

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RISHA RAM SHARMA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 17, Concession 4 EHS, Part 3, Plan 43R-39463 municipally known as **11575 DIXIE ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a place of worship use whereas the by-law does not permit a place of worship in an Agricultural zone.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

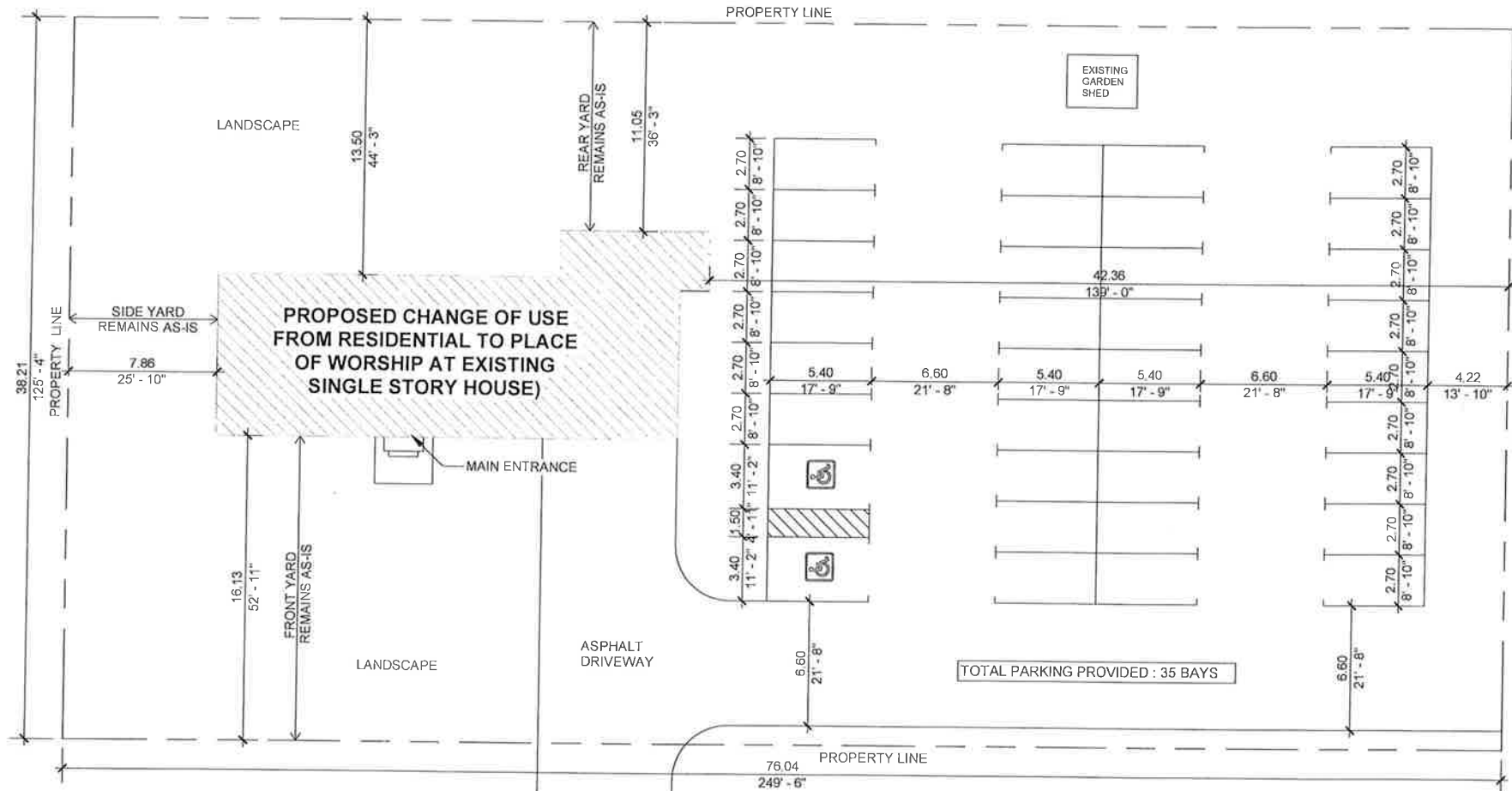
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

NEIGHBOUR



GENERAL NOTES

- DO NOT SCALE DRAWINGS
- USE ONLY DRAWINGS ISSUED FOR CONSTRUCTION
- VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK ON SITE
- NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

NO.	REVISIONS	DATE	BY
1	ISSUED TO CITY FOR COM	23 MAR 2023	RD
2	REVISED	3 MAY 2023	RD

PARKING CALCULATION	
WORSHIP AREA	94.48m ²
PARKING REQUIRED @8.4m ²	12 SPACES
PARKING PROPOSED	35 SPACES

VARIANCE REQUESTED AS PER ORDER TO COMPLY
ORDER NO. 23-000115
DATED: MARCH 2, 2023

EXISTING USE : RESIDENTIAL

PROPOSED USE : PLACE OF WORSHIP

SHEET NAME:

SITE PLAN

SCALE: 1 : 250

PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADD:
11575 DIXIE ROAD, BRAMPTON

1 SITE PLAN
 1 : 250

DIXIE RD.

