

Public Notice

Committee of Adjustment

APPLICATION # A-2023-0185 WARD #8

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MONTEREY PARK HOLDING CORP** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Blocks C and X, Plan 977, Parts 3 to 14, Plan 43R-13465 municipally known as **1 GATEWAY BOULEVARD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

- 1. To permit a motor vehicle repair shop having a maximum gross floor area of 750 square metres whereas the by-law does not permit a motor vehicle repair shop;
- 2. To permit 541 parking spaces on site whereas the by-law requires a minimum of 587 parking spaces.

OTHER PLANNING APPLICATIONS:

The land which is subject of	this application is	s the subject of an application under the Planning Act for:
Plan of Subdivision: Application for Consent:	NO NO	File Number: File Number:
The Committee of Adjustme	nt has appointed	TUESDAY, July 11, 2023 at 9:00 A.M. by electronic meeting

The Committee of Adjustment has appointed **TUESDAY**, **July 11**, **2023** at **9:00 A.M.** by **electronic meeting broadcast from the Council Chambers**, **4th Floor**, **City Hall**, **2 Wellington Street West**, **Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

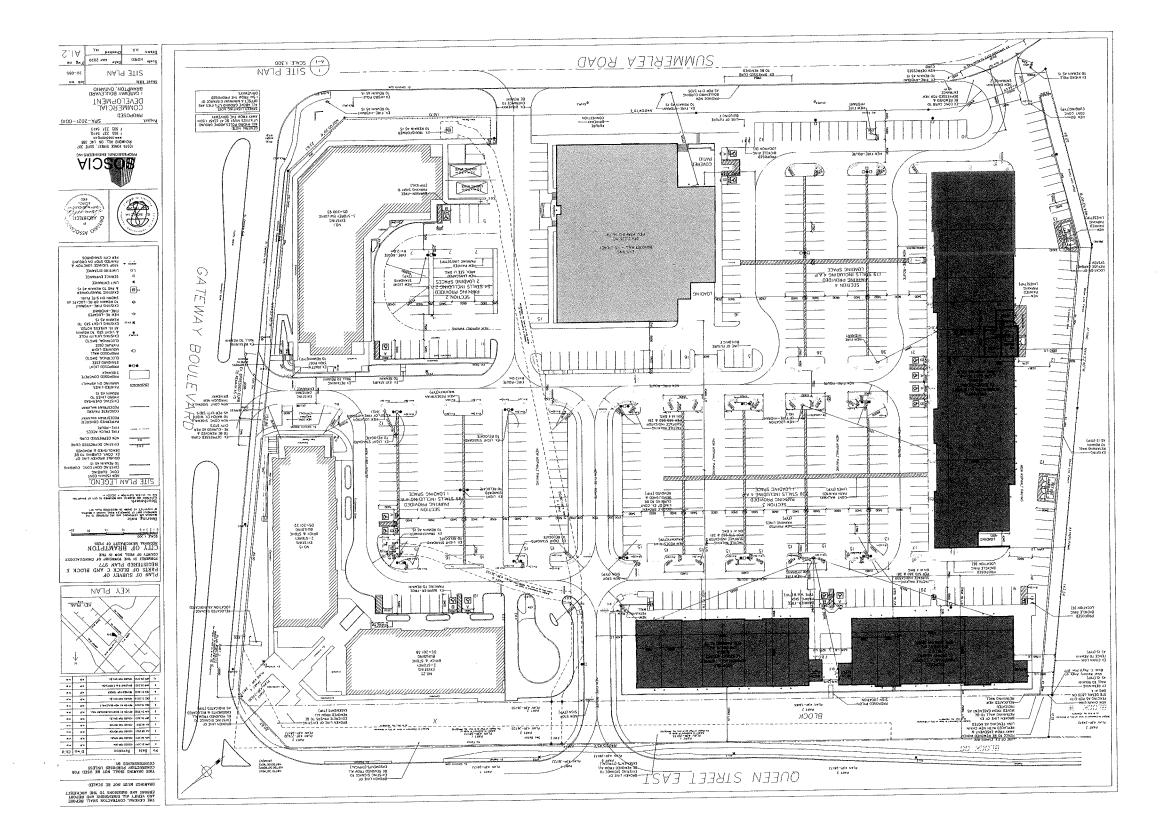
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119 jeanie.myers@brampton.ca





Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **July 11, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm**, **Thursday**, **July 8**, **2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 - Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at <u>cityclerksoffice@brampton.ca</u> or <u>jeanie.myers@brampton.ca</u> by 4:30 pm Thursday, July 8, 2023.
- 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by 4:30 pm Thursday, July 8, 2023..
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and
 the application you wish to speak to by **Thursday**, **July 8**, **2023**. City staff will contact you and provide you
 with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

• All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



#446-1111 Davis Drive, Unit 23 Newmarket, Ontario L3Y 9E5 Phone (416) 417-1357 randaldickie@rogers.com

A-2023-0185

May 18, 2023

TO: City of Brampton

Committee of Adjustment 2 Wellington Street West Brampton ON L6Y 4R2

Re: Application for Minor Variance

Monterey Park Holdings Inc.

1 Gateway Boulevard City of Brampton

Site Plan Control Application File: SPA-2021-0010 (Previously SP-17-043.000)

We are submitting this application for a minor variance to the Committee of Adjustment to permit:

- 1. A **Motor Vehicle Repair Shop**, to a maximum GFA of 750 m² as a permitted use on this site, whereas the current zoning by-law does not permit the use;
- 2. To permit the Motor Vehicle Repair Shop to provide parking at a rate of 1 parking space per 23m² (the shopping centre rate); whereas the Zoning Bylaw requires parking for Motor Vehicle Repair Shop at a rate of 1 parking space per 18m²;
- 3. To permit a total on-site parking supply of 541 parking spaces, whereas the Zoning By-law requires 587 (at the Shopping Centre rate), or a shortfall of 46 parking spaces.

THE SITE

The "Gateway Centre" is an existing 4.3 hectare (10.6 acre) commercial complex, with frontage on Queen Street East, Gateway Boulevard, and Summerlea Road. There are currently 4 separate commercial buildings on site, and the owners are currently completing a Site Plan Control application process with City staff to add 3 additional buildings to the west side of the site. The total Gross Floor Area of all 7 buildings would be 13,482.98 m² (145,100 sq.ft.).

A total parking supply of 541 parking spaces is proposed, which has been supported by a Traffic / Parking Study submitted to City staff for review.



#446-1111 Davis Drive, Unit 23 Newmarket, Ontario L3Y 9E5 Phone (416) 417-1357 randaldickie@rogers.com

OFFICIAL PLAN

The subject site is designated **Service Commercial** in the Airport Intermodal Secondary Plan Area 4, providing for a wide range of commercial uses, including small-scale service uses. This proposal would comply with the Official Plan. The proposed Motor Vehicle Repair Shop, proposed to be limited in location on site as well as size, would be conveniently located to serve the larger employment area as well as the travelling public. Granting this variance would maintain the intent and purpose of the Official Plan.

ZONING BY-LAW

The current zoning on the property is Service Commercial (SC-199) providing for a wide range of office and commercial uses; however, the requested Motor Vehicle Repair Shop use is not one of them.

The proposed use is very similar to other already permitted uses, such as retail, and service shop. No physical changes will occur to the building or site plan in any way as a result of the use, other than rear access doors to the service bays. The site is well situated on the periphery of an employment area, where vehicles can be serviced while people are at work, and yet the location is not along the Queen Street frontage, soe the City's urban design objectives are maintained. The intent and purpose of the Zoning By-law is maintained in the granting of this variance.

PARKING

The site plan proposes a total parking supply of 541 parking spaces, whereas the zoning by-law would require 587 parking spaces, or a shortfall of 46, representing a shortfall of approximately 7.8 %. A Traffic / Parking study has been submitted in support of the proposal, and it is noted that the range of uses (i.e., offices, banquet hall, and restaurant) tend to generate parking demand at different times of the day and week, so it is our position that the supply of 541 is more than sufficient for the uses on site.

