

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MONTEREY PARK HOLDING CORP** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Blocks C and X, Plan 977, Parts 3 to 14, Plan 43R-13465 municipally known as **1 GATEWAY BOULEVARD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a motor vehicle repair shop having a maximum gross floor area of 750 square metres whereas the by-law does not permit a motor vehicle repair shop;
2. To permit 541 parking spaces on site whereas the by-law requires a minimum of 587 parking spaces.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____ File Number: _____
Application for Consent: _____ **NO** _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, July 11, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 29th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **July 11, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, July 8, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 8, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, July 8, 2023..**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, July 8, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



#446-1111 Davis Drive, Unit 23
Newmarket, Ontario
L3Y 9E5
Phone (416) 417-1357
randaldickie@rogers.com

A-2023-0185

May 18, 2023

TO: City of Brampton
Committee of Adjustment
2 Wellington Street West
Brampton ON
L6Y 4R2

Re: Application for Minor Variance
Monterey Park Holdings Inc.
1 Gateway Boulevard
City of Brampton
Site Plan Control Application File: SPA-2021-0010 (Previously SP-17-043.000)

We are submitting this application for a minor variance to the Committee of Adjustment to permit:

1. A **Motor Vehicle Repair Shop**, to a maximum GFA of 750 m² as a permitted use on this site, whereas the current zoning by-law does not permit the use;
2. To permit the Motor Vehicle Repair Shop to provide parking at a rate of 1 parking space per 23m² (the shopping centre rate); whereas the Zoning By-law requires parking for Motor Vehicle Repair Shop at a rate of 1 parking space per 18m²;
3. To permit a total on-site parking supply of 541 parking spaces, whereas the Zoning By-law requires 587 (at the Shopping Centre rate), or a shortfall of 46 parking spaces.

THE SITE

The "Gateway Centre" is an existing 4.3 hectare (10.6 acre) commercial complex, with frontage on Queen Street East, Gateway Boulevard, and Summerlea Road. There are currently 4 separate commercial buildings on site, and the owners are currently completing a Site Plan Control application process with City staff to add 3 additional buildings to the west side of the site. The total Gross Floor Area of all 7 buildings would be 13,482.98 m² (145,100 sq.ft.).

A total parking supply of 541 parking spaces is proposed, which has been supported by a Traffic / Parking Study submitted to City staff for review.



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OFFICIAL PLAN

The subject site is designated **Service Commercial** in the Airport Intermodal Secondary Plan Area 4, providing for a wide range of commercial uses, including small-scale service uses. This proposal would comply with the Official Plan. The proposed Motor Vehicle Repair Shop, proposed to be limited in location on site as well as size, would be conveniently located to serve the larger employment area as well as the travelling public. Granting this variance would maintain the intent and purpose of the Official Plan.

ZONING BY-LAW

The current zoning on the property is Service Commercial (SC-199) providing for a wide range of office and commercial uses; however, the requested Motor Vehicle Repair Shop use is not one of them.

The proposed use is very similar to other already permitted uses, such as retail, and service shop. No physical changes will occur to the building or site plan in any way as a result of the use, other than rear access doors to the service bays. The site is well situated on the periphery of an employment area, where vehicles can be serviced while people are at work, and yet the location is not along the Queen Street frontage, so the City's urban design objectives are maintained. The intent and purpose of the Zoning By-law is maintained in the granting of this variance.

PARKING

The site plan proposes a total parking supply of 541 parking spaces, whereas the zoning by-law would require 587 parking spaces, or a shortfall of 46, representing a shortfall of approximately 7.8 %. A Traffic / Parking study has been submitted in support of the proposal, and it is noted that the range of uses (i.e., offices, banquet hall, and restaurant) tend to generate parking demand at different times of the day and week, so it is our position that the supply of 541 is more than sufficient for the uses on site.

We ask that the Committee grant the request, for the following reasons:

1. It meets the four test of Section 45 of the Planning Act;
2. Provides space for a use in demand in the surrounding employment area;
3. Will have no physical impact on either the building or the overall commercial site;



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Newmarket, Ontario
L3Y 9E5
Phone (416) 417-1357
randaldickie@rogers.com

4. Ample parking is available to provide for the use;
5. Assist the owner to lease space in the newly developed commercial office building.