ADMINISTRATIVE
 STAMP

PROFESSIONAL ASSOCIATION
 OF ARCHITECTS
 OF ONTARIO
 4368

DRAWN BY: SA	PROJECT NO: 23411
CHECKED BY: RD	DWG NO: A004
DATE: 23 MAR 2023	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

FILE NUMBER: A-2023-0154

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sharma Rishi Ram
Address 11575 Dixie Road, Brampton ON L6R 0B3

Phone # 416-606-9191 **Fax #** _____
Email _____

2. **Name of Agent** Architect Ravi Doiphode Inc.
Address 2760 Victoria Park Ave, North York ON M2J 4A8

Phone # 416-522-7505 **Fax #** 416-425-2362
Email rdoiphode@sympatico.ca

3. **Nature and extent of relief applied for (variances requested):**
Change of use from residential to place of worship. (As per the City of Brampton order to comply, Order #: 23-000115 issued on March 2, 2023)

4. **Why is it not possible to comply with the provisions of the by-law?** Change of use from residential to place of worship.

5. **Legal Description of the subject land:** PART LOT 17 CONCESSION 4 EAST OF HURONTARIO ST., CHINGUACOUSY AS IN 162321VS, EXCEPT PART 3 43R17336 Plan Number/Concession Number & PARTS 1&2 43R39463 CITY OF BRAMPTON
Municipal Address 11575 Dixie Road, Brampton ON L6R 0B3

6. **Dimension of subject land (in metric units)**
Frontage 76.04m
Depth 38.21m
Area 2,905.29m2

7. **Access to the subject land is by:**
 Provincial Highway Seasonal Road
 Municipal Road Maintained All Year Other Public Road
 Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

The existing structure is a detached single family dwelling home.

GFA - 195.6m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

The proposed building is a Temple/ Place of Worship.

GFA - same as existing

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 16.13m

Rear yard setback 11.05m

Side yard setback 7.86m

Side yard setback 42.36m

PROPOSED

Front yard setback -AS EXISTING-

Rear yard setback -AS EXISTING-

Side yard setback -AS EXISTING-

Side yard setback -AS EXISTING-

10. Date of Acquisition of subject land: 27 July 2016
11. Existing uses of subject property: Single family detached residential
12. Proposed uses of subject property: Temple/ Place of Worship
13. Existing uses of abutting properties: Residential/Commercial
14. Date of construction of all buildings & structures on subject land: 1957
15. Length of time the existing uses of the subject property have been continued: July 2016

16. (a) What water supply is existing/proposed?

Municipal

Well

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal

Septic

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers

Ditches

Swales

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Paul D

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Brampton _____

THIS 23 DAY OF March, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

SYED ALI SHABIB

~~Ravi Doiphode~~

Mississauga

~~Toronto~~

I, _____ OF THE _____ City _____ OF _____
IN THE _____ Region _____ OF North York Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF _____ Brampton _____

IN THE _____ Region _____ OF _____

Peel THIS 23rd DAY OF May
~~March~~ 20 23

Shahib

Jeanie Cecilia Myers
a Commissioner, etc.
Province of Ontario
for the Corporation of
City of Brampton
Expires April 8, 2024