We ask that the Committee grant the request, for the following reasons:

- 1. It meets the four test of Section 45 of the Planning Act;
- 2. Provides space for a use in demand in the surrounding employment area;
- 3. Will have no physical impact on either the building or the overall commercial site;



#446-1111 Davis Drive, Unit 23 Newmarket, Ontario L3Y 9E5 Phone (416) 417-1357 randaldickie@rogers.com

- 4. Ample parking is available to provide for the use;5. Assist the owner to lease space in the newly developed commercial office building.

Please feel free to contact me at 416-417-1357 if you have any questions, or require additional copies.

Yours truly, URBAN GROWTH INC.

Randal Dickie, MCIP, RPP

President



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of

					application from By-I	_aw 270-2004 .	
1.	Name of (Address	, ,	Monterey Park H ence Avenue Eas		. M3C 1R4		
	Phone # Email	416-225-6364 avi@spicecar	investments.com		Fax #	905-294-2665	
2.	Name of Address	-	Randal Dickie (U Davis Drive, Uni				
	Phone # Email	416-417-1357 randaldickie	@rogers.com		Fax #		
3.	1. A Mot	tor Vehicle ereas the	current zoning	to a maximu by-law does	um GFA of 750 n not permit the u	se;	
	per 23m Vehicle 3. To pe	² (the sho Repair Sh ermit a tota	oping centre ra op at a rate of I on site parkir	ite); whereas 1 parking sp ng supply of	to provide parkings the Zoning By- pace per 18m²; 541 parking space rate), or a short	law requires p	parking for Motor the Zoning
4.					ns of the by-law?	luse.	
	The site	is current		a Site Plan	Control process		010), which
5.	Lot Numi Plan Nun	ber Parts of E	the subject land lock C and Block X ssion Number 1 Gateway Bouley	Registe	red Plan 977 N		
6.	•	on of subject	et land (in metric y 152.86 metres y 222.17 metres	•			
7.	Provincia Municipa	al Highway	ct land is by: ntained All Year		Season Other P Water	al Road ublic Road	

16.

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

r	EXISTING BUILDING	S/STRUCTURES on th	ne subject land: List all structures (dwelling, shed, gazebo, etc.)
l	4 existing buildings	to remain, including:	
- 1	- 2 - commercial of	fice buildings	
-	- 1 - 3 storey comm	nercial office building	
- 1	- 1 - 1 storey banqı	uet hall	
	with a total combin	ed GFA of 9,255.09 m	n2.
1			
Γ	PROPOSED BUILDIN	NGS/STRUCTURES on	the subject land:
	3 proposed comme	ercial buildings with a	total proposed GFA of 4,227.09 m2.
	Location of all	buildings and str	ructures on or proposed for the subject lands:
		•	and front lot lines in metric units)
	EVICTING		
	EXISTING Examt ward author	3.0	
	Front yard setback	3.0	
	Rear yard setback Side yard setback	15.0	
	Side yard setback	15.0 6.0	
	Side yard Selback	0,0	
	PROPOSED		
	Front yard setback	15.36	
	Rear yard setback	15.99	
	Side yard setback	6.0	
	Side yard setback	6.0	
	•		
	Date of Acquisition	of subject land:	1980's
	*		Mind has Coffee (Batell / Bassuch Hall
	Existing uses of sub	oject property:	Mixed Use / Office / Retail / Banquet Hall
	Proposed uses of se	ubject property:	Mixed Use / Commercial / Retail
	•		
	Existing uses of abo	utting properties:	Industrial / commercial
	Date of construction	n of all buildings & stru	uctures on subject land: 1980's / 2010's
	Length of time the e	existing uses of the sul	bject property have been continued: over 30 years
1)	What water supply i Municipal	is existing/proposed?	Other (specify)
)		- sal is/will be provided¹ □ □	? Other (specify)
;)		ge system is existing/p	roposed?
	Sewers	4	00 (15)
	Ditches _	╡	Other (specify)
	Swales		

17.

