



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KIRANKUMAR PATEL AND PURVI PATEL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 116, Plan 43M-1931 municipally known as **10 DALKEITH COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a commercial school (tutoring classes for a maximum of seven students) as a home occupation whereas the by-law does not permit a home occupation where the occupation creates a nuisance.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number:
File Number:

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

KEY PLAN

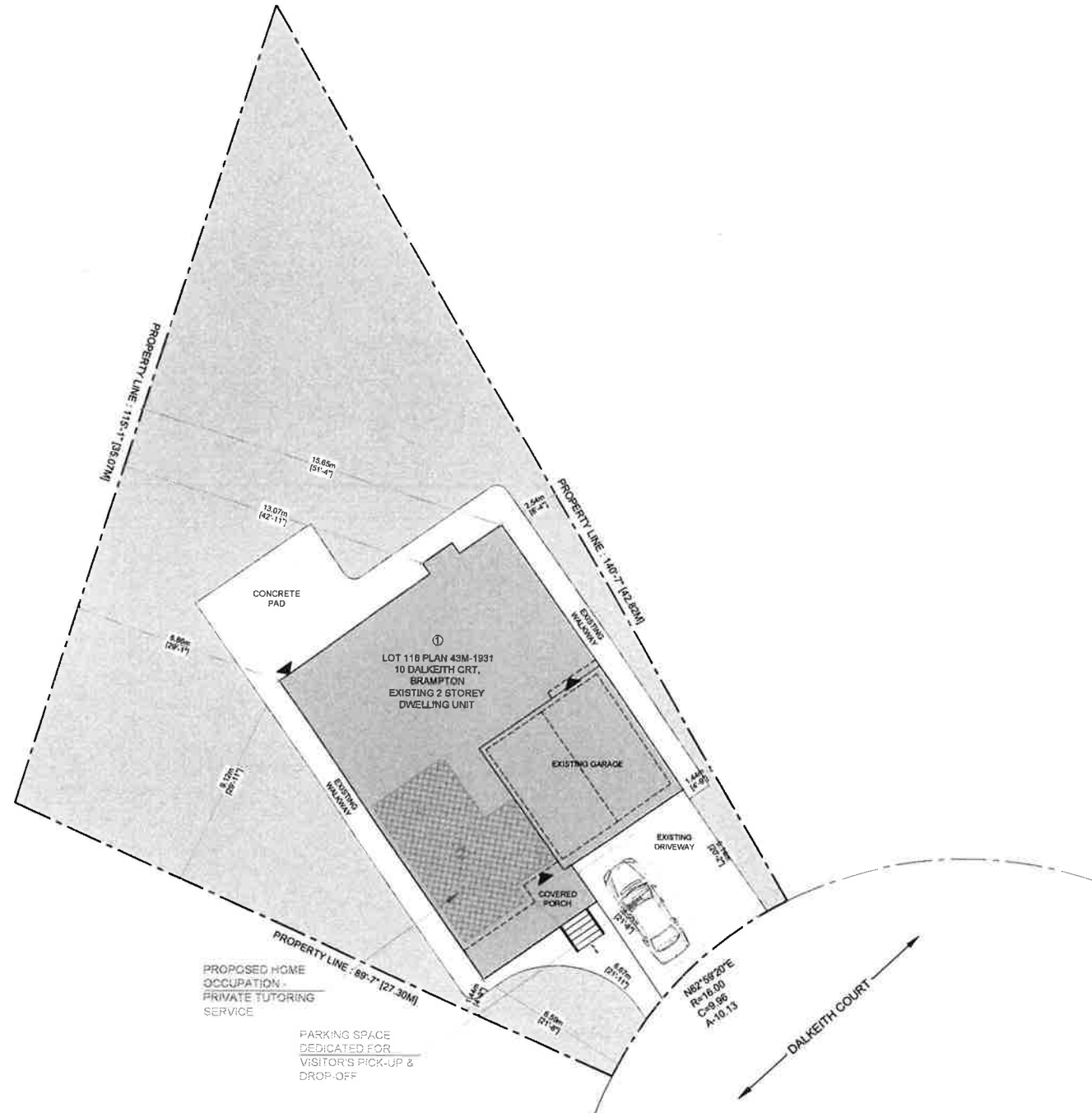


SCOPE OF WORK

- ① EXISTING SINGLE FAMILY DETACHED HOUSE
TOTAL GFA: 2775 SFT / 257.89 SM
- ② PROPOSED HOME OCCUPATION - PRIVATE TUTORING SERVICE
GFA: 304.87 SFT / 28.33 SM (10.98 %)
- ALLOWABLE AREA: 15%
- PARKING PROVIDED: YES
- OPERATED BY: OWNER OF THE HOUSE
- NO. OF EMPLOYEES: 0
- SIGNAGE POSTED: NONE
- CHANGES REQUIRED TO EXISTING DWELLING UNIT: NONE