Please feel free to contact me at 416-417-1357 if you have any questions, or require additional copies.

Yours truly,
URBAN GROWTH INC.

Randal Dickie, MCIP, RPP
President

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0185.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Monterey Park Holding Corp.
Address 1002 Lawrence Avenue East, Toronto, ON, M3C 1R4

Phone # 416-225-6364 **Fax #** 905-294-2665
Email avi@spicecartinvestments.com

2. **Name of Agent** Randal Dickie (Urban Growth Inc.)
Address #446-1111 Davis Drive, Unit 23, Newmarket, ON, L3Y 9E5

Phone # 416-417-1357 **Fax #** _____
Email randaldickie@rogers.com

3. **Nature and extent of relief applied for (variances requested):**

1. A Motor Vehicle Repair Shop, to a maximum GFA of 750 m² as a permitted use on this site, whereas the current zoning by-law does not permit the use;
2. To permit the Motor Vehicle Repair Shop to provide parking at a rate of 1 parking space per 23m² (the shopping centre rate); whereas the Zoning By-law requires parking for Motor Vehicle Repair Shop at a rate of 1 parking space per 18m²;
3. To permit a total on site parking supply of 541 parking spaces, whereas the Zoning By-law requires 587 (at the Shopping Centre rate), or a shortfall of 46 parking spaces.

4. **Why is it not possible to comply with the provisions of the by-law?**

The current site specific Zoning does not permit the proposed use;

The site is current going through a Site Plan Control process (SPA-2021-0010), which includes the proposed parking layout.

5. **Legal Description of the subject land:**

Lot Number Parts of Block C and Block X
Plan Number/Concession Number Registered Plan 977
Municipal Address 1 Gateway Boulevard, Brampton, ON

6. **Dimension of subject land (in metric units)**

Frontage approximately 152.86 metres
Depth approximately 222.17 metres
Area 43,001.2 m²

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

4 existing buildings to remain, including:
 - 2 - commercial office buildings
 - 1 - 3 storey commercial office building
 - 1 - 1 storey banquet hall
 with a total combined GFA of 9,255.09 m2.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

3 proposed commercial buildings with a total proposed GFA of 4,227.09 m2.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.0 _____
 Rear yard setback _____
 Side yard setback 15.0 _____
 Side yard setback 6.0 _____

PROPOSED

Front yard setback 15.36 _____
 Rear yard setback 15.99 _____
 Side yard setback 6.0 _____
 Side yard setback 6.0 _____

10. Date of Acquisition of subject land: 1980's _____

11. Existing uses of subject property: Mixed Use / Office / Retail / Banquet Hall _____

12. Proposed uses of subject property: Mixed Use / Commercial / Retail _____

13. Existing uses of abutting properties: Industrial / commercial _____

14. Date of construction of all buildings & structures on subject land: 1980's / 2010's _____

15. Length of time the existing uses of the subject property have been continued: over 30 years _____

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # SPA-2021-0010 Status In Review

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # Decision Relief
File # Decision Relief
File # Decision Relief

Signature of Applicant(s) or Authorized Agent

DATED AT THE OF

THIS DAY OF , 20

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Randal Dickie, OF THE Town OF Newmarket

IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

TOWN OF NEWMARKET
IN THE REG. MUN OF YORK THIS 18th DAY OF MAY 2023

Signature of Applicant or Authorized Agent

A Commissioner, etc. Curtis W. McMinn
Minister, Solicitor, Notary Public

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification: SC-199

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

MAY 24 23 Date

DATE RECEIVED June 5, 2023

Date Application Deemed Complete by the Municipality

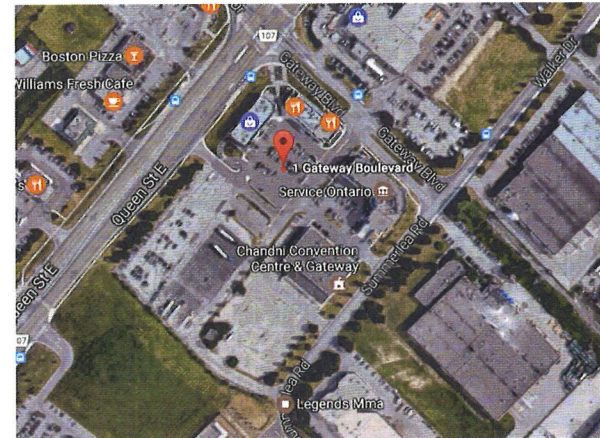
SITE STATISTIC

SITE DEVELOPMENT STATISTICS		PARKING REQUIREMENTS	
TOTAL LOT AREA= 43001.2 M ² (10.62ACRES)		PARKING REQUIRED (MIXED USE) = 1 PER 23 M	
LOT COVERAGE : 22.99 %		SECTION 1	
EXISTING BUILDINGS (FOOTPRINT) : 5,480.96 M ²		EXISTING MIXED USE OFFICE GFA = 1,476.6 M ²	
PROPOSED BUILDINGS (FOOTPRINT) : 4,407.08 M ²		EXISTING MIXED USE ONE STOREY RETAIL GFA = 850.0 M ²	
EXISTING MIXED USE ONE STOREY RETAIL GFA = 850.0 M ²		EXISTING MIXED USE ONE STOREY RETAIL GFA = 850.0 M ²	
EXISTING MIXED USE OFFICE GFA = 4,703.7 M ²		SECTION 2	
EXISTING BANQUET HALL GFA = 2,225.0 M ²		EXISTING OFFICE / RETAIL BUILDING GFA = 4,703.7 M ²	
TOTAL GFA = 9,255.9 M ²		EXISTING BANQUET HALL GFA = 2,225 M ²	
NEW BUILDING STATISTICS		SECTION 3	
(SECTION 3)		NEW COMMERCIAL BUILDING A GFA = 954.18 M ²	
NEW COMMERCIAL ONE STOREY BUILDING A BUILDING AREA = 1,007.84 M ²		NEW COMMERCIAL BUILDING B GFA = 915.52 M ²	
BUILDING B BUILDING AREA = 954.18 M ²		SECTION 4	
BUILDING C BUILDING AREA = 2,442.30 M ²		NEW COMMERCIAL BUILDING C GFA = 2,327.40 M ²	
TOTAL BUILDING AREA (SECTION 3 - 4) = 4,419.04 M ²		TOTAL PARKING REQUIRED 587 SPACES	
TOTAL GFA (SECTION 3 - 4) = 4,227.08 M ²		TOTAL PARKING PROVIDED 45 SPACES	
TOTAL GFA (SECTION 1 - 4) = 13,482.98 M ²		TOTAL ACCESSIBLE PARKING REQUIRED 13 SPACES	
		TOTAL ACCESSIBLE PARKING PROVIDED 14 (7 TYPE A, 7 TYPE B)	
		LOADING REQUIRED 4 SPACES	
		LOADING SPACES PROVIDED 5 SPACES	
		TOTAL BICYCLE PARKING PROVIDED 24	

DRAWING LIST - GATEWAY CENTRE

ARCHITECTURAL		STORM WATER MANAGEMENT	
AD.0 COVER SHEET	SW 1 GRADING PLAN		
SURVEY OF PARTS OF BLOCK C AND BLOCK X REGISTERED PLAN 977		SW 2 SITE SERVICING PLAN	
A1.0 EXISTING SITE PLAN	SW 3 EROSION AND SEDIMENT CONTROL PLAN		
A1.2 SITE PLAN	SW 4 TYPICAL NOTES AND DETAILS		
A1.3 SITE NOTES AND DETAILS	SW 5 TYPICAL SECTIONS AND DETAILS		
A1.4 SITE PLAN DETAILS			
A1.5 SWEEP PATH			
A2.0 FLOOR PLAN & ROOF PLAN (BUILDING A)	ELECTRICAL		
A2.1 FLOOR PLAN & ROOF PLAN (BUILDING B)	EO.01 SITE PLAN ELECTRICAL SERVICES DETAILS		
A2.2 FLOOR PLAN & ROOF PLAN (BUILDING C)	EO.02 SITE PLAN LIGHTING DETAILS		
A3.0 ELEVATIONS (BUILDING A)	EO.03 ELECTRICAL DETAILS		
A3.1 ELEVATIONS (BUILDING B)	E1.01 ELECTRICAL SERVICES PLAN		
A3.2 ELEVATIONS (BUILDING C)	E1.02 PHOTOMETRIC STUDY		
A3.6 BUILDING FINISHES	E1.03 EXTERNAL LIGHT		
	E1.04 ELECTRICAL SERVICES CALCULATIONS		
LANDSCAPE			
L1 LANDSCAPE PLAN			
L2 LANDSCAPE PLAN DETAILS			

