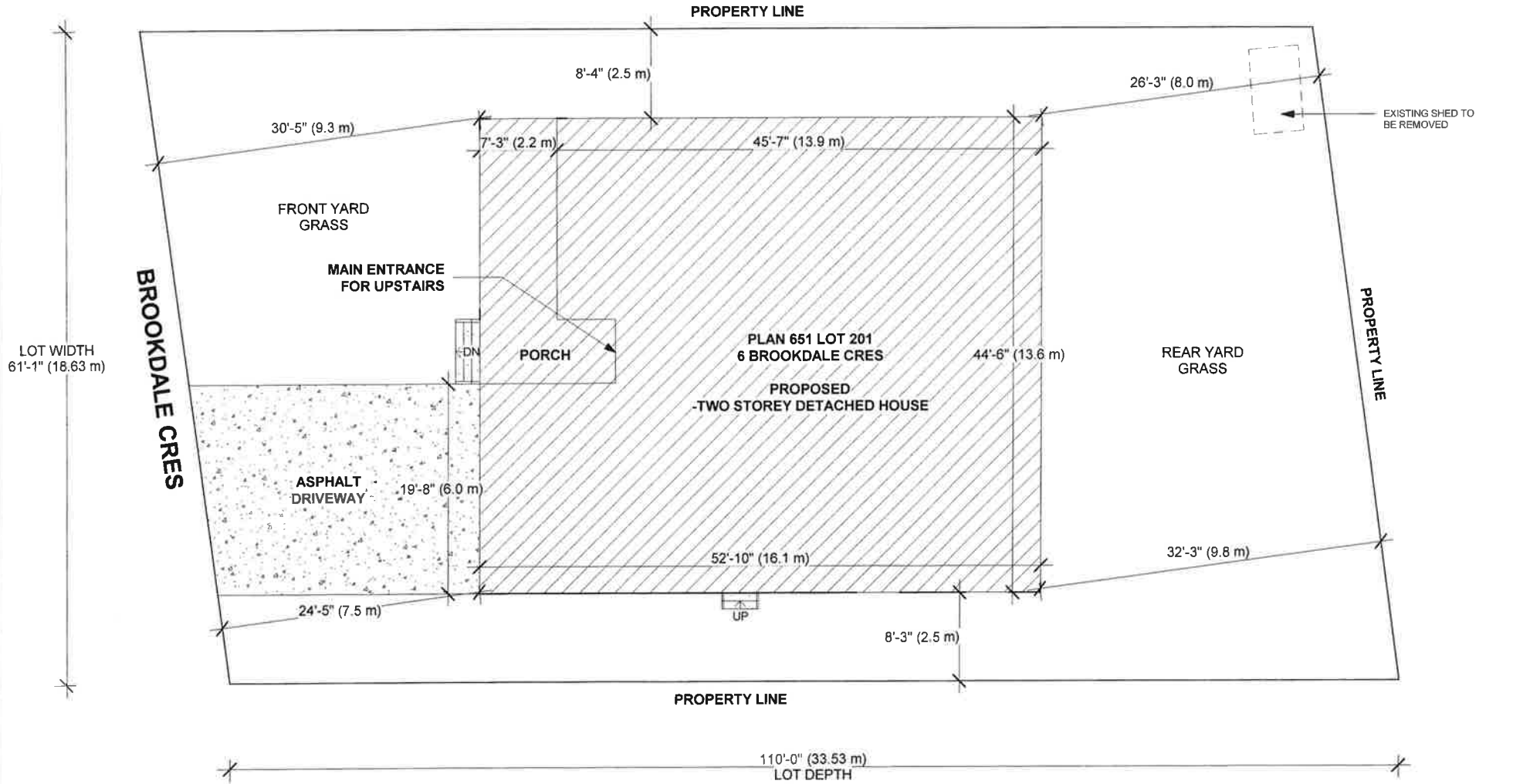




**MINOR VARIANCE**

- To permit a building height of 8.41m (27.60 ft) whereas the by-law permits a maximum building height of 7.6m (24.93 ft);
- To permit a rear yard setback of 8m (26.25 ft) whereas the by-law requires a minimum rear yard setback of 8.38m (27.50 ft);
- To permit a lot coverage of 34.94%, whereas the by-law permits a maximum lot coverage of 30%.