Paul D

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

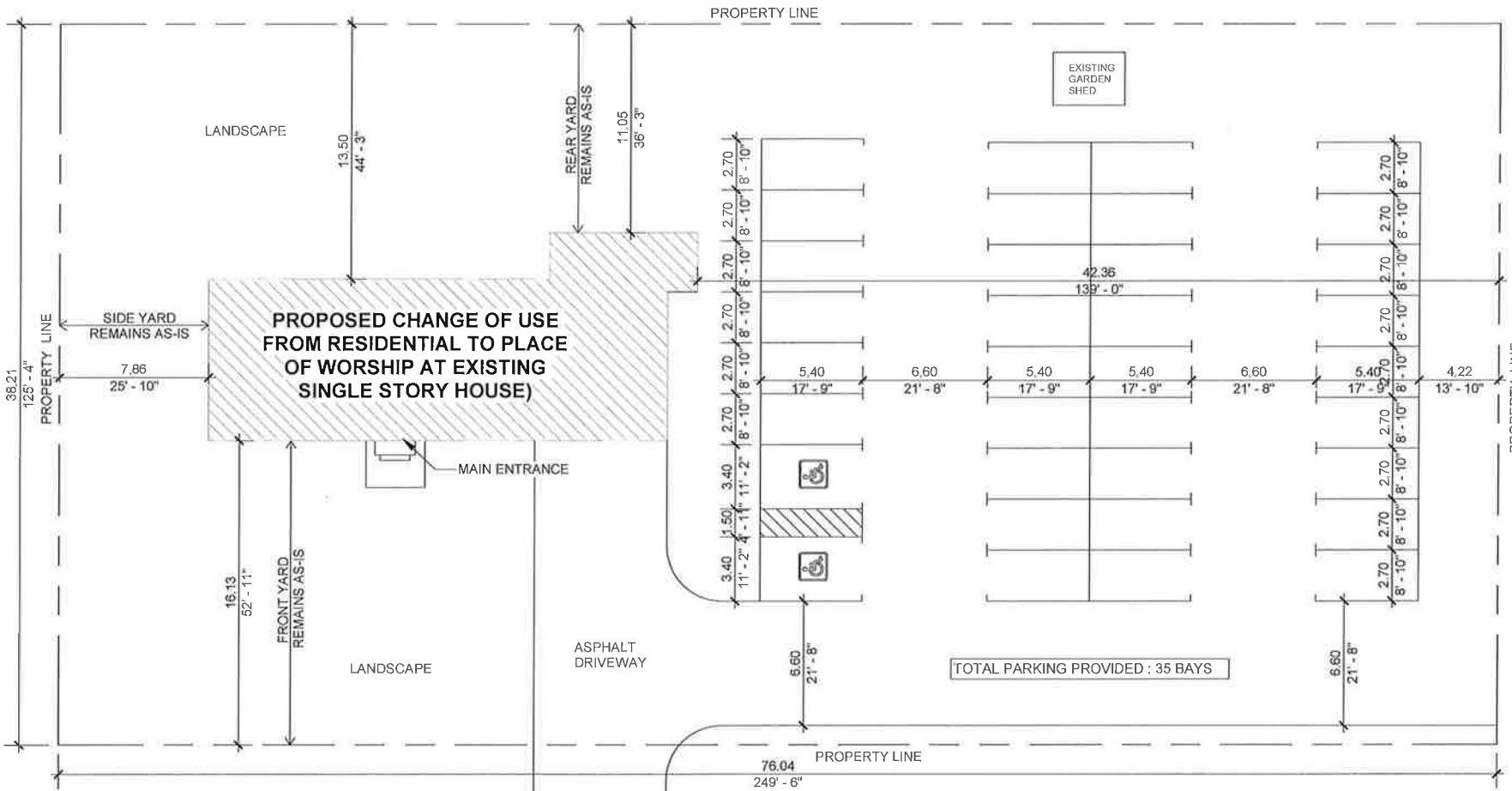
Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED MAY 13, 2023



NEIGHBOUR

NEIGHBOUR

1 SITE PLAN
1 : 250

DIXIE RD.

TOTAL PARKING PROVIDED : 35 BAYS

PARKING CALCULATION	
WORSHIP AREA	94.48m ²
PARKING REQUIRED @8.4m ²	12 SPACES
PARKING PROPOSED	35 SPACES

VARIANCE REQUESTED AS PER ORDER TO COMPLY	
ORDER NO. 23-000115	
DATED: MARCH 2, 2023	
EXISTING USE : RESIDENTIAL	
PROPOSED USE : PLACE OF WORSHIP	

- GENERAL NOTES**
- 1 DO NOT SCALE DRAWINGS
 - 2 USE ONLY DRAWINGS TITLED "FOR CONSTRUCTION"
 - 3 VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK ON SITE
 - 4 NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

REV:1	2 MAY 2023	RD
ISSUED TO CITY FOR CON.	13 MAR 2023	RD
NO	REVISIONS	DATE

Customer must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
 This drawing is not intended for a specific purpose, use for any other purpose is not permitted.
 This drawing shall not be reproduced, whole or in part without the written approval of the Architect.
 This drawing must be read in the context of all the other drawings which constitute the documents.