**PROPOSED COMMERCIAL DEVELOPMENT
1 GATEWAY BLVD, BRAMPTON ONTARIO**



LOCATION PLAN

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

No.	Date	Revision	D'w'n	Ch'd
0	19/04/2020	ISSUED FOR SPA	N.R.	N.M.
1	20/05/2020	ISSUED FOR SPA #1	N.R.	N.M.
2	24/05/2020	ISSUED FOR REVIEW	N.R.	N.M.
3	22/06/2020	ISSUED FOR SPA #2	N.R.	N.M.
4	24/06/2020	REVIEW W/ EXIST BANQUET HALL	N.R.	N.M.
5	26/07/2020	ISSUED FOR SPA #4	N.R.	N.M.
6	20/08/2020	BUILDING B & C REVISION	N.R.	N.M.
7	24/09/2020	ISSUED FOR SPA #5	N.R.	N.M.



PLAN OF SURVEY OF PARTS OF BLOCK C AND BLOCK X REGISTERED PLAN 977 FORMERLY IN THE TOWNSHIP OF CHINGOICIOUS COUNTY OF PEELE NOW IN THE CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEELE

SCALE 1:500
0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25

Bearing note
MAGNETIC NORTH AND TRUE NORTH ARE REFERRED TO THE NORTH-SOUTH LINE OF BRAMPTON HALL, BEING A SQUARE OF METERS AS SHOWN ON REGISTERED PLAN 977

Benchmark
CHANDHI CONVENTION CENTRE AND REFERRED TO CITY OF BRAMPTON B.M. No. 14-15A. ELEVATION = 203.517 m

ONTARIO BUILDING CODE DATA MATRIX

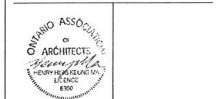
Firm Name: Sociia Professional Engineering		Certificate of Practice Number: 6950	
Name and Address of Project: 1 GATEWAY BLVD (BUILDING A)			
Ontario Building Code Data Matrix - Parts 3 & 9			
1	Project Description, Address & Alterations	2	Major Occupancy GROUP E
3	Building Area (m ²)	4	Construction Code
5	Number of Storeys	6	Number of Occupant/Floor Areas
7	Building Classification	8	System/Type Proposed
9	Shielding required	10	Fire Alarm required
11	Water Service/Supply is adequate	12	High Building
13	Passive Construction	14	Minimum Wind Sp. (m/s)
15	Occupant Load based	16	Barrier-Free Design
17	Horizontal Submittal	18	Required Fire Rating
19	Basal Reinforcement		

ONTARIO BUILDING CODE DATA MATRIX

Firm Name: Sociia Professional Engineering		Certificate of Practice Number: 6950	
Name and Address of Project: 1 GATEWAY BLVD (BUILDING B)			
Ontario Building Code Data Matrix - Parts 3 & 9			
1	Project Description, Address & Alterations	2	Major Occupancy GROUP E
3	Building Area (m ²)	4	Construction Code
5	Number of Storeys	6	Number of Occupant/Floor Areas
7	Building Classification	8	System/Type Proposed
9	Shielding required	10	Fire Alarm required
11	Water Service/Supply is adequate	12	High Building
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15	Occupant Load based	16	Barrier-Free Design
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ONTARIO BUILDING CODE DATA MATRIX