**LOT AREA: 624.49 SQM  
 COVERAGE AREA: 218.2 SQM  
 (34.94% OF LOT AREA)**

**SITE PLAN**

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGN/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.  
 CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE APR 25/23

ADDRESS:  
 6 BROOKDALE CRES  
 BRAMPTON, ONTARIO

DRAWN BY: NK CHECKED BY: TR

PROJECT NUMBER: 23R-

**NOBLE PRIME SOLUTIONS LTD**  
 2131 WILLIAMS PARKWAY  
 UNIT 19,  
 BRAMPTON, ON  
 info@nobleltd.ca  
 (437) 888 1800

DATE: APR 25/23  
 SCALE: 1" = 10'-0" ENGINEER: A-1

**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, June 15, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

June 8, 2023

To: Committee of Adjustment  
**JASBIR KAUR PANNU AND NAVNEET PANNU**  
**LOT 201, PLAN 651**  
**A-2023-0148 – 6 BROOKDALE CRESCENT**

---

Please **amend** application **A-2023-0148** to reflect the following:

1. To permit a building height of 8.41m (27.60 ft) whereas the by-law permits a maximum building height of 7.6m (24.93 ft);
2. To permit a rear yard setback of 8m (26.25 ft) whereas the by-law requires a minimum rear yard setback of 8.38m (27.50 ft);
3. To permit a lot coverage of 34.94%, whereas the by-law permits a maximum lot coverage of 30%.

*Navpreet Kaur*

\_\_\_\_\_  
Applicant/Authorized Agent



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2023-0148

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** JASBIR KAUR, ARSHDEEP PANNU, NAVNEET PANNU  
**Address** 6 BROOKDALE CRES. BRAMPTON, ON. L6T 1M7  
  
**Phone #** 647-705-9008 **Fax #** \_\_\_\_\_  
**Email** apannudlc@gmail.com

2. **Name of Agent** NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)  
**Address** UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4  
  
**Phone #** 437-888-1800 **Fax #** \_\_\_\_\_  
**Email** applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**  
-TO PERMIT A BUILDING HEIGHT OF 8.41m, WHEREAS ZONING BY-LAW ALLOWS MAXIMUM BUILDING HEIGHT OF 7.6m.

4. **Why is it not possible to comply with the provisions of the by-law?**  
ZONING BY-LAW ALLOWS MAXIMUM BUILDING HEIGHT OF 7.6m WHEREAS A BUILDING HEIGHT OF 8.41m IS PROPOSED.

5. **Legal Description of the subject land:**  
**Lot Number** 201  
**Plan Number/Concession Number** 651  
**Municipal Address** 6 BROOKDALE CRES. BRAMPTON, ON. L6T 1M7

6. **Dimension of subject land (in metric units)**  
**Frontage** 18.75M  
**Depth** 33.53M  
**Area** 624.49 SQM

7. **Access to the subject land is by:**  
Provincial Highway  Seasonal Road   
Municipal Road Maintained All Year  Other Public Road   
Private Right-of-Way  Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

SIDESPLIT DETACHED HOUSE WITH AREA OF 628 SQM

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

TWO STOREY DETACHED HOUSE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 7.5M  
Rear yard setback 8.0M  
Side yard setback 2.5M  
Side yard setback 2.5M

**PROPOSED**

Front yard setback 7.5M  
Rear yard setback 8.0M  
Side yard setback 2.5M  
Side yard setback 2.5M

10. Date of Acquisition of subject land: July 03, 2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1998
15. Length of time the existing uses of the subject property have been continued: 22 YEARS

16. (a) What water supply is existing/proposed?  
Municipal  Other (specify) \_\_\_\_\_  
Well
- (b) What sewage disposal is/will be provided?  
Municipal  Other (specify) \_\_\_\_\_  
Septic
- (c) What storm drainage system is existing/proposed?  
Sewers  Other (specify) \_\_\_\_\_  
Ditches   
Swales



17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON  
THIS 12<sup>th</sup> DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JITESH BHAILA OF THE CITY OF BRAMPTON  
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Peel THIS 12<sup>th</sup> DAY OF  
May, 2023