SHEET NAME:
SITE PLAN

SCALE: 1 : 250
 PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

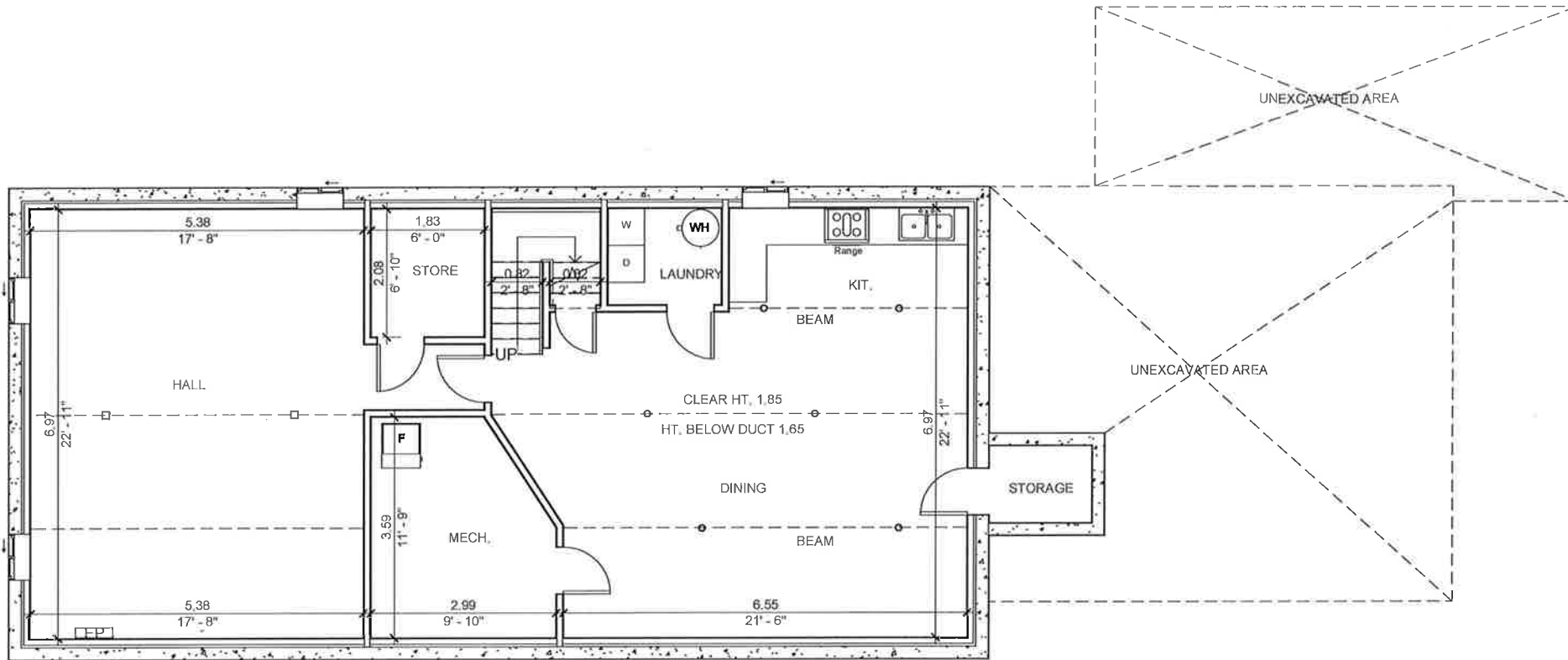
PROJ. ADD:
 11575 DIXIE ROAD, BRAMPTON



DRAWN BY: SA
 CHECKED BY: RD
 DATE: 23 MAR 2023



PROJECT NO: **23411**
 DWG NO: **A001**



1 EXISTING BASEMENT FLOOR PLAN
1:75

NOTES:

- PROJECT DRAWINGS ARE BASED ON MANUAL MEASUREMENT OF THE EXISTING SITE WHICH MAY VARY, CONTRACTOR MUST VERIFY SIZES OF ALL STRUCTURAL ELEMENTS INCLUDING WALLS, BEAMS, JOISTS ETC. AND MUST REPORT ANY DISCREPANCIES
- ALL EXISTING WALLS & WINDOWS REMAIN AS-IS UNLESS SPECIFIED

GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. USE ONLY DRAWINGS "MADE FOR CONSTRUCTION"
3. VERIFY CONFOUNDATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK ON SITE
4. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

NO.	REVISIONS	DATE	BY
2	ISSUE	23 MAY 2023	MD
1	ISSUED TO CITY FOR COA	23 MAR 2023	MD

Contractor must check and verify all dimensions on the job and report any clearances to the Architect before proceeding with the work.
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SHEET NAME:
EXISTING BASEMENT FLOOR PLAN