Is the subject property the subject of an application under the Planning Act, for approval of a plan of

	subdivision or	consent?						
	Yes 🗸	No 🔲						
	If answer is yes	s, provide details:	File #	SPA-2021-00	010	S	tatus In Rev	iew
18.	Has a pre-cons	ultation application	n been file	ed?				
	Yes	No 🗸						
19.	Has the subjec	t property ever bee	n the sub	ject of an a	plication	for minor v	ariance?	
	Yes	No 🔲		Unknown	√			
	If answer is yes	s, provide details:						
	File #	Decision_				Relief		
	File #	Decision Decision Decision				Relief		
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	I, Randal Dickie			_, OF TH	HE Town	n (OF Newm	arket
IN TH	E Region	OF York		SOLEMNL	/ DECLAR	E THAT:		
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DECLAR	ED BEFORE ME	AT THE						
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1018					11		<u> </u>	Annah
10/14	, 20	23		- 2	Signature o	r Applicant o	or Authorized	Agent
- William								
10		NiscW. McM						
2	2 7	rister, Solicitor, Notary Pu		FICE USE O	NLY			
= 70	Presentation	al Plan Designation	1:					
701	Present Zonin	g By-law Classifica	ation:		SC	C-199		
	This applicati	on has been reviewe	ed with res	spect to the v	ariances re	equired and	the results o	f the
		said review	v are outlir	ned on the at	tached che	ecklist.		
		YOU.				MAY 24.2	23	
		Zoning Officer			_		Date	
		DATE RECEIVED	/	Youre	5. 2	023		
		pplication Deemed	$\overline{/}$,		Revised 2022/02/17
	Complete I	by the Municipality		/				

SITE STATISTIC

BITE GIATIONS			
SITE DEVELOPMENT STATISTICS TOTAL LOT AREA- 43001.2 M° (10.62ACRES) LOT COVERAGE : 22.99 %		PARKING REQUIREMENTS PARKING REQUIRED (MIXED USE) = 1 PER 23 SM	
EXISTING BUILDINGS (FOOTPRINT) : 5,480.96 M ² PROPOSED BUILDINGS (FOOTPRINT) : 4,407.08 M ²		SECTION 1 EXISTING MIXED USE OFFICE GFA = 1,478.8 M²	64.2 SPACES
EXISTING BUILDING STATISTICS		EXISTING MIXED USE ONE STOREY RETAIL GFA = 850.6 M ² SECTION 2	36.98 SPACES
(SECTION 1) EXISTING OFFICE / RETAIL GFA = EXISTING MIXED USE ONE STOREY RETAIL GFA =	1,478.6 M² 850.6 M²	EXISTING OFFICE / RETAIL BUILDING GFA = 4,703.7 M ²	204.508 SPACES
(SECTION 2) EXISTING MIXED USED OFFICE GFA = EXISTING BANQUET HALL GFA =	4,703.7 M ² 2,225.0 M ²	EXISITING BANQUET HALL GFA = 2,225 M ^a	96.74 SPACES
TOTAL GFA =	9,255.9 M ²	SECTION 3 NEW COMMERCIAL BUILDING A GFA = 984.18 M ^a	42.79 SPACES
NEW BUILDING STATISTICS (SECTION 3)		NEW COMMERCIAL BUILDING B GFA = 915.52 M ²	39.80 SPACES
NEW COMMERCIAL ONE STOREY BUILDING A BUILDING AREA = 1,007.84 MP		SECTION 4 NEW COMMERCIAL BUILDING C GFA = 2,327.40 M ²	101.19 SPACES
GFA = BUILDING B BUILDING AREA = 968.94 M ^a GFA =	984.18 M ² 915.52 M ²	TOTAL PARKING REQUIRED TOTAL PARKING PROVIDED SHORTFALL	587 SPACES 541 SPACES 46 SPACES
(SECTION 4)		TOTAL ACCESSIBLE PARKING REQUIRED TOTAL ACCESSIBLE PARKING PROVIDED	13 SPACES 14 (7 TYPE A, 7 TYPE B)
NEW COMMERCIAL ONE STOREY BUILDING C BUILDING AREA = 2,442.36 MP	2.327.40 M²	LOADING REQUIRED LOADING SPACES PROVIDED	4 SPACES 5 SPACES
GFA = TOTAL BUILDING AREA (SECTION 3 - 4) =	4,419.04 M ²	TOTAL BICYCLE PARKING PROVIDED	24
TOTAL GFA (SECTION 3 - 4) =	4,227.08 M ^a		
TOTAL GFA (SECTION 1 - 4) =	13,482.98 M²		