J.M.  
Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

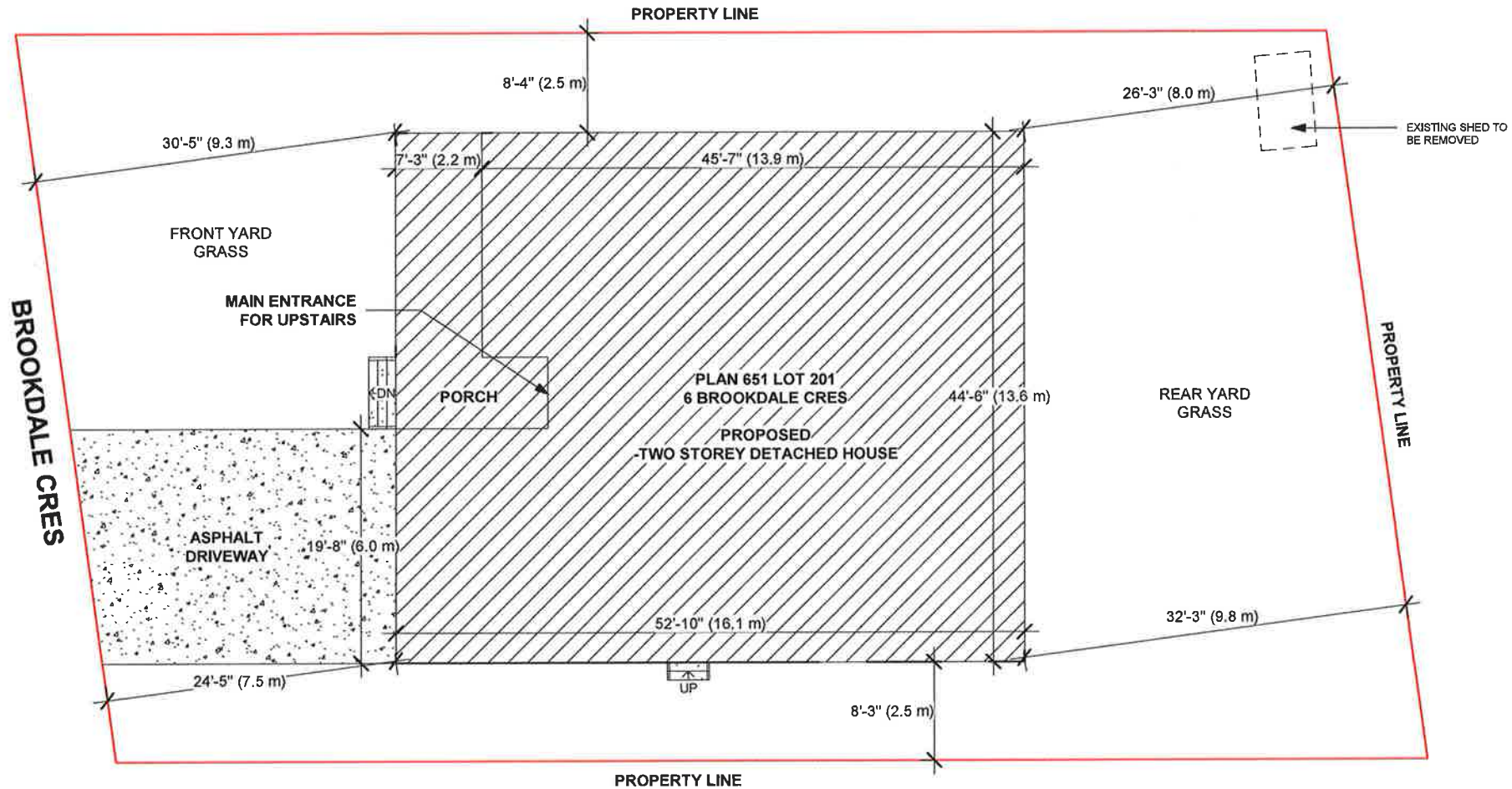
\_\_\_\_\_  
Date

DATE RECEIVED May 12, 2023

Date Application Deemed Complete by the Municipality \_\_\_\_\_

**MINOR VARIANCE**

-TO PERMIT A BUILDING HEIGHT OF 8.41m, WHEREAS ZONING BY-LAW  
ALLOWS MAXIMUM BUILDING HEIGHT OF 7.6m.