SCALE: 1:75

PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADD:
11575 DIXIE ROAD, BRAMPTON

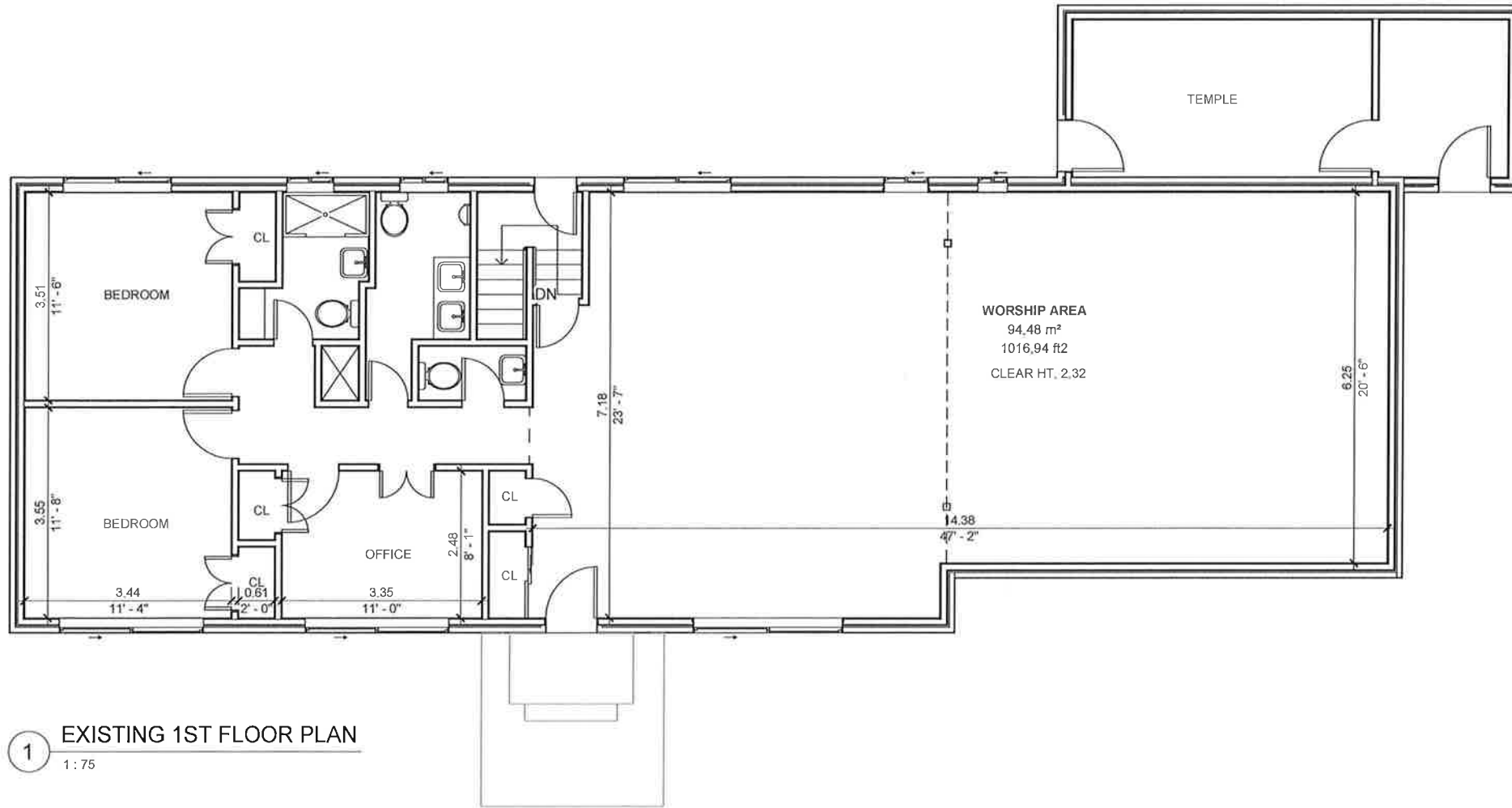


DATE: 23 MAR 2023



DRAWN BY: SA
DATE: 23 MAR 2023

PROJECT NO: **23411**
DRAWN BY: SA



1 EXISTING 1ST FLOOR PLAN
1:75

GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. USE ONLY DIMENSIONS ISSUED FOR CONSTRUCTION
3. VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK CREDE.
4. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

No	REVISIONS	DATE	BY
1	ISSUED TO CLIENT FOR COA	21 MAR 2023	RD
2	REVISED	2 MAR 2023	RD

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Do not scale the drawing.
This drawing contains copyright material belonging to the Architect.
This drawing is issued for a specific purpose, and for any other purpose is not permitted.
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This drawing may be used in the context of all other drawings which comprise the contract.