DRAWING LIST - GATEWAY CENTRE

ARCH	HITECTURAL	STORM	WATER MANAGEMENT
A0.0	COVER SHEET	SW 1	GRADING PLAN
SURVE	Y OF PARTS OF BLOCK C AND BLOCK X ERED PLAN 997	SW 2	SITE SERVICING PLAN
A1.0	EXISTING SITE PLAN	SW3	EROSION AND SEDIMENT CONTROL PLAN
A1.2	SITE PLAN	SW 4	TYPICAL NOTES AND DETAILS
A1.3	SITE NOTES AND DETAILS	SW 5	TYPICAL SECTIONS AND DETAILS
A1.4	SITE PLAN DETAILS		
A1.5	SWEPT PATH		
A2.0	FLOOR PLAN & ROOF PLAN (BUILDING A)	ELECT	RICAL
A2.1	FLOOR PLAN & ROOF PLAN (BUILDING B)	E0.01	SITE PLAN ELECTRICAL SERVICES DETAILS
A2.2	FLOOR PLAN & ROOF PLAN (BUILDING C)	E0.02	SITE PLAN LIGHTING DETAILS
A3.0	ELEVATIONS (BUILDING A)	E0.03	ELECTRICAL DETAILS
A3.1	ELEVATIONS (BUILDING B)	E1.01	ELECTRICAL SERVICES PLAN
A3.2	ELEVATIONS (BUILDING C)	E1.02	PHOTOMETRIC STUDY
A3.6	BUILDING FINISHES	E1.03	EXTERNAL LIGHT
		E1.04	ELECTRICAL SERVICES CALCULATIONS
LAND	SCAPE		
L1	LANDSCAPE PLAN		
L2	LANDSCAPE PLAN DETAILS		

PROPOSED COMMERCIAL DEVELOPMENT 1 GATEWAY BLVD, BRAMPTON ONTARIO



LOCATION PLAN

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITE

DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSRUCTION PURPOSES UNLESS

No.	Date:	Revision:	D'wn.	Ch
0	WR.24,2017	ISSUED FOR SPA	NR.	н
1	WOV 30,2020	ISSUED FOR SPA #2	N.P.	-
2	JUL 19,2021	ISSUED FOR REVIEW	NR.	-
3	SEP 30,2021	ISSUED FOR SPA \$3	NR.	*
	JUN 24,2022	REVIEW W/ EXIST BANGUET HALL	N.R.	
5	DEC 21,2022	ISSUED FOR SPA #4	NR.	
	MAR 20,202	BUILDING B & C REVISION	N.R.	*
7	APR 28,202.5	ISSUED FOR SPA #5	N.R.	*



PLAN OF SURVEY OF PARTS OF BLOCK C AND BLOCK X REGISTERED PLAN 977 PORMERLY IN THE TOWNSHIP OF CHINGUACOUSY COUNTY OF PEEL NOW IN THE CITY OF BRAMTPTON REGIONAL WINICIPALITY OF PEEL

SCALE 1:300 0 1 2 3 4 5 10 15 20

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ONTARIO BUILDING CODE DATA MATRIX

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ONTARIO BUILDING CODE DATA MATRIX

