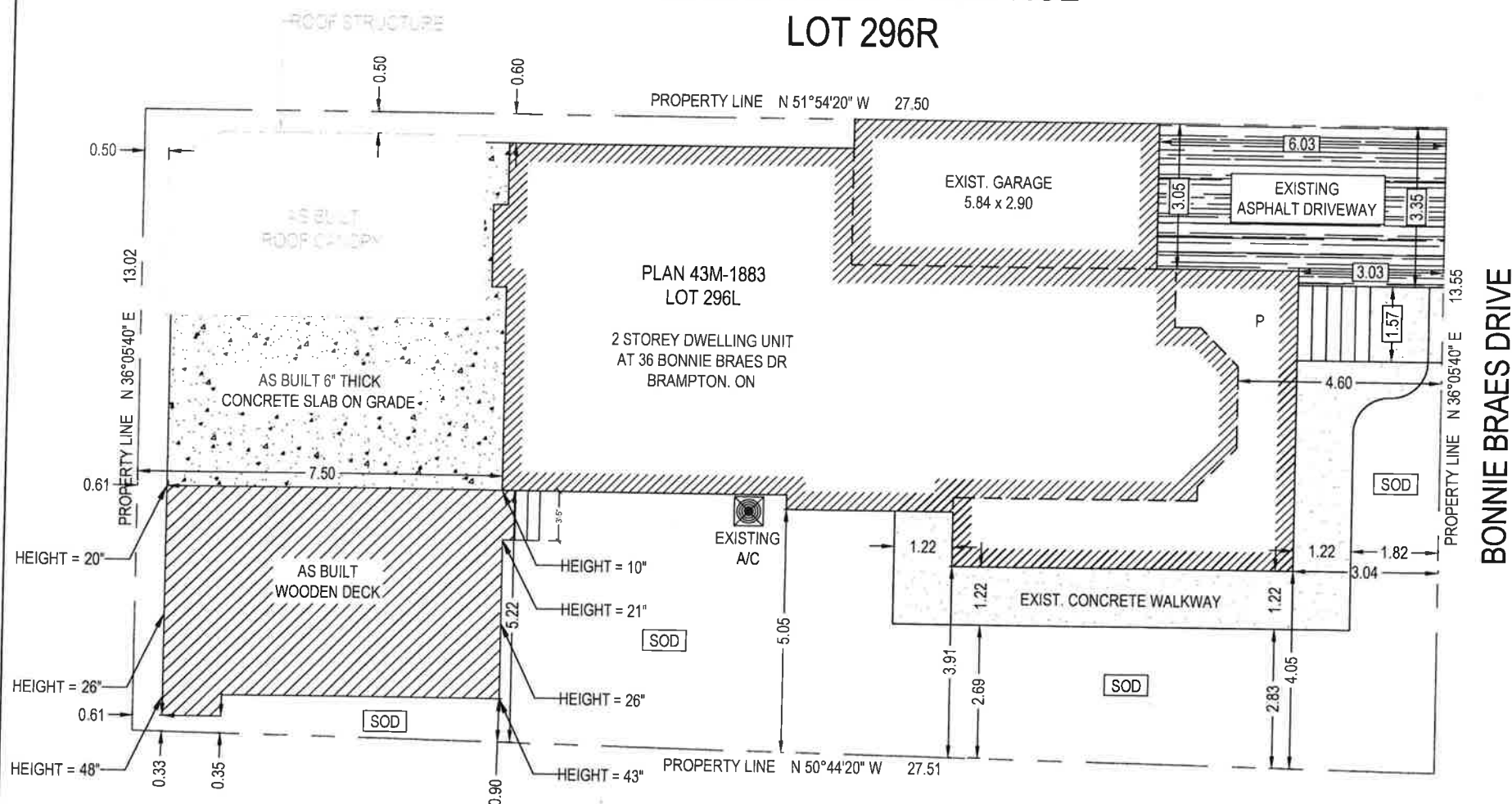




NEIGHBOUR'S RESIDENCE LOT 296R



0	ISSUED FOR PERMIT	MAY / 08 / 2023
NO	DESCRIPTION	DATE
PROJECT:		
PROPOSED ROOF STRUCTURE(CANOPY) AT 36 BONNIE BRAES DRIVE BRAMPTON, ON		
TITLE:		
SITE PLAN		
CHECKED:	DRAWING:	
DRAWN:	A1	
SCALE: 1:100		
DATE: MAY / 01 / 2023		