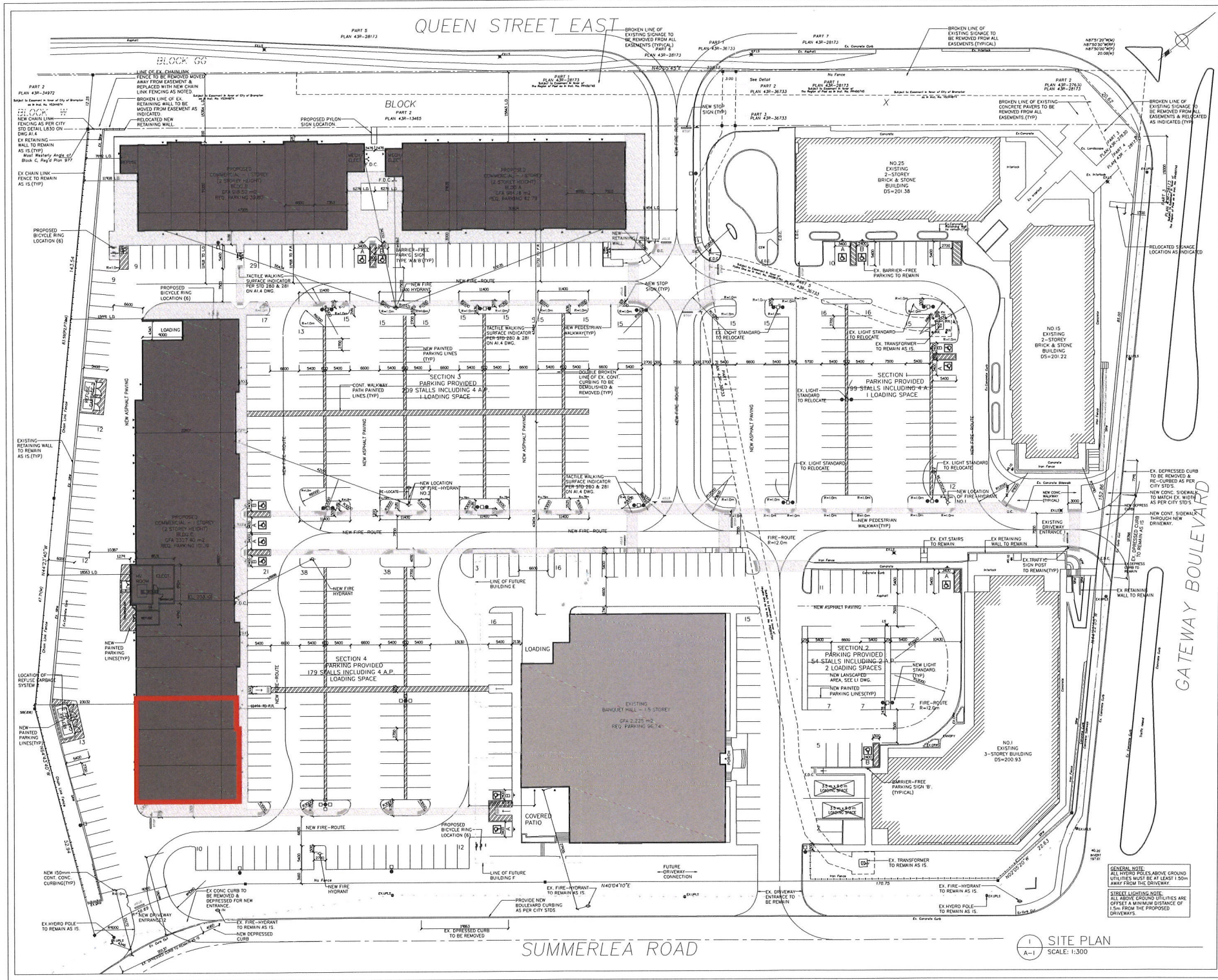
Firm Name: Sociia Professional Engineering		Certificate of Practice Number: 6950	
Name and Address of Project: 1 GATEWAY BLVD (BUILDING C)			
Ontario Building Code Data Matrix - Parts 3 & 9			
1	Project Description, Address & Alterations	2	Major Occupancy GROUP E
3	Building Area (m ²)	4	Construction Code
5	Number of Storeys	6	Number of Occupant/Floor Areas
7	Building Classification	8	System/Type Proposed
9	Shielding required	10	Fire Alarm required
11	Water Service/Supply is adequate	12	High Building
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15	Occupant Load based	16	Barrier-Free Design
17	Horizontal Submittal	18	Required Fire Rating
19	Basal Reinforcement		