LEGEND

- PROPERTY LINE
- ▲ ENTRANCE & EGRESS



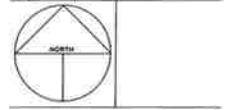
SITE PLAN

SCALE: 1/16" = 1'-0"

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES (IF ANY) TO THE CONSULTANTS BEFORE CONSTRUCTION
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK TO BE USED FOR CONSTRUCTION UNLESS WRITTEN BY THE ARCHITECT'S FIRM
IF THIS PROJECT IS NOT IN A REDUCED SCALE, THIS PROJECT IS NOT TO BE USED AS A REDUCED SCALE DRAWING. READ DRAWING ACCORDINGLY

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NO.	DATE	REVISION / ISSUED
01	2023.05.24	SCHEMATIC LAYOUT
02	2023.05.25	MV APPLICATION



OWNERS

KIRAN PATEL & PURVI PATEL

ARCHITECT



C-Architecture Ltd
10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com
SEAL



HOME OCCUPATION (MV APPL)

10 DALKEITH CRT,
BRAMPTON

SITE PLAN

SCALE: 1/16" = 1'-0"

DATE: 2023.05.02

PROJECT: 23-048

DRAWING NO:

A-001

REVISION: 00

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

May 16, 2023

To

Chairman and Members - Committee of Adjustment

City of Brampton

2 Wellington St W, Brampton, ON L6Y 1M8

Phone (905) 874-2117 | Fax (905) 874-2111

A-2023-0163

Re: Minor Variance Application - Home Occupation (Private Tutoring Service)

Dear Committee Members,

Purvi Patel – one of the owners of the subject property, is an engineer, passionate in teaching mathematics and science.

She had been a homemaker, for last 22 years in Canada. After Covid-19 pandemic, as a lot of community members around her struggled on different fronts, she experienced a lot of students were falling behind in their studies, primarily due to limited opportunities and absence of in-person learning opportunities. Due to her background as an education provider, she could not help but started providing online classes to these students – specifically for Maths and Science. And with her hard work she was able to make difference in report cards and educational goals of quite a few students.

After the relaxation in covid-19 protocols, she was able to extend her service to in-person private tutoring, as many students find it more convenient as opposed to online learning. This laid to the establishment of her home occupation of private tutoring. By not using outside rental space, Purvi can afford to keep her fees very reasonable – without enforcing a monthly due date.

Proposed home occupation, private tutoring, is within the guidelines provided by *Enforcement and By-law Services – City of Brampton*, as:

- It is not a restricted type of service.
- The area used for private tutoring is less than 15% of the total gross floor area of the house.
- It is secondary to the property's use as a residence.
- Parking is available.
- Operated by one of the owners.
- There will be no employees.
- There is no signage posting requirements.
- There will be no modifications required in existing dwelling unit.

The only non-complying aspect this home tutoring service is not able to meet is the number of visitors – which is limited to only one visitor at a time. We understand that this requirement is more for a business office being run from home where customers would come park their cars and stay for a while. In case of private tutoring, there is no such requirement for permanent parking space. Parents/guardians drop off their kids and then come after 90 minutes to pick them up. More over, about half of her students either walk to bike from within the neighbourhood.

She runs two classes per weekdays → 4:25pm to 5:55pm and 6:05pm to 7:35pm.
10 min of buffer time between two classes helps in regulating pickup and drop off.

Considering above scenario, we request Committee of Adjustment to allow for additional visitors – which are students in this specific case.

We have neighbours supporting us and their name, address and signoffs will be taken on the letter that will be circulated by City of Brampton during Minor Variance application process.

Thanks,

Handwritten signatures of Purvi Patel and Kirankumar Patel, separated by a vertical line.

Purvi Patel and Kirankumar Patel

Owners - 10 Dalkeith Crt, Brampton, ON L6Y 0H8



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** KIRANKUMAR PATEL / PURVI PATEL
Address 10 DALKEITH CRT, BRAMPTON, ON, L6Y5Y6

Phone # 416.602.0231 **Fax #** _____
Email kiranapp@gmail.com

2. **Name of Agent** M. ARSHAD SIDDIQUI
Address 10368 WINSTON CHURCHILL BLVD, HALTON HILLS ON L7G 4S7

Phone # 647.741.5917 **Fax #** _____
Email arshad@c-archi.com

3. **Nature and extent of relief applied for (variances requested):**

PROPOSED HOME OCCUPATION - PRIVATE TUTORING SERVICES MEETS ZONING BY-LAW IN TERMS OF AREA, NATURE OF BUSINESS AND MEETS ALL RESTRICTIONS AS IDENTIFIED BY ENFORCEMENT AND BY-LAW SERVICES.