**SITE PLAN**

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.  
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE APR 25/23

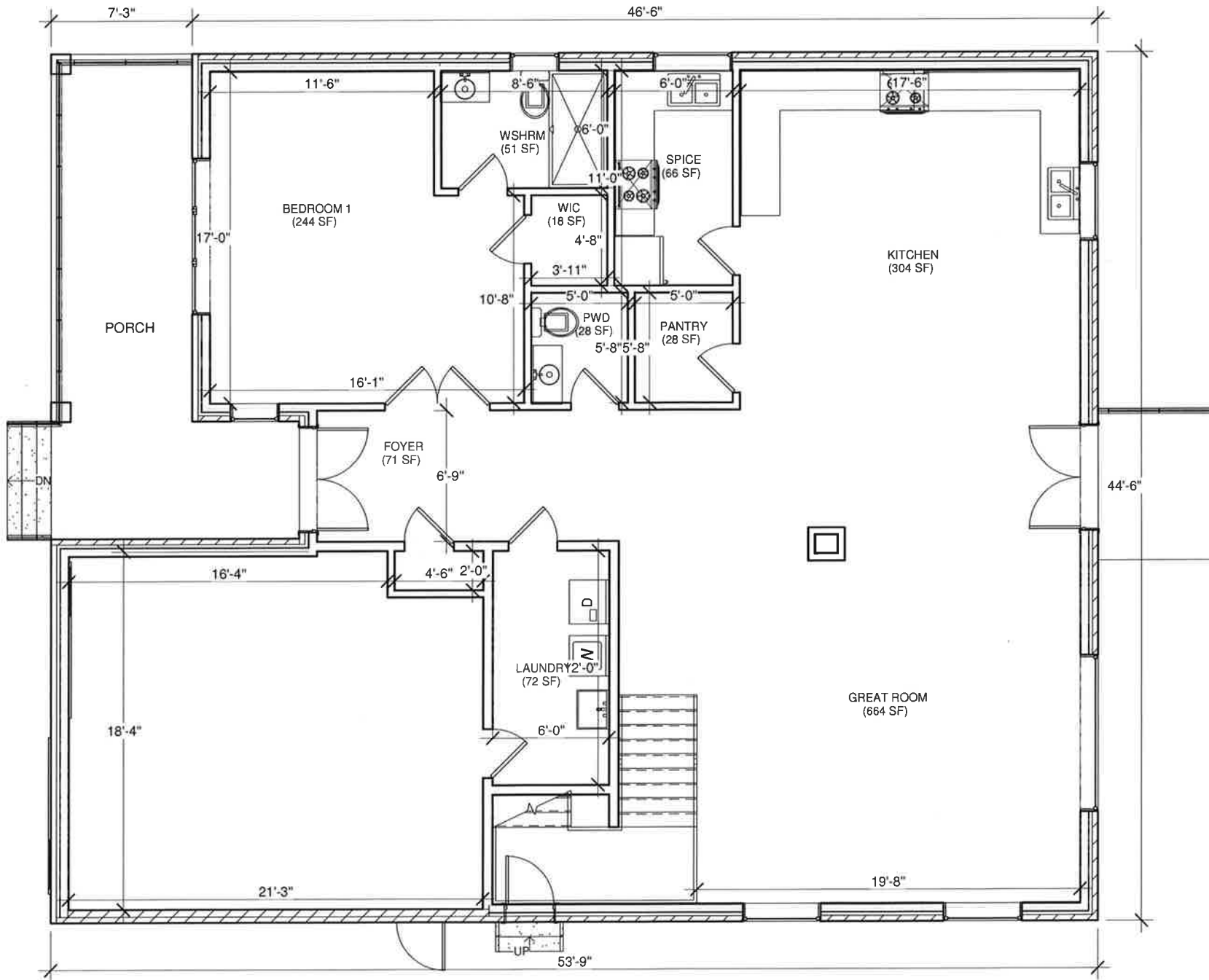
ADDRESS:  
6 BROOKDALE CRES  
BRAMPTON, ONTARIO

DRAWN BY: NK CHECKED BY: TR  
PROJECT NUMBER: 23R-

**NOBLE PRIME SOLUTIONS LTD**  
2131 WILLIAMS PARKWAY  
UNIT 19,  
BRAMPTON, ON  
info@nobleltd.ca  
(437) 888 1800

DATE: APR 25/23 TWS: RY:  
SCALE: 1" = 10'-0" A-1





**NOTE:**  
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED  
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG A-6  
**EXISTING GROUND FLOOR AREA: 1597 SF**

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGN ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