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
RAKSHANDA SHADID
PART OF LOT 296, PLAN M-1883
A-2023-0162 – 36 BONNIE BRAES DRIVE

Please **amend** application **A-2023-0162** to reflect the following:

1. To permit an existing open-roofed porch to encroach 7.0m (22.97 ft) into the required rear yard, resulting in a rear yard setback of 0.5m (1.64 ft) whereas the by-law permits a maximum encroachment of 2.0m from an open-roofed porch, resulting in a rear yard setback of 5.5m (18.04 ft);
2. To permit an interior side yard setback of 0.5m to an existing open-roofed porch (1.64 ft) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).
3. To permit a rear yard encroachment of 6.89m resulting in a rear yard setback of 0.61m to an existing deck whereas the by-law permits a maximum rear yard encroachment of 1.8m resulting in a rear yard setback of 5.7m to the existing deck.
4. To permit an interior side yard setback of 0.33m to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).



Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0162

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Rakshanda Shahid
Address 36 Bonnie Braes Drive, Brampton L6Y 0Y5

Phone # 416 - 918 - 6232 **Fax #** _____
Email srnm2001@hotmail.com

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
 To permit an encroachment of 7.0m into the rear yard for an open roofed structure resulting in a rear yard setback of 0.5m;
 To permit interior side yard setback of 0.5m.

4. **Why is it not possible to comply with the provisions of the by-law?**
 The setbacks of roof structure is less than minimum required setback to the lot line on side and rear

5. **Legal Description of the subject land:**
Lot Number 296L
Plan Number/Concession Number M1883
Municipal Address 36 Bonnie Braes Drive, Brampton L6Y 0Y5

6. **Dimension of subject land (in metric units)**
Frontage 13.55
Depth 27.50
Area 365.32

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single Dwelling Unit - 2 storey house (basement + ground floor + second floor)
 Ground floor GFA = 110.65 m2 (including garage)
 Second floor GFA = 102.75 m2
 Total GFA = 213.40
 Roof structure (canopy) in rear yard = 25.27 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single Dwelling Unit - 2 storey house (basement + ground floor + second floor)
 Ground floor GFA = 110.65 m2 (including garage)
 Second floor GFA = 102.75 m2
 Total GFA = 213.40
 Roof structure (canopy) in rear yard = 25.27 m2

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.03
 Rear yard setback 7.50
 Side yard setback 0.60 Right side, attached garage
 Side yard setback 3.91 Left side

PROPOSED

Front yard setback 3.03
 Rear yard setback 0.50
 Side yard setback 0.50 Right side, attached garage
 Side yard setback 3.91 Left side

10. Date of Acquisition of subject land: July 18 2013

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2012

15. Length of time the existing uses of the subject property have been continued: 11 yrs

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

RS Rakesh
Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF Brampton
THIS 23 DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Rakeshanda Sheldid, OF THE City OF Brampton

IN THE region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 23 DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