SHEET NAME:
EXISTING 1ST FLOOR PLAN

SCALE: 1 : 75

PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADDR:
11575 DIXIE ROAD, BRAMPTON

REVISIONS

DATE

BY

CLAWSON ASSOCIATES

ARCHITECTS

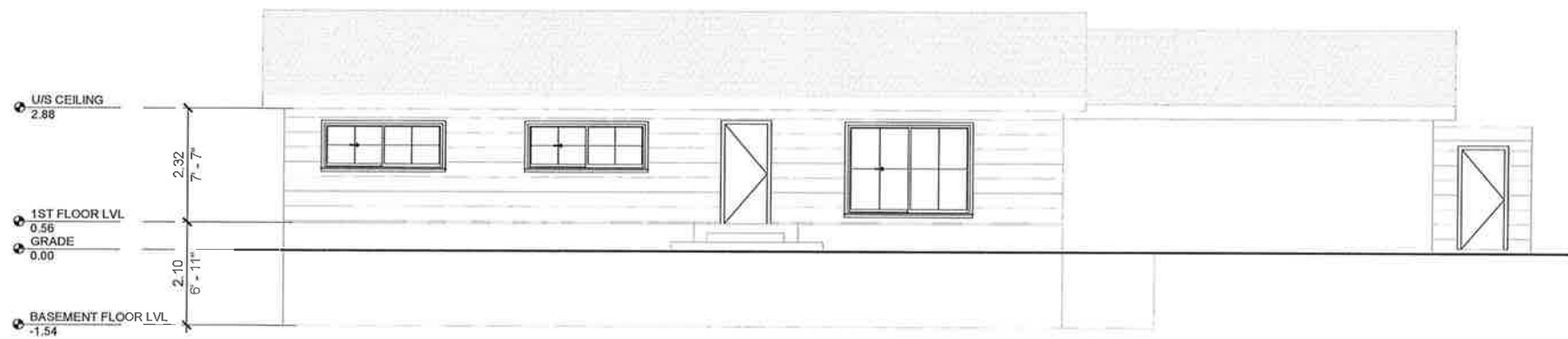
BRAMPTON, ONTARIO

1980

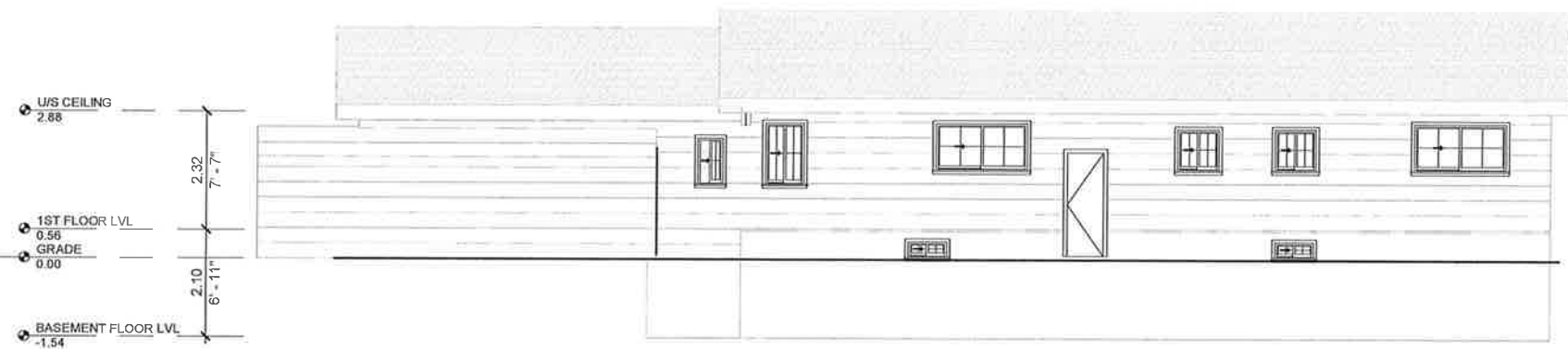
DRAWN BY	SA	PROJECT NO.	23411
CHECKED BY	RD	DATE	23 MAR 2023
DATE	23 MAR 2023	DWG NO.	A 104

NOTES:

