

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13

Application Number: A-2023-0274
Property Address: 4 RIVER ROAD
Legal Description: LOT 6, CON 5 W.H.S PLAN 43R-360364 RIVER ROAD
Agent: ZULHASH UDDIN
Owner(s): MANJIT SAFRI, AMANDEEP MAHAL
Other applications: nil
under the *Planning Act*

Meeting Date and Time: Tuesday, OCTOBER 3, 2023, at 9:00 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. TO PERMIT AN INTERIOR SIDE YARD SETBACK OF 3.04 METRES TO A PORPOSED DECK, WHEREAS THE BYLAW REQUIRES A MINIMUM INTERIOR YARD SETBACK OF 7.5 METRES.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, and must be received no later than **12:00 pm on Friday, September 29, 2023**
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Friday, September 29, 2023**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

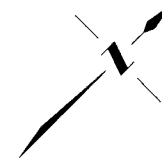
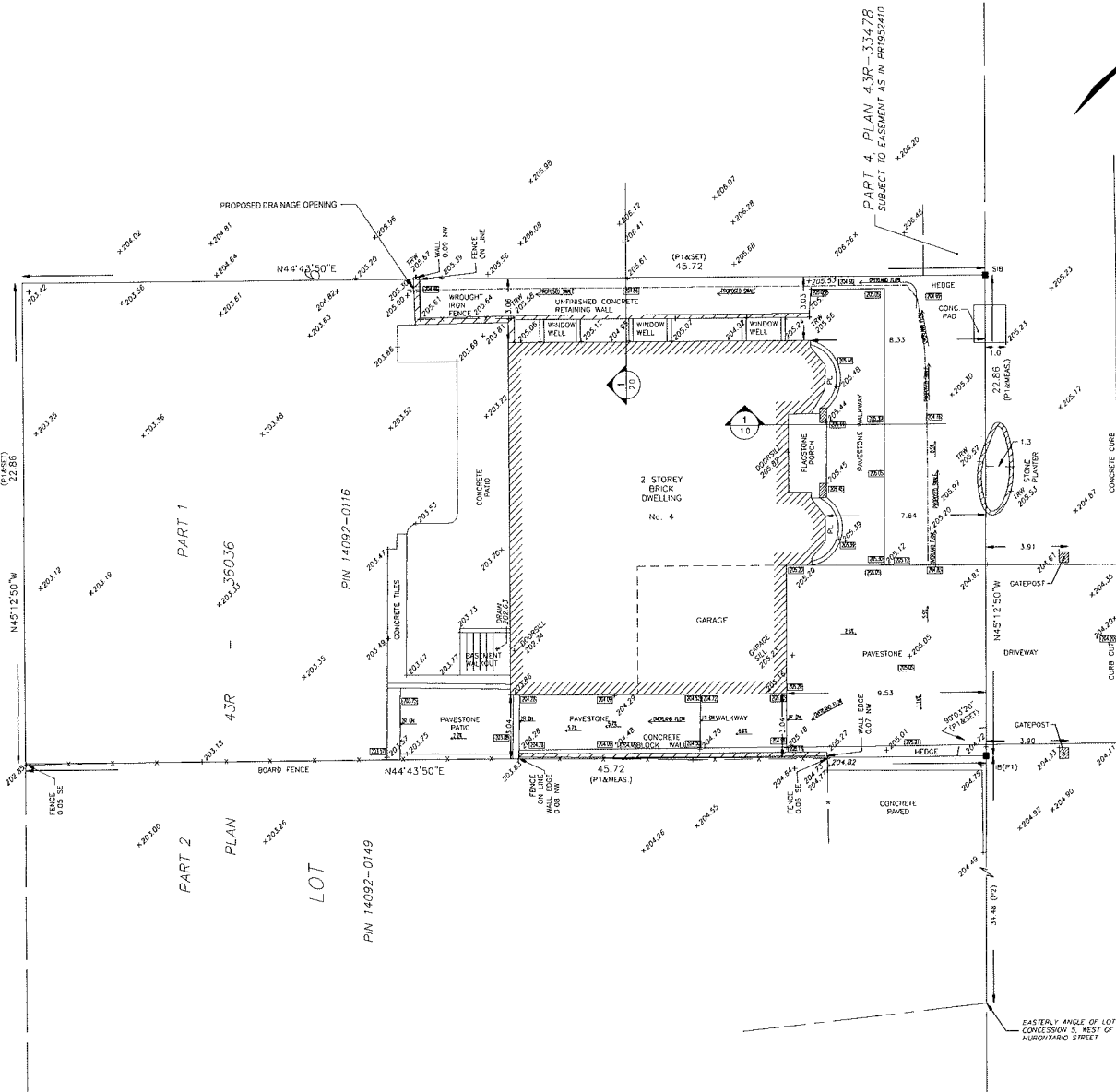
Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 20th day of September 2023