10376 YONGE STREET, SUITE 507
RICHMOND HILL, ON L4C 3B8
T 905.237.5410
F 905.237.5413

Project: SPA-2021-0010
PROPOSED COMMERCIAL DEVELOPMENT
1 GATEWAY BOULEVARD
BRAMPTON, ONTARIO

Sheet Title: SITE STATISTIC Job no: 20-055
Scale: NOTED Date: MAY 2020 Dwg no:
Drawn: N.R. Checked: H.L. AO.0



THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

No.	Date	Revision	D'wn	Ch'd
0	APR 24 2021	ISSUES FOR SPA	N.R.	N.A.
1	MAY 20 2021	ISSUES FOR SPA#1	N.R.	N.A.
2	JUN 08 2021	ISSUES FOR SPA#2	N.R.	N.A.
3	JUN 16 2021	ISSUES FOR SPA#3	N.R.	N.A.
4	SEP 30 2021	ISSUES FOR SPA#4	N.R.	N.A.
5	JAN 24 2022	REVIEW R/ EXISTING SIGNAGE PLAN	N.R.	N.A.
6	SEP 13 2022	REVIEW R/ NEW BUILDING C.P.	N.R.	N.A.
7	NOV 13 2022	ISSUES FOR SPA#5	N.R.	N.A.
8	DEC 12 2022	REVIEW FOR FINISH	N.R.	N.A.
9	MAY 20 2023	BUILDING B & C REVISION	N.R.	N.A.
10	MAY 20 2023	ISSUES FOR SPA#6	N.R.	N.A.

KEY PLAN

PLAN OF SURVEY OF PARTS OF BLOCK C AND BLOCK X REGISTERED PLAN 977 FORMERLY IN THE TOWNSHIP OF CHINGUACIOUS COUNTY OF P.E.I. NOW IN THE CITY OF BRAMPTON REGIONAL MUNICIPALITY OF P.E.I.

SCALE: 1:300

Bearing note
THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

Benchmark
THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

SITE PLAN LEGEND:

- NEW EXISTING CONC. CURBING
- EXISTING CONC. CURBING TO REMAIN AS IS
- DOUBLE BROKEN LINE OF EX. CONC. CURBING TO BE DEMOLISHED & RECONSTRUCTED
- EXISTING DEPRESSED CURB
- NEW DEPRESSED CURB
- FIRE TRUCK ACCESS
- FIRE-HYDRANT
- NEW CONC. SIDEWALK TO MATCH EX. WIDTH AS PER CITY STDS.
- PATTERNED CONCRETE PEDESTRIAN WALKWAY
- CONCRETE WALKWAY PEDESTRIAN WALKWAY
- EXISTING OVERHEAD HYDRANT LINES TO REMAIN AS IS
- PAINTED LINES MARKING ON ASPHALT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT STANDARD (SEE ELECTRICAL D.W.G.S)
- PROPOSED WALL MOUNTED LIGHT FIXTURE (SEE ELECTRICAL D.W.G.S)
- EXISTING UTILITY POLE & LIGHT STD. TO REMAIN AS IS, UNLESS NOTED OTHERWISE
- NEW RE-LOCATED FIRE-HYDRANT
- EXISTING FIRE-HYDRANT TO REMAIN OR RE-LOCATE AS SHOWN ON SITE PLAN
- EXISTING TRANSFORMER & PAD TO REMAIN AS IS
- UNIT ENTRANCE
- SERVICE ENTRANCE
- L.D. LIMITING DISTANCE
- STOP SIGNAGE LOCATION & PAINTED STOP ON GROUND PER CITY STANDARDS

GENERAL NOTE:
ALL HYDRANT POLES ABOVE GROUND UTILITIES MUST BE AT LEAST 150mm AWAY FROM THE DRIVEWAY.