- PROJECT DRAWINGS ARE BASED ON MANUAL MEASUREMENT OF THE EXISTING SITE WHICH MAY VARY. CONTRACTOR MUST VERIFY SIZES OF ALL STRUCTURAL ELEMENTS INCLUDING WALLS, BEAMS, JOISTS ETC. AND MUST REPORT ANY DISCREPANCIES
- ALL EXISTING WALLS & WINDOWS REMAIN AS-IS UNLESS SPECIFIED



1 FRONT ELEVATION
1 : 100



2 REAR ELEVATION
1 : 100

NOTES:
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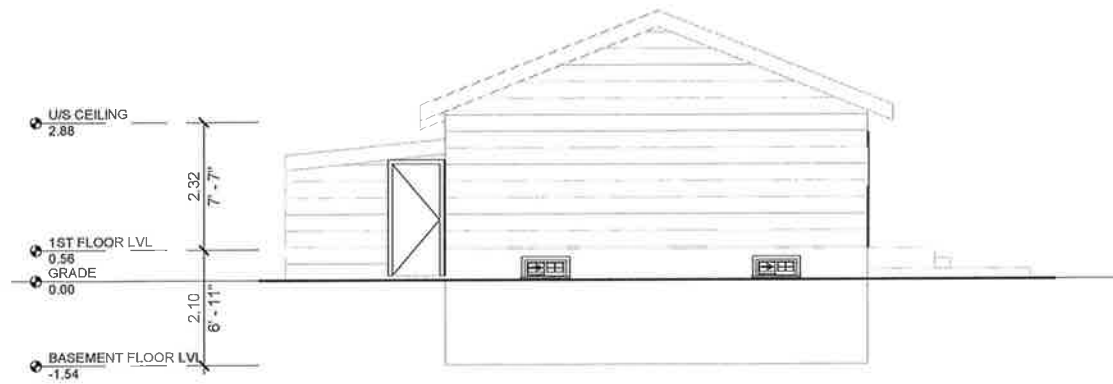
GENERAL NOTES
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NO.	REVISIONS	DATE	BY
1	ISSUED FOR CITY PERMITS	23 MAR 2023	RD
2	REV A	3 MAY 2023	RD

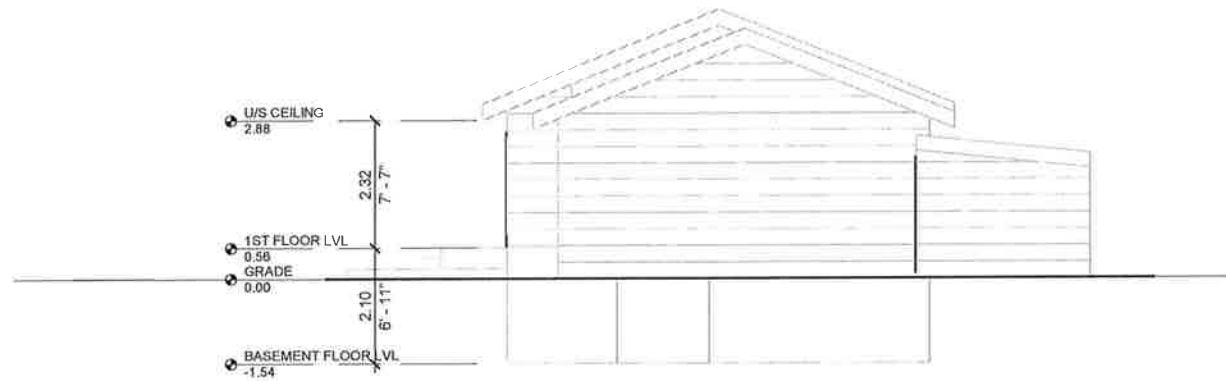
Contractor shall check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.
 Do not scale the drawing.
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 This drawing was developed for a specific purpose and for any other purpose is not permitted.
 This drawing shall not be reproduced in whole or in part without the written approval of the Architect.
 Any queries must be made to the Architect in the context of all the other drawings which are part of the documents.