RS Rakesh
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R2E-7.3-2107

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

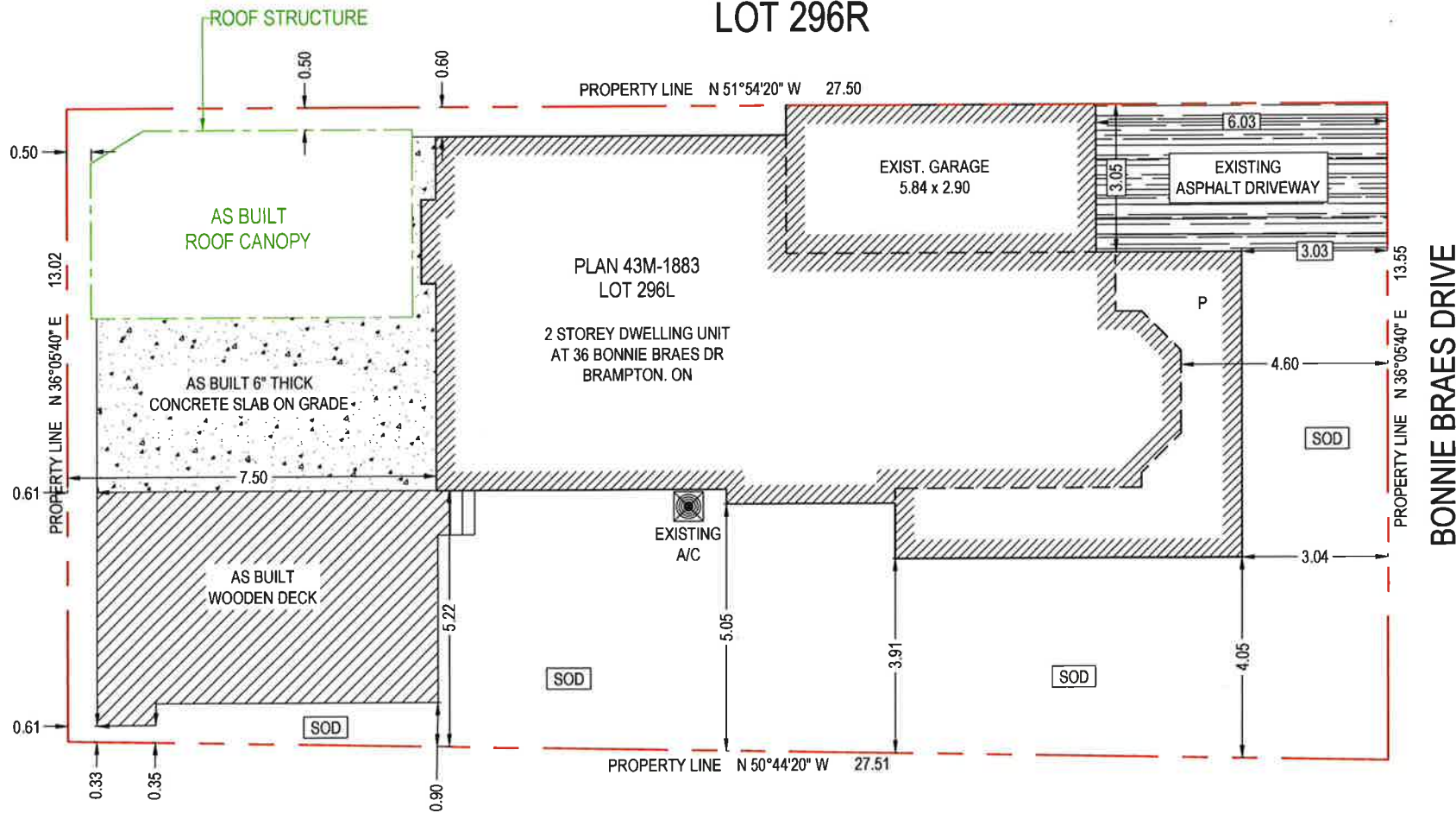
MAY 23, 23
Date

DATE RECEIVED MAY 23, 2023

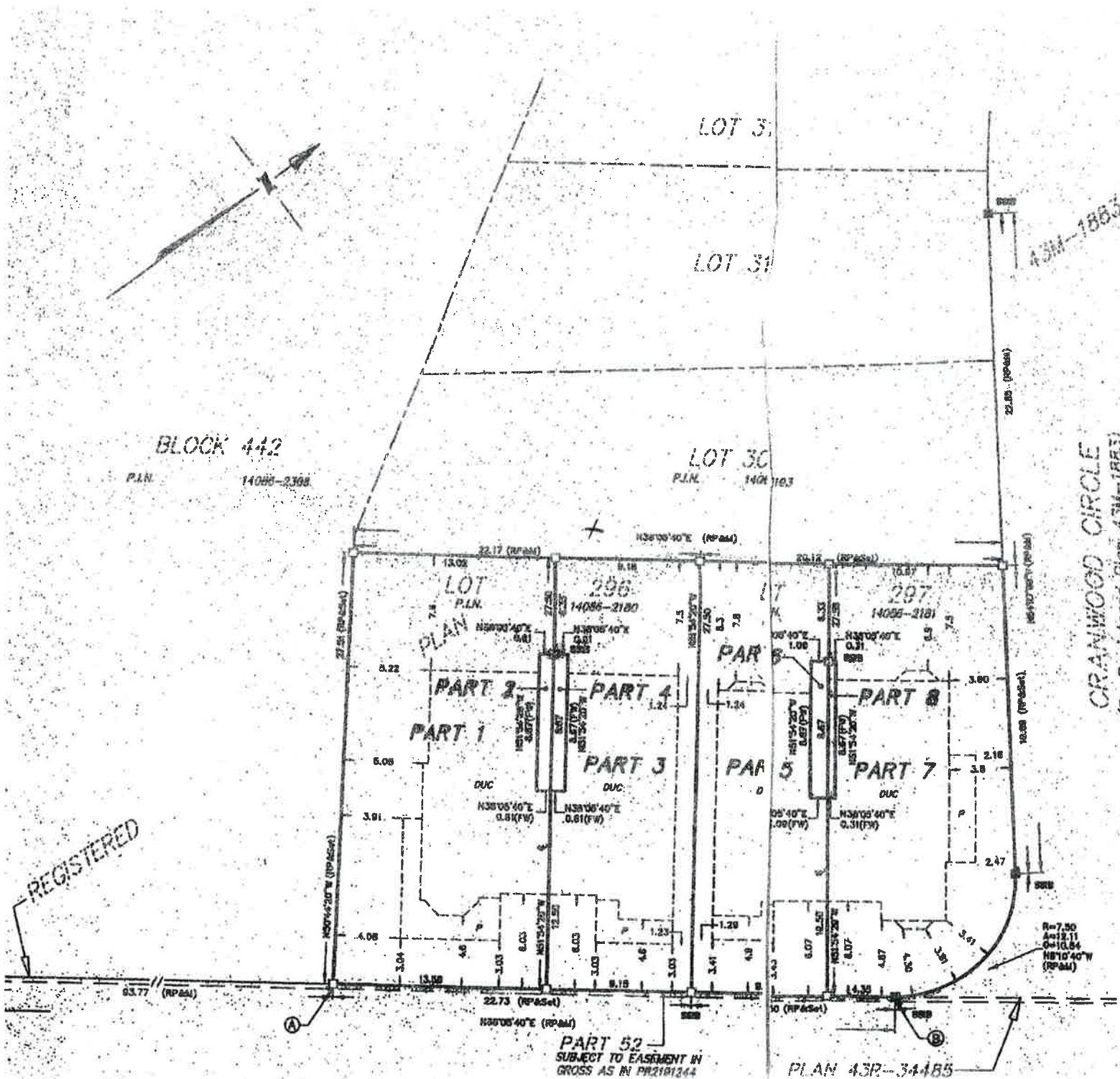
Date Application Deemed Complete by the Municipality _____




NEIGHBOUR'S RESIDENCE LOT 296R



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NO	DESCRIPTION	DATE
PROJECT:		
PROPOSED ROOF STRUCTURE(CANOPY) AT 36 BONNIE BRAES DRIVE BRAMPTON, ON		
TITLE:		
SITE PLAN		
CHECKED:	DRAWING:	
DRAWN:	A1	
SCALE: 1:100		
DATE: MAY / 01 / 2023		



DATE: December 14, 2012 DATE: 306

 CHRIS BOREKIEWICZ
 ONTARIO LAND SURVEYOR
 LISA
 REPRESENTATIVE FOR THE LANC
 P&A

SCHEDULE

PART	ALL OF LOT	PLAN
1 TO 4 INCLUSIVE	296	43M-1883
5 TO 8 INCLUSIVE	297	

PLAN OF SURVEY OF
 LOTS 296 and
 REGISTERED PLAN 4.
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY
 SCALE 1 : 200
 YOUNG & YOUNG SUR
 (TORONTO 2006) INC

INTEGRATION DATA












OBSERVED REFERENCE POINTS (ORP) IN OBSERVATIONS USING REAL TIME NETWORK ARE REFERRED TO UTM ZONE 17, NAD83 COORDINATE VALUES ARE TO AN URBAN ACCORDANCE WITH SECTION 14 (2) OF 1

POINT ID	CASTING
ORP (A)	588 270.84
ORP (B)	588 282.09

COORDINATES CANNOT, IN THEMSELVES, RE-ESTABLISH CORNERS OR BOUNDARIES!

DISTANCE NOTE
 DISTANCES SHOWN HEREON ARE GRID DISTANCES BY BE CONVERTED TO GRID DISTANCES BY COMBINED SCALE FACTOR OF

LEGEND

	DENOTES	SURVEY MONUMENT
		SURVEY MONUMENT
		NORTH/SOUTH/EAST
		SHORT STANDARD
		PROPERTY IDENT
		CENTRE LINE OF
		DWELLING UNDER
		PORCH
		MEASURED
		FACE OF WALL
		REGISTERED PLAN

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT WITH THE SURVEYS ACT, THE SURVEY TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
 2. THE SURVEY WAS COMPLETED ON 1 NOVEMBER, 2012.

