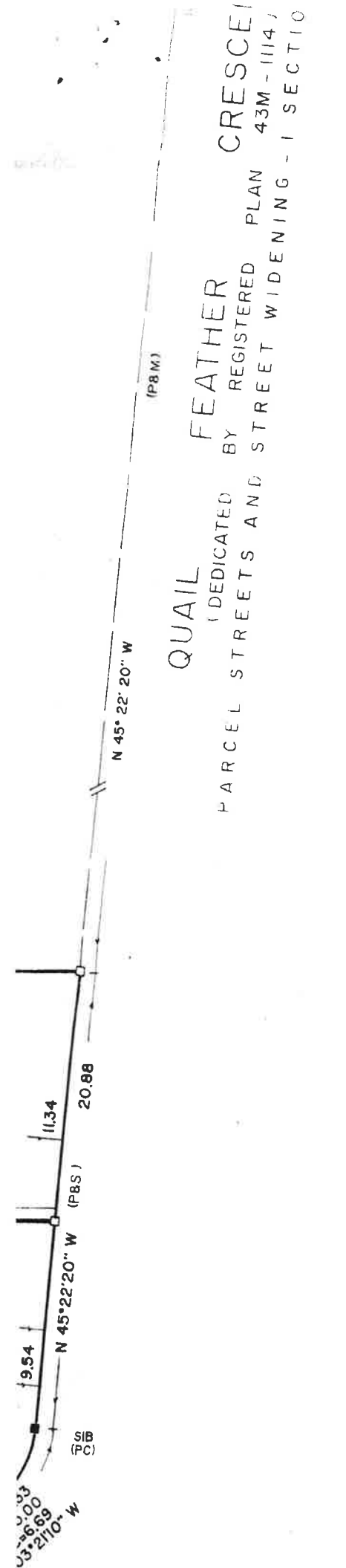
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METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF POPPY BLOOM AVENUE AS SHOWN ON REGISTERED PLAN 43M - 1114, HAVING A BEARING OF N 45° 22' 20" W.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FACE OF FOUNDATION WALL
- C DENOTES CENTRELINE OF FOUNDATION WALL



QUAIL FEATHER CRESCEI
 PARCEL DEDICATED BY REGISTERED PLAN 43M-1114
 STREETS AND STREET WIDENING - I SECTION
 (PBM)

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
 THEASTERLY LIMIT OF POPPY BLOOM AS SHOWN ON
 REGISTERED PLAN 43M - 1114, HAVING A BEARING OF N 45° 22' 20" W.

■	DENOTES	SURVEY MONUMENT FOUND
D	DENOTES	SURVEY MONUMENT PLANTED
SIB	DENOTES	STANDARD IRON BAR
3B	DENOTES	IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
WIT	DENOTES	WITNESS
PC	DENOTES	POINT OF CURVATURE
DUC	DENOTES	DWELLING UNDER CONSTRUCTION
F	DENOTES	FACE OF FOUNDATION WALL
C	DENOTES	CENTRELINE OF FOUNDATION WALL
CFW	DENOTES	CONCRETE FOUNDATION WALL
PBS	DENOTES	REGISTERED PLAN 43M - 1114 AND SET
PBM	DENOTES	REGISTERED PLAN 43M - 1114 AND MEASURED
○	DENOTES	BEARING

PLANTED MONUMENTS ARE IRON BARS UNLESS SHOWN OTHERWISE.
 FOUND MONUMENTS SET BY MARSHALL MACKLIN MONAGHAN ONTARIO LIMITED
 UNLESS SHOWN OTHERWISE.

CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
 THE MEANING OF THE PLANNING ACT.

SURVEYOR'S CERTIFICATE

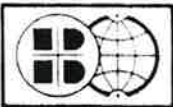
I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
2. THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY, 1994.