MINOR VARIANCE IS REQUESTED FOR MORE THAN ONE VISITOR TO BE ALLOWED.

4. **Why is it not possible to comply with the provisions of the by-law?**

6-7 STUDENTS TYPICALLY ARE TAUGHT IN A GROUP / SESSION. OWNER RUNS TWO CLASSES: WEEKDAYS → 4:25pm to 5:55pm AND 6:05pm TO 7:35pm.

5. **Legal Description of the subject land:**
Lot Number 116
Plan Number/Concession Number PLAN M1931
Municipal Address 10 DALKEITH CRT, BRAMPTON, ON, L6Y5Y6

6. **Dimension of subject land (in metric units)**
Frontage 9.96 M
Depth 42.82 M
Area 677.45 SM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 260.22 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.14 M
Rear yard setback 8.86 M
Side yard setback 1.44 M
Side yard setback 1.44 M

PROPOSED

Front yard setback 6.14 M
Rear yard setback 8.86 M
Side yard setback 1.44 M
Side yard setback 1.44 M

10. Date of Acquisition of subject land: 2015

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL - HOME OCCUPATION

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 2015

15. Length of time the existing uses of the subject property have been continued: 8 YEARS

16. (a) What water supply is existing/proposed?
Municipal [checked]
Well []
Other (specify) NA

(b) What sewage disposal is/will be provided?
Municipal [checked]
Septic []
Other (specify) NA

(c) What storm drainage system is existing/proposed?
Sewers [checked]
Ditches []
Swales []
Other (specify) NA

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # NA Decision NA Relief NA
File # NA Decision NA Relief NA
File # NA Decision NA Relief NA

M. Arshad Siddiqui

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23rd DAY OF MAY, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF HALTON HILLS

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 23rd DAY OF
MAY, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

M. Arshad Siddiqui

Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED MAY 23, 2023

Date Application Deemed Complete by the Municipality _____

KEY PLAN



SCOPE OF WORK

- ① EXISTING SINGLE FAMILY DETACHED HOUSE
TOTAL GFA: 2775 SFT / 257.89 SM
- ② PROPOSED HOME OCCUPATION - PRIVATE TUTORING SERVICE
GFA: 304.87 SFT / 28.33 SM (10.98 %)
ALLOWABLE AREA: 15%
PARKING PROVIDED: YES
OPERATED BY: OWNER OF THE HOUSE
NO. OF EMPLOYEES: 0
SIGNAGE POSTED: NONE
CHANGES REQUIRED: NONE TO EXISTING DWELLING UNIT

LEGEND

- PROPERTY LINE
- ENTRANCE & EGRESS



1
A-001

SITE PLAN

SCALE: 1/16" = 1'-0"

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION.
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NO.	DATE	REVISION / ISSUED
01	2023-05-01	SCHEMATIC LAYOUT
02	2023-05-23	MV APPLICATION



OWNERS

KIRAN PATEL &
PURVI PATEL

ARCHITECT



C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
E: 647.741.5917, or info@c-archi.com

SEAL



HOME OCCUPATION (MV APPL)

10 DALKEITH CRT,
BRAMPTON

SITE PLAN

SCALE: 1/16" = 1'-0"

DATE: 2023.05.02

PROJECT: 23-048

DRAWING NO:

A-001

REVISION: 00

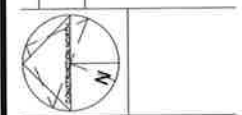
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NO.	DATE	REVISION / ISSUED
01	2023.05.09	SCHEMATIC LAYOUT
02	2023.05.23	BY APPLICATION



OWNERS
KIRAN PATEL & PURVI PATEL

ARCHITECT

C-Architecture Ltd
 10368 WINSTON CHURCHILL BLVD,
 HALTON HILLS ON L7G 4S7
 c: 647.741.5917, e: info@c-archi.com
 SEAL