STREET LIGHTING NOTE:
ALL ABOVE GROUND UTILITIES ARE OFFSET A MINIMUM DISTANCE OF 150mm FROM THE PROPOSED DRIVEWAYS.

PROFESSIONAL ENGINEERING ASSOCIATION OF ARCHITECTS

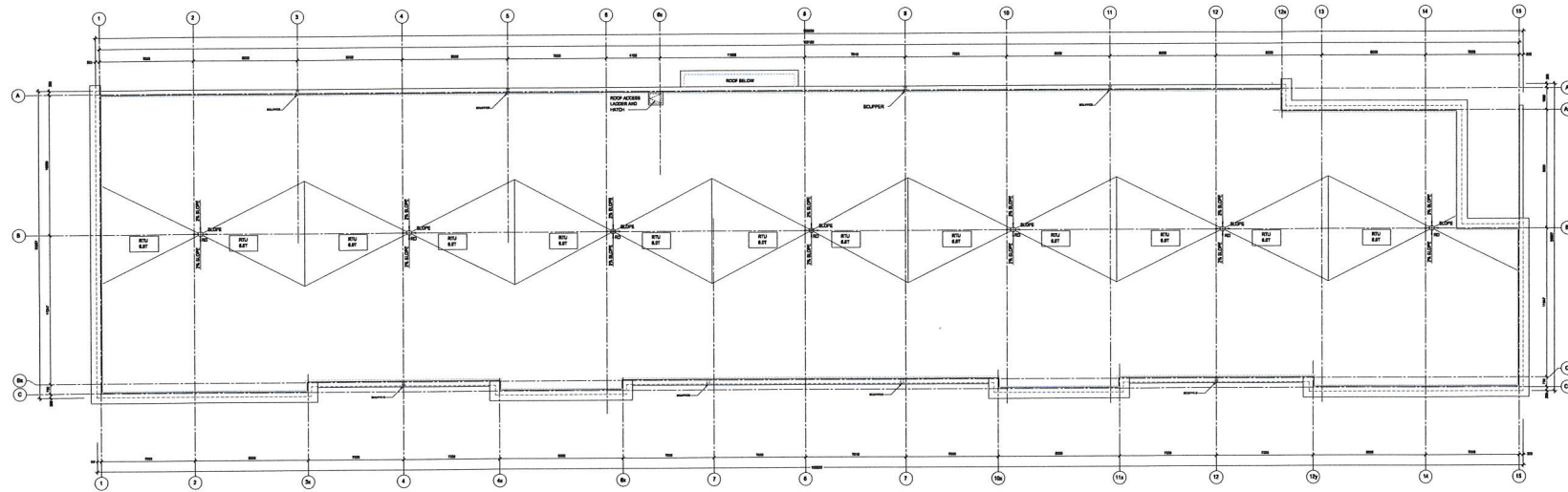
SDSCIA
PROFESSIONAL ENGINEERING

10316 YONGE STREET, SUITE 307
ROSWOOD HILL, ON L4C 3B8
T 905.237.5410
F 905.237.5413

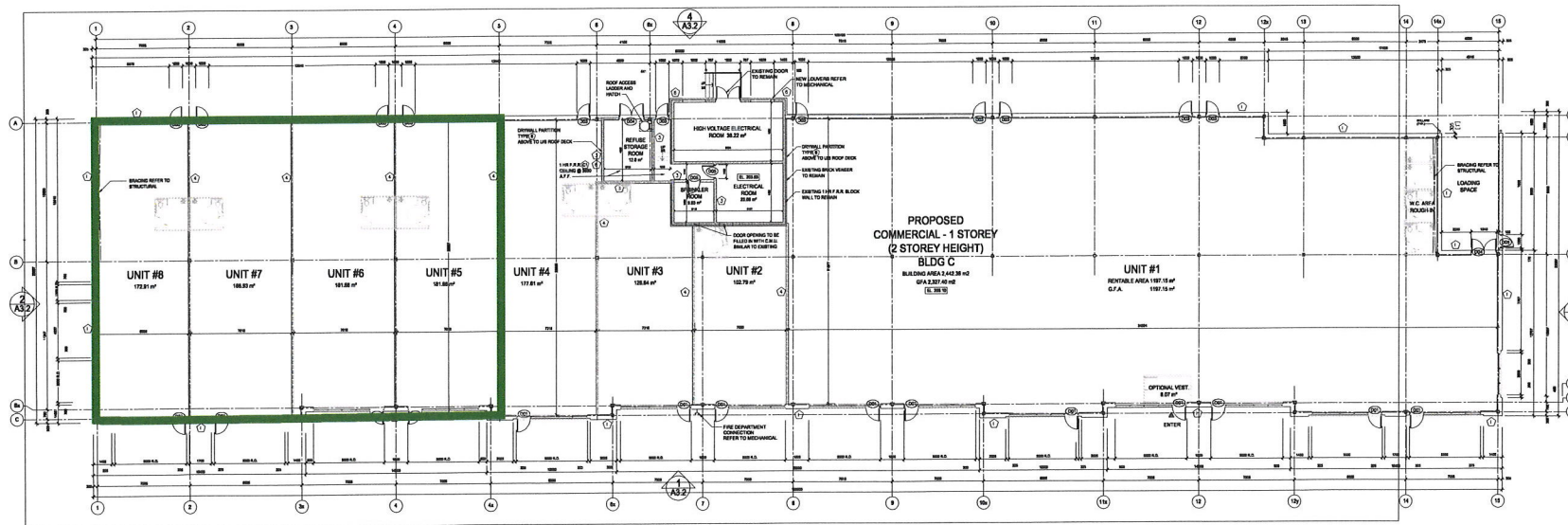
Project: SPA-2021-0010
Proposed: COMMERCIAL DEVELOPMENT
1 GATEWAY BOULEVARD
BRAMPTON, ONTARIO

Sheet Title: SITE PLAN
Job No: 20-055
Scale: NOTED
Date: MAY 2020
D'wn No: N.R.
Checked: H.L.

SCALE: 1:300



2 BUILDING 'C' ROOF PLAN
SCALE: 1:150

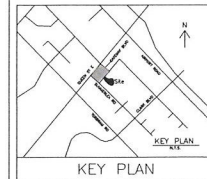


1 BUILDING 'C' GROUND FLOOR PLAN
SCALE: 1:150

Contractor must check all dimensions and be responsible for any, reporting any discrepancies to the Engineer before commencing work.
 Notes shall not be used for construction until signed Approved For Construction by the Engineer.
 Prints are not to be copied.