DECEMBER 14, 2012. DATE

REGISTERED

CRANWOOD CIRCLE
 (By Registered Plan 43M-1883)
 PLAN 14095-2390

PART 52
 SUBJECT TO EASEMENT IN
 GROSS AS IN PR2191244

PLAN 43M-34185

A-2023-0163

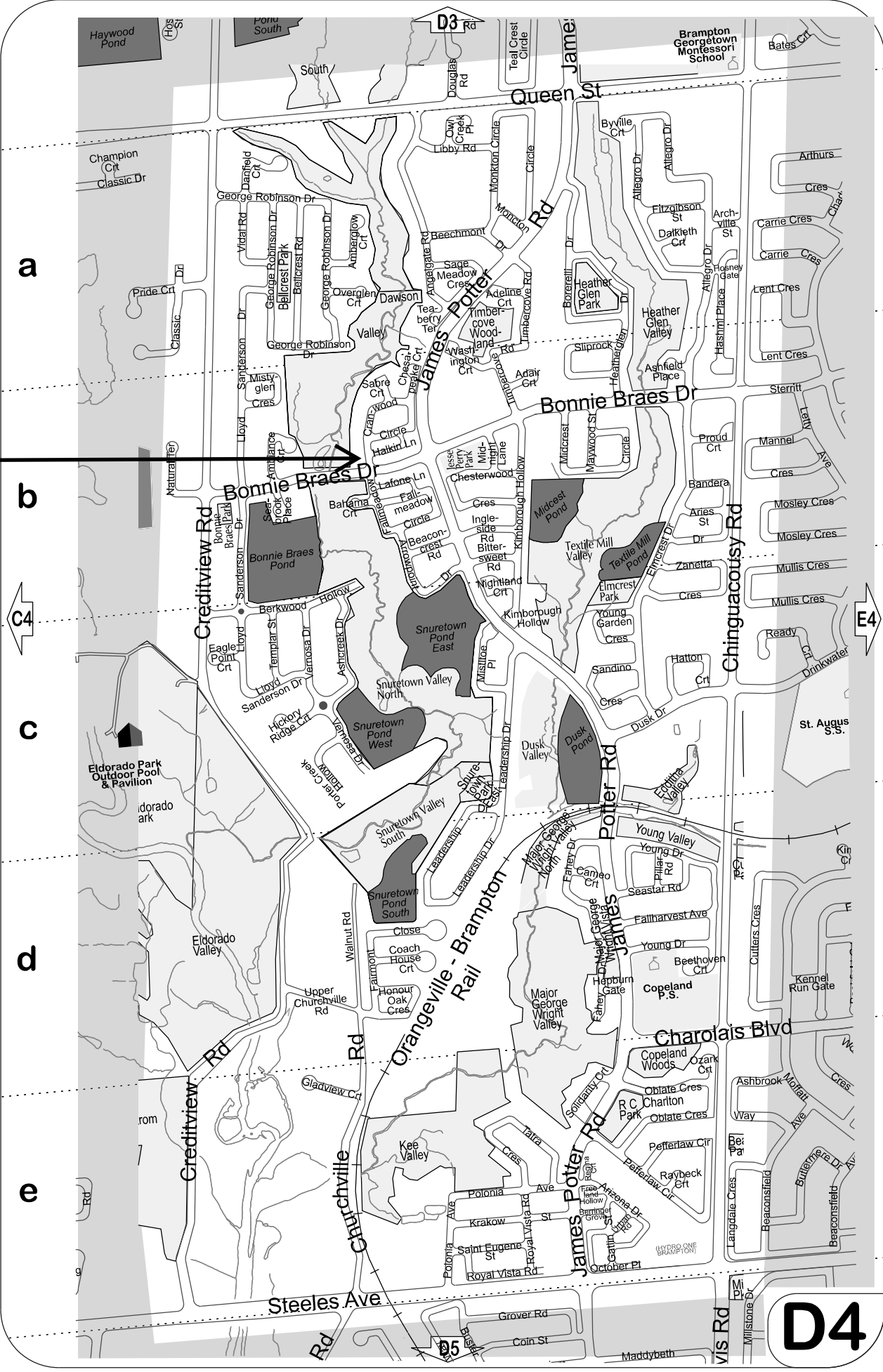
a

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D4