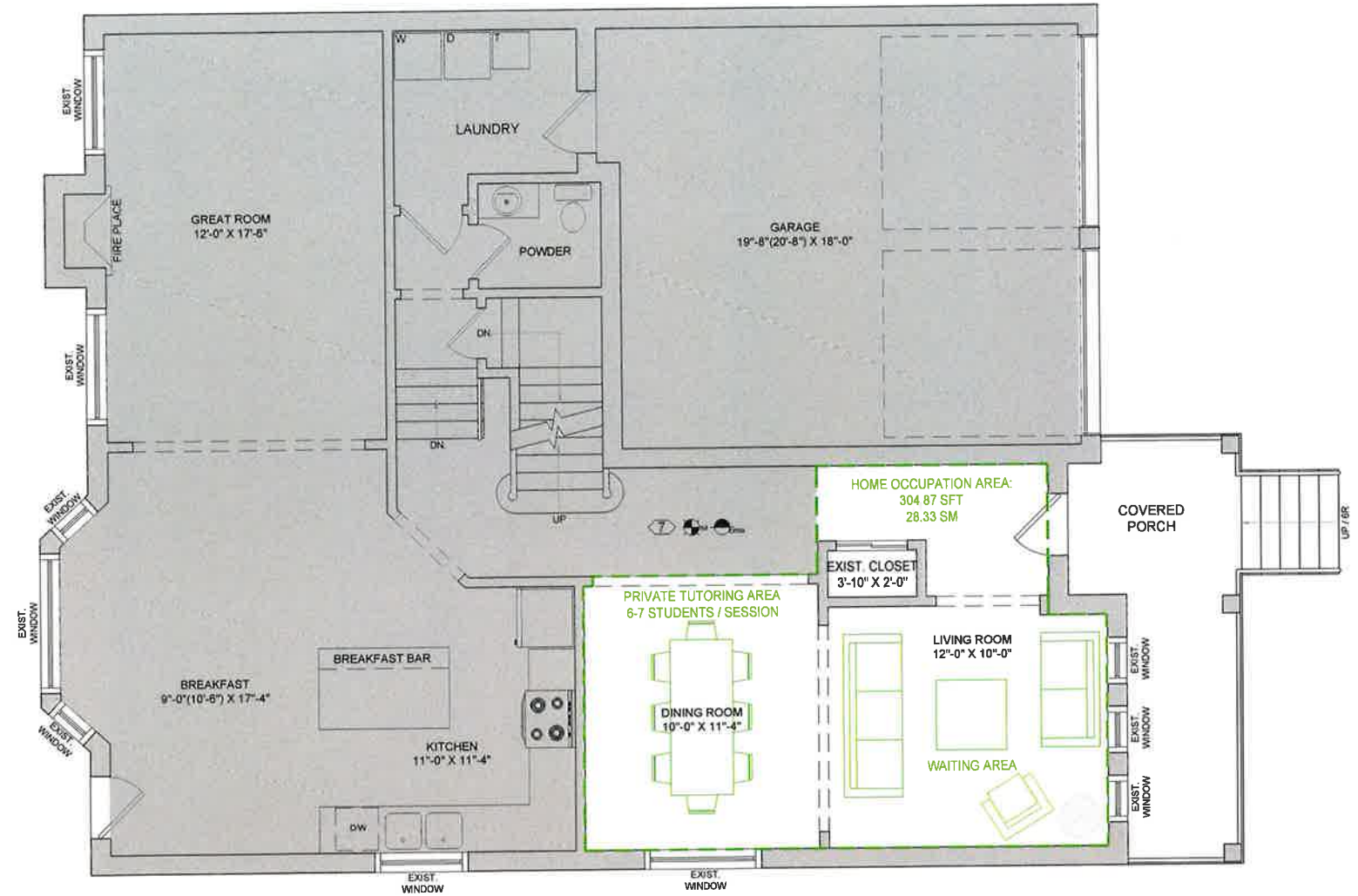
HOME OCCUPATION (MV APPL)

10 DALKEITH CRT,
 BRAMPTON









MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"
 DATE: 2023.05.02
 PROJECT: 23-048
 DRAWING NO:

A-101
 REVISION: 00



1 MAIN FLOOR - EXISTING LAYOUT
 A-103 SCALE: 3/16" = 1'-0"

- LEGEND:**
-  EXHAUST FAN
 -  EXISTING WALLS
 -  NEW WALLS
 -  FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
 -  EXISTING TO BE REMOVED
 -  EXISTING STEEL & WOODEN POSTS
 -  HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
 -  CARBON MONOXIDE ALARM

MAIN FLOOR PLAN

MAIN FLOOR AREA:	1243.61 SFT / 115.57 SM
GARAGE AREA:	393.31 SFT / 36.55 SM
TOTAL MAIN FLOOR AREA:	1,636.92 SFT / 152.13 SM
HOME OCCUPATION AREA:	304.87 SFT / 28.33 SM

A-2023-0163



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d

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D4