SHEET NAME:
FRONT & REAR ELEVATION
 SCALE: 1 : 100
 PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP
 PROJ. ADDR:
 11575 DIXIE ROAD, BRAMPTON

DRAWN BY: SA CHECKED BY: RD DATE: 23 MAR 2023	PROJECT NO: 23411 SHEET NO: A 004



1 LEFT ELEVATION
1 : 100



2 RIGHT ELEVATION
1 : 100

NOTES:

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NO	REVISIONS	DATE	BY
2	REVISED	2 MAY 2023	RD
1	ISSUED TO CITY FOR COA	22 MAR 2023	RD

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 Do not alter this drawing.
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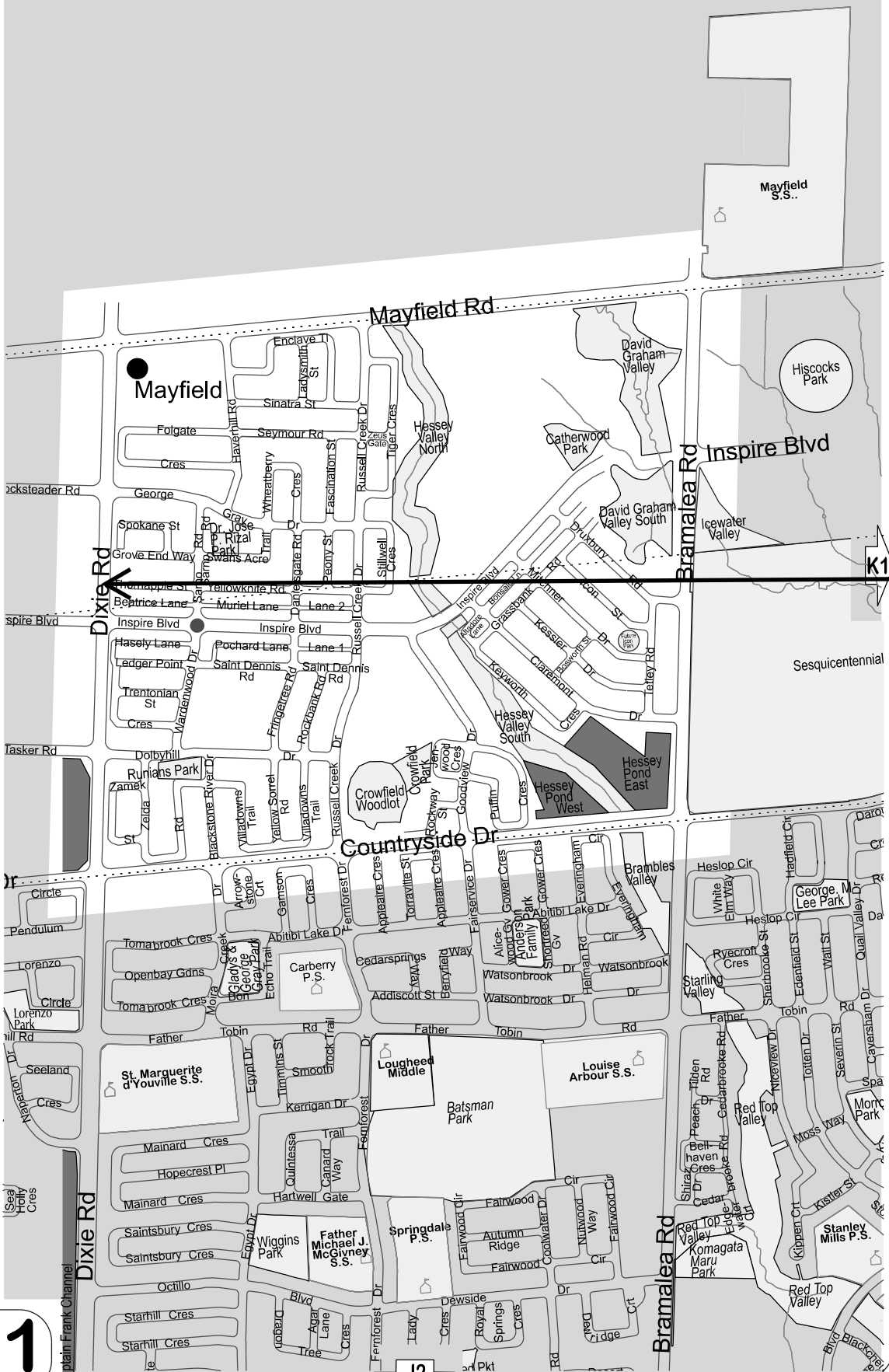
SHEET NAME:
LEFT & RIGHT ELEVATION

SCALE: 1 : 100

PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADDR:
11575 DIXIE ROAD, BRAMPTON

DRAWN BY: SA CHECKED BY: RD DATE: 23 MAR 2023	PROJECT NO: 23411 SHEET NO: A002



Mayfield S.S.

Mayfield

Hiscocks Park

Mayfield Rd

Inspire Blvd

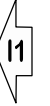
Bramalea Rd

Dixie Rd

Countryside Dr

A-2023-0154

a



b

J1

J2