 All drawings, prints and specifications are the property of the Engineer and shall be returned to him on completion of the job.
 All work shall be performed in accordance with the latest edition of the ONTARIO BUILDING CODE, NATIONAL BUILDING CODE and regulatory requirements of the Town of Richmond Hill Building Department.
 These notes are to be read in conjunction with all drawings and specifications.

The Contractor shall check all dimensions and other data from the job and report any discrepancies to the Architect before proceeding.

No.	Date	Revision:
0	APR 24, 2017	ISSUED FOR SPA
1	NOV 30, 2020	ISSUED FOR SPA #2
2	SEP 30, 2021	ISSUED FOR SPA #3
3	JUL 14, 2022	ISSUED FOR CLIENT REVIEW
4	DEC 21, 2022	ISSUED FOR SPA #4
5	FEB 24, 2023	REVISED FOR TENDER
6	APR 26, 2023	ISSUED FOR SPA #5



Project: SPA-2021-0010

PROPOSED COMMERCIAL DEVELOPMENT
 1 GATEWAY BOULEVARD
 BRAMPTON, ONTARIO

Sheet Title: FLOOR PLAN & ROOF PLAN BUILDING 'C'
 Scale: AS SHOWN
 Date: JUL 14, 2022
 Drawn: A.P.
 Checked: S.S.
 Job. no: 20-055
 Draw. no: A2.2

A-2023-0185