**CONCEPTUAL GROUND FLOOR**

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

**QUALIFICATION INFORMATION**  
 (Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

*[Signature]*

FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

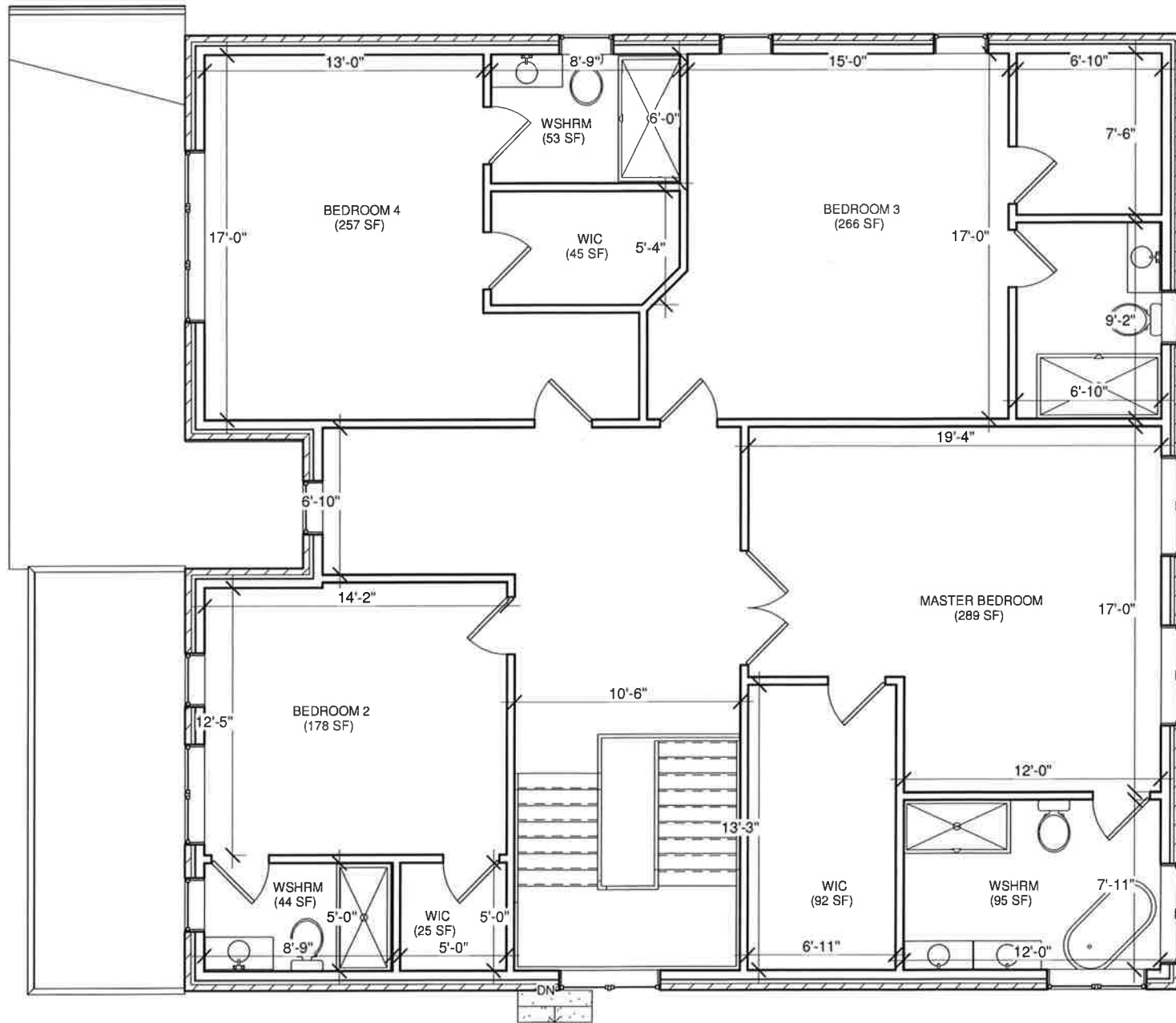
01 ISSUED FOR PERMIT	MAR 02/23
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ADDRESS:  
 6 BROOKDALE CRES  
 BRAMPTON, ONTARIO