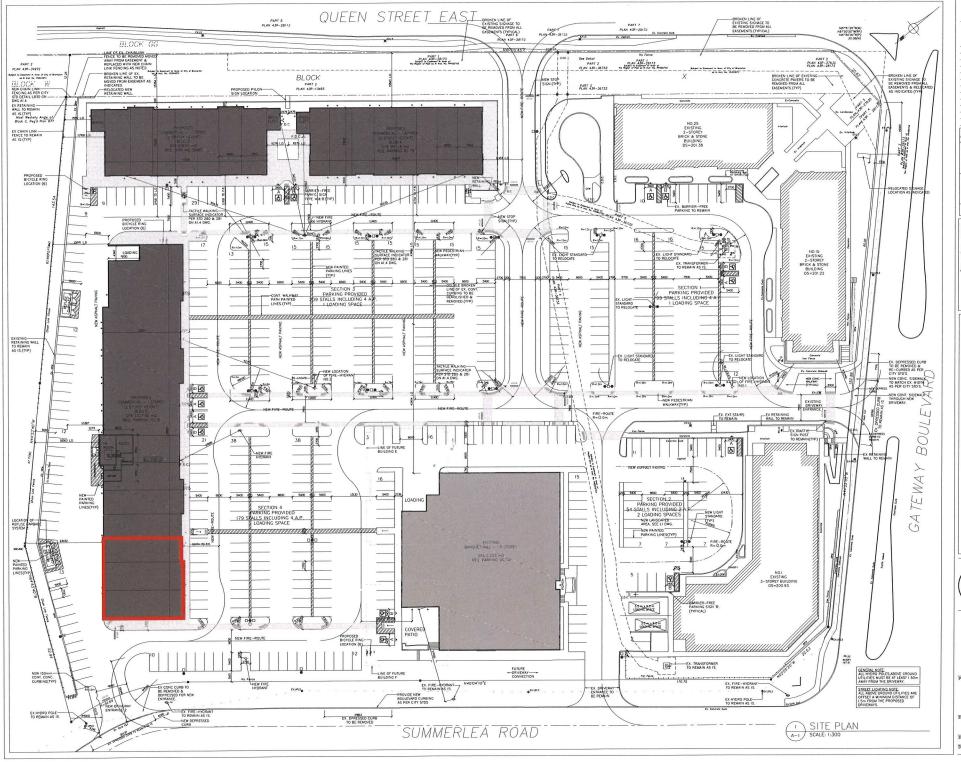
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10376 YONGE STREET, SUITE 30 RICHMOND HILL, ON. L4C 388 www.soscideng.co T 905. 237 5410

Project: SPA-202IPROPOSED
COMMERCIAL
DEVELOPMENT
I GATEWAY BOULEVARD
BRAMPTON NONZERIO



THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT

DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSRUCTION PURPOSES UNLESS

No.	Date:	Revision:	D'wn	C
0	APR 24,2017	ISSUED FOR SPA	N.R.	H.M
1	MOV 30.202	ISSUED FOR 914/2	N.R.	ни
2	AA, 08,2021	ISSUED FOR REVIEW	N.R.	ни
3	JA 18,2021	ISSUED FOR REVIEW	N.R.	ни
	SEP 30,7021	ISSUED FOR SPA \$3	N.R.	ны
5	AN 24,2022	REVIEW W/ EXISTING BANQUET HALL	N.R.	ни
6	OEC 12,2022	REVIEW W/ NEW BUILDING C	NA.	ны
7	OEC 21,2022	135UED FOR SPA JA	N.R.	ны
	FEB 24,2023	REVISED FOR TEXCER	N.P.	ны
,	MAR 20,202.5	BUILDING B & C REVISION	N.R.	нм
10	APR 28,2023	ISSUED FOR SPA \$5	N.R.	нм



PLAN OF SURVEY OF PARTS OF BLOCK C AND BLOCK X REGISTERED PLAN 977 FORWERLY IN THE TOWNSHIP OF CHINGUACOUSY COUNTY OF PEEL NOW IN THE CITY OF BRAMTPTON

Bearing note gaineds are astronome and are referred to be noticedly limit of summerica sold, having a seasons

Benchmark

TLEVATONS ME GEOGETIC AND REFERRED TO GITY OF BRAMPTON

RM No. 14-538 DEVATON = 203531 m

SITE PLAN LEGEND: NEW ISOMM CONT. CONC. CURBING EXISTING CONT.CONC. CURBING TO REMAIN AS IS. DOUBLE BROKEN LINE OF EX. CONT. CURBING TO BE DEMOLISHED & REMOVED

EXISTING DEPRESSED CUR NEW DEPRESSED CURB 0.0 FIRE TRUCK ACCES FIRE-ROUTE PATTERNED CONCRETE PEDESTRIAN WALKWAY

CONCRETE PAVERS PEDESTRIAN WALKWAY EXISTING OVERHEAD HYDRO LINES TO REMAIN AS IS.