DATE JUNE 13, 1994

David A. Black

DAVID A. BLACK
 ONTARIO LAND SURVEYOR

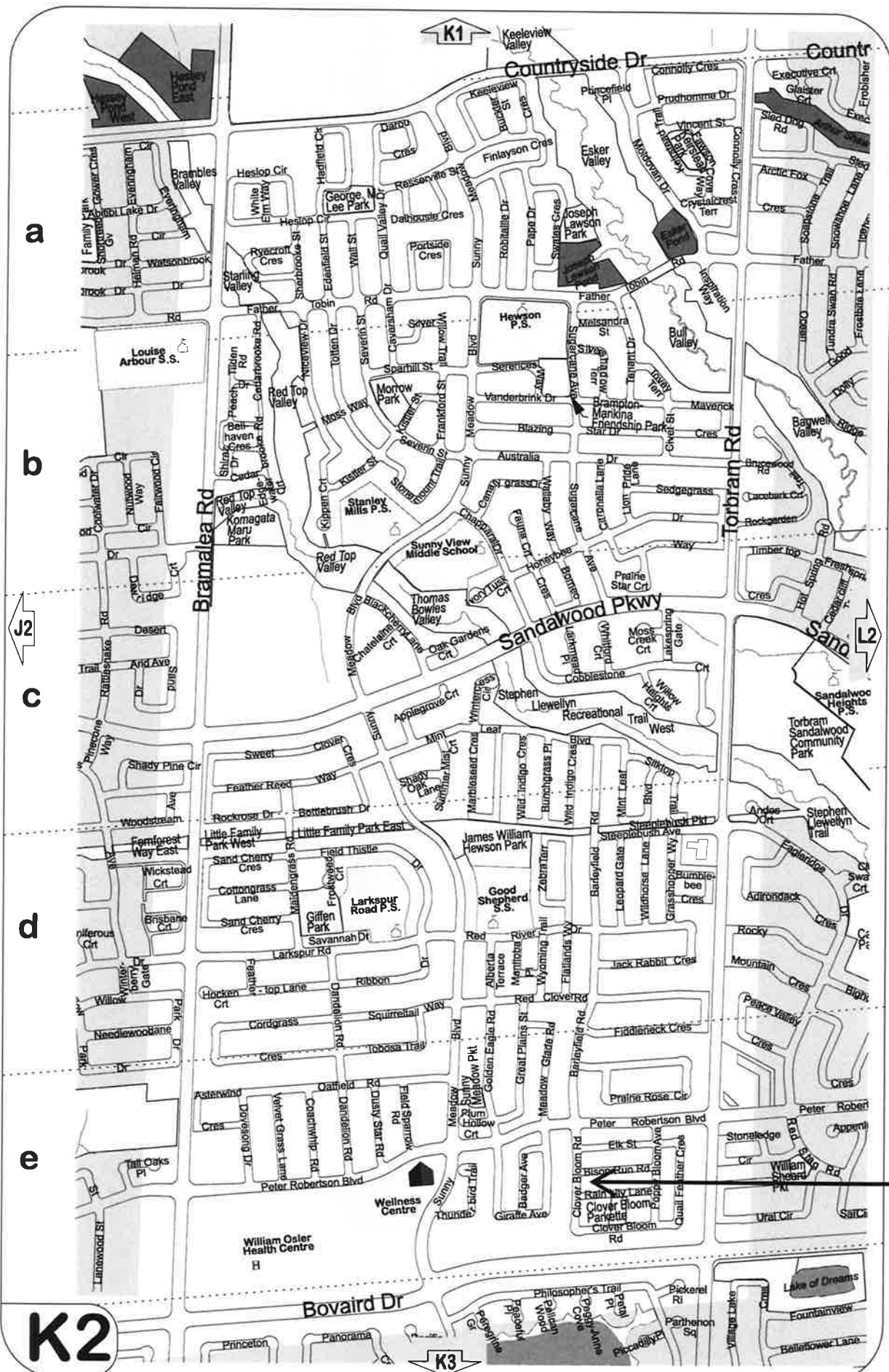
 J.D. BARNES LIMITED	SURVEYING MAPPING LAND INFORMATION SERVICES OFFICE OF ORIGIN 450 BRITANNIA ROAD EAST, SUITE 450B MISSISSAUGA, ONTARIO L4Z 1X9 TELEPHONE (905) 507 - 6767 FAX (905) 507-6977
--	--

DRAWN BY WJ	CHECKED BY DB	REFERENCE NO.: 94-28-986-00-A
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JDB-5

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a

b

c

d

e

K1

K3

K2