DRAWN BY: TR	CHECKED BY: TR
PROJECT NUMBER:	23R-

**NOBLE PRIME SOLUTIONS LTD.**  
 2131 WILLIAMS PARKWAY  
 UNIT 19,  
 BRAMPTON, ON.  
 info@nobleltd.ca  
 (437) 888 1800

DATE: MAR 02/23	DWG No. <b>A-3</b>
SCALE: 3/16" = 1'-0"	



**NOTE:**

ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED  
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG A-6

**EXISTING SECOND FLOOR AREA: 1882 SF**

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

**CONCEPTUAL SECOND FLOOR**

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
 (Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

*Tanvir Rai*

FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

--	--

01 ISSUED FOR PERMIT	MAR 02/23
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ADDRESS:  
 6 BROOKDALE CRES  
 BRAMPTON, ONTARIO

DRAWN BY: PS	CHECKED BY: TR
PROJECT NUMBER:	23R-

**NOBLE PRIME SOLUTIONS LTD.**  
 2131 WILLIAMS PARKWAY  
 UNIT 19,  
 BRAMPTON, ON.  
 info@nobleltd.ca  
 (437) 888 1800

DATE: MAR 02/23	DWG No:
SCALE: 3/16" = 1'-0"	<b>A-4</b>



Elevation 21 - a

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL CONDITIONS AND VARIATIONS OF THE SITE AND VERIFY WITH THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

FRONT ELEVATION

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482
<i>Tanvir Rai</i>	
FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