PAINTED LINES MARKING ON ASPHALT THE WAY PROPOSED CONCRETE SIDEWALK

PROPOSED LIGHT STANDARD.(SEE ELECTRICAL DWG'S)

ELECTRICAL DWG'S)
POPOSED WAL
MOUNTED LIGHT
FIXTURE (SEE
LECTRICAL DWG'S)
EXISTING UTILITY POLE
EXISTING UTILITY POLE
EXISTING LIGHT STD. TO
REMAIN AS IS.
WELLES NOTED.
REMAIN AS IS. EXLIPLS

NEW RE-LOCATED FIRE-HYDRANT EXISTING FIRE-HYDRANT TO REMAIN OR RE-LOCATE AS SHOWN ON SITE PLAN.

EXISTING TRANSFORMER & PAD TO REMAIN AS IS: UNIT ENTRANCE

SERVICE ENTRANCE L.D. LIMITING DISTANCE
STOP SIGNAGE LOACTION &
PAINTED STOP ON GROUND
PER CITY STANDARDS





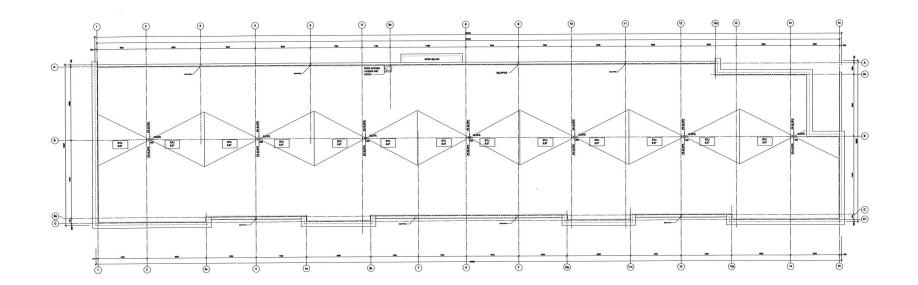


10376 YONGE STREET, SUITE 307 RICHMOND HILL, ON. L4C 3B8 www.soscieng.ca T 905. 237. 5410 F 905. 237. 5413

SPA-2021-0010 PROPOSED COMMERCIAL DEVELOPMENT

Sheet title: SITE PLAN Scale: NOTED Date: MAY 2020 D'wg. no.

Drawn: N.R. Checked: H.L. Al. 2



Controller must cheek and with all dementions and its resistant community and communit

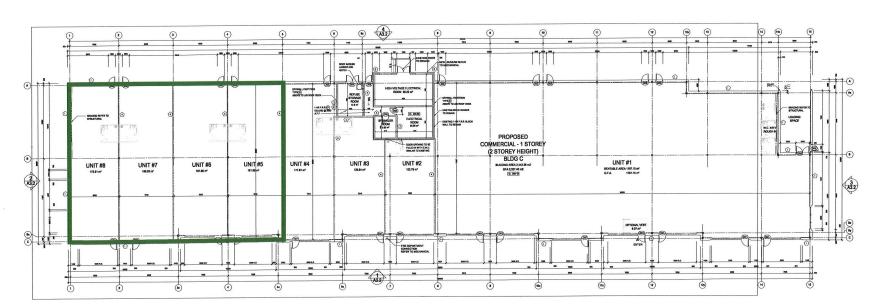
The Controctor shall check all dimensions and other data from the job and report any disrepancies to

No.	Date:	Revision:
0	APR 24, 2017	ISSUED FOR SPA
1	NOV.30, 2020	ISSUED FOR SPA #2
2	SEP.30, 2021	ISSUED FOR SPA #3
3	JUL 14, 2022	ISSUED FOR CLIENT REVIEW
4	OEC.21, 2022	ISSUED FOR SPA #4
5	FEB. 24, 2023	REVISED FOR TENDER
6	APR 26, 2023	ISSUED FOR SPA #5



BUILDING 'C' ROOF PLAN

A2 2) SCALE: 1:150



BUILDING 'C' GROUND FLOOR PLAN
SCALE: H:50





Project: PROPOSED	SPA-2021-0010
COMMER DEVELOR	CIAL PMENT
I GATEWAY B BRAMPTON,	OULEVARD ONTARIO
Sheet title: FLOOR PLAN ROOF PLAN BUILDING 'C'	20-055
Scale: Date AS SHOWN	UN 14 2000
Drawn: Ches	ked A2.2