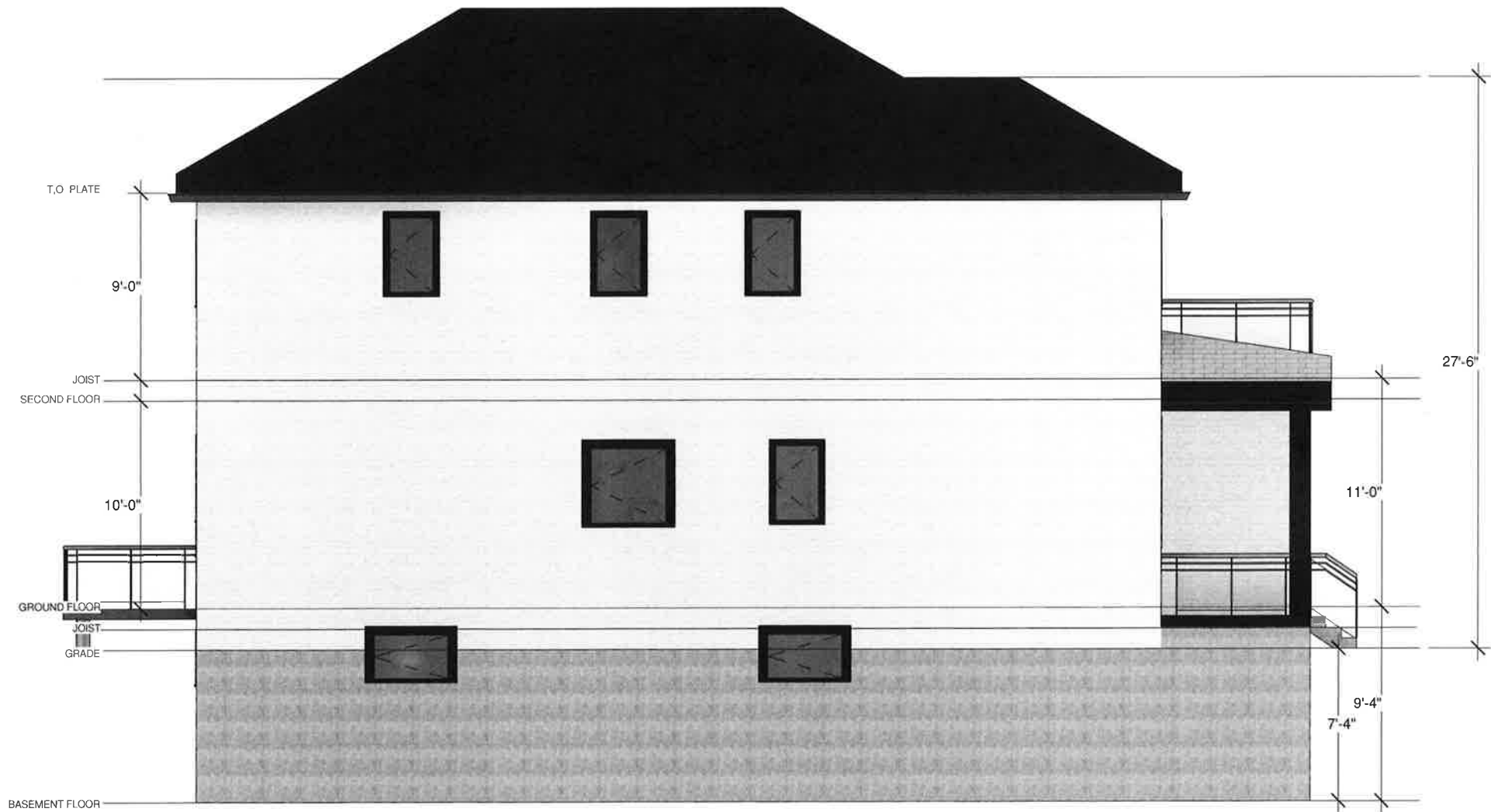
01 ISSUED FOR PERMIT MAR 02/23

ADDRESS:  
6 BROOKDALE CRES  
BRAMPTON, ONTARIO

DRAWN BY: TR CHECKED BY: TR  
PROJECT NUMBER: 23R-

**NOBLE PRIME SOLUTIONS LTD.**  
2131 WILLIAMS PARKWAY  
UNIT 19,  
BRAMPTON, ON.  
info@nobleltd.ca  
(437) 888 1800

DATE: MAR 02/23 DWG No.:  
SCALE: 3/16" = 1'-0" **A-6.1**



**NOTE:**  
FOR DETAILED SPECIFICATIONS AND LEGEND SEE DWG A-6

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

**LEFT SIDE ELEVATION**

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
(Required unless design is exempted under 3.2.5 Division C of OBC)

<b>DESIGNER</b>	<b>BCIN</b>
Tanvir Rai	103482

*Tanvir Rai*

<b>FIRM</b>	<b>BCIN</b>
Noble Prime Solutions Ltd	118716

MAR 02/23

01	ISSUED FOR PERMIT	MAR 02/23
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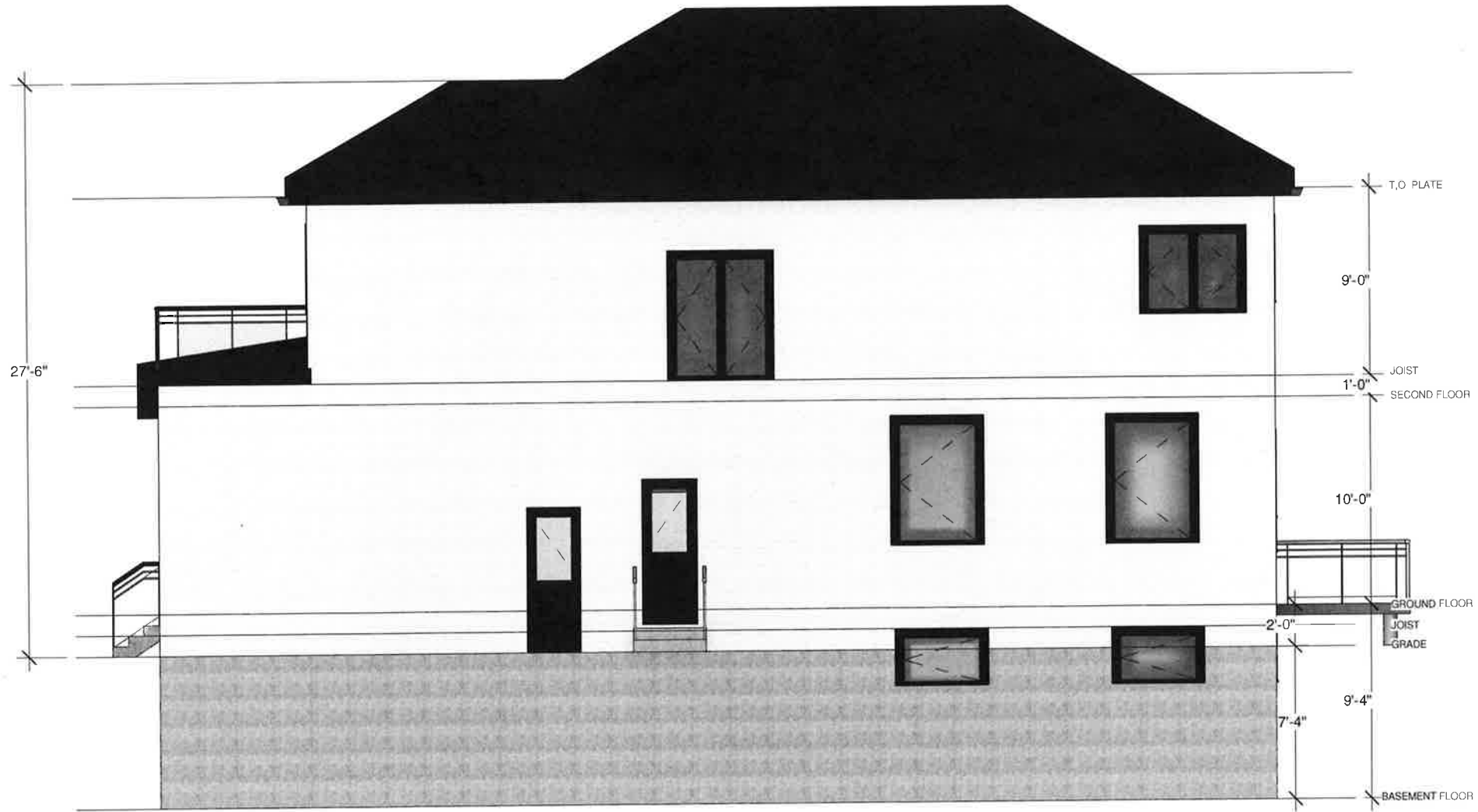
ADDRESS:  
6 BROOKDALE CRES  
BRAMPTON, ONTARIO

DRAWN BY: PS	CHECKED BY: TR
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PROJECT NUMBER: 23R-

**NOBLE PRIME SOLUTIONS LTD.**  
2131 WILLIAMS PARKWAY  
UNIT 19,  
BRAMPTON, ON.  
info@nobleltd.ca  
(437) 888 1800

DATE: MAR 02/23	DWG No: <b>A-6.2</b>
SCALE: 3/16" = 1'-0"	



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER IN WRITING OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

**RIGHT SIDE ELEVATION**

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
(Required unless design is exempted under 3.2.5 Division C of OBC)

<b>DESIGNER</b>	<b>BCIN</b>
Tanvir Rai	103482

*Tanvir Rai*

<b>FIRM</b>	<b>BCIN</b>
Noble Prime Solutions Ltd	118716

MAR 02/23

01 ISSUED FOR PERMIT	MAR 02/23
----------------------	-----------

ADDRESS:  
6 BROOKDALE CRES  
BRAMPTON, ONTARIO

DRAWN BY: TR	CHECKED BY: TR
PROJECT NUMBER: 23R-	

**NOBLE PRIME SOLUTIONS LTD.**  
2131 WILLIAMS PARKWAY  
UNIT 19,  
BRAMPTON, ON.  
info@nobletd.ca  
(437) 888 1800

DATE: MAR 02/23	DWG. No. A-6.3
SCALE: 3/16" = 1'-0"	





**NOTE:**

FOR DETAILED SPECIFICATIONS AND LEGEND SEE DWG A-6

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL CONDITIONS ON SITE AND NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

**REAR ELEVATION**

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
(Required unless design is exempted under 3.2.5 Division C of OBC)

<b>DESIGNER</b>	<b>BCIN</b>
Tanvir Rai	103482

*Tanvir Rai*

<b>FIRM</b>	<b>BCIN</b>
Noble Prime Solutions Ltd	118716

MAR 02/23

01 ISSUED FOR PERMIT	MAR 02/23
----------------------	-----------

ADDRESS:  
6 BROOKDALE CRES  
BRAMPTON, ONTARIO

DRAWN BY: NS	CHECKED BY: JB
--------------	----------------

PROJECT NUMBER: 23R-

**NOBLE PRIME SOLUTIONS LTD**

2131 WILLIAMS PARKWAY,  
UNIT 19,  
BRAMPTON, ON,  
info@nobleltd.ca  
(437) 888 1800  
(647) 207 5470

DATE: MAR 02/23	DWG No:
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SCALE: 3/16" = 1'-0"	<b>A-6.4</b>
----------------------	--------------



a

b

c

d

e

A-2023-0148

J4

J5

J3