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
P: 905.874.2117
E: coa@brampton.ca

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

PIN 14092-0115
CONCESSION 5, WEST OF HURONTARIO STREET



PLAN OF SURVEY WITH TOPOGRAPHY OF
PART OF LOT 6
CONCESSION 5
WEST OF HURONTARIO STREET
(ORIGINALLY IN TOWNSHIP OF CHINGUACOUSY)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 150
2 1 0 2 4 6 8 10 metres

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2022

REPORT SUMMARY

PROPERTY DESCRIPTION: 4 RIVER ROAD, BEING PART OF LOT 6,
CONCESSION 5, WEST OF HURONTARIO STREET (ORIGINALLY IN TOWNSHIP
OF CHINGUACOUSY), CITY OF BRAMPTON, REGIONAL MUNICIPALITY OF PEEL,
PIN 14092-0115.

EASEMENTS/RIGHTS-OF-WAY: NONE

COMMENTS: NOTE THE LOCATION OF CONCRETE RETAINING WALL, CONCRETE
PAD, GATEPOSTS AND STONE PLANTER.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM OF 1928
(1978 RE-ADJUSTMENT) AND WERE OBTAINED FROM DIRECT REAL TIME
KINEMATIC (RTK) GNSS OBSERVATIONS USING THE H1V2.0 HYBRID GEOID MODEL.

BEARING NOTE

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTHWESTERLY
LIMIT OF RIVER ROAD AS SHOWN ON PLAN 43R-33478, HAVING A
BEARING OF N45°12'30"W.

LEGEND

- | | | |
|-----|---------|---|
| ■ | DENOTES | SURVEY MONUMENT FOUND |
| IB | DENOTES | IRON BAR |
| SIB | DENOTES | STANDARD IRON BAR |
| PL | DENOTES | PLANTER |
| TRW | DENOTES | TOP OF RETAINING WALL |
| P1 | DENOTES | TARASICK McMILLAN KUBICKI LTD., O.L.S.,
SEPTEMBER 16, 2016 |
| P2 | DENOTES | CUNNINGHAM McCONNELL LTD., O.L.S., MAY 30, 2014 |
| ○ | DENOTES | DECIDUOUS TREE WITH TRUNK DIAMETER |
| ⊗ | DENOTES | CONIFEROUS TREE WITH TRUNK DIAMETER |
- TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR MANJIT SAFRI AND THE UNDERSIGNED
ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON NOVEMBER 1, 2022.

DECEMBER 9, 2022

DATE

BORYS KUBICKI
ONTARIO LAND SURVEYOR



TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8949 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: K.M

FILE No. 7346-ASBUILT-T



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manjit Safri & Amandeep Mahal
Address 4 River Road, Brampton ON L6X 0A6

Phone # 647-854-3391 647-990-3391 **Fax #** _____
Email manjitsafri@gmail.com amandeep.mahal@outlook.com

2. **Name of Agent** Zulhash Uddin, P. Eng.
Address 96 Leadership Drive, Brampton ON L6Y 5T2

Phone # 905-456-7166 **Fax #** _____
Email design@pwteam.ca

3. **Nature and extent of relief applied for (variances requested):**
To permit a deck encroachment of 4.46m into the side yard, which results a side yard setback of 3.04m whereas the by-law required a setback of deck at side yard is 7.5m.

4. **Why is it not possible to comply with the provisions of the by-law?**
According to current zoning by-law a minimum of 7.5 m side yard setback is required to construct deck on the same alinement of house is required 4.46m encroachment.

5. **Legal Description of the subject land:**
Lot Number 7
Plan Number/Concession Number PT LT 6 CON 5 WHS CHINGUACOUSY AS IN CH16004 ; BRAMPTON
Municipal Address 4 River Road, Brampton ON L6X 0A6
Roll Number: _____

6. **Dimension of subject land (in metric units)**
Frontage 22.86m
Depth 45.72m
Area 1045.16 sq.m.

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1. One 2 storey building and gross floor area: 445 sq.m.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A deck at rear side 12.50mx4.88m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING Building

Front yard setback 6.828m

Rear yard setback 23.146m

Side yard setback 3.04m left side

Side yard setback 3.04m right side

PROPOSED for DECK

Front yard setback

Rear yard setback

Side yard setback 3.04m left side

Side yard setback

10. Date of Acquisition of subject land: 2016
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Unknown
15. Length of time the existing uses of the subject property have been continued: 7 Years

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☐
Septic ☒

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☐
Ditches ☐
Swales ☐

Other (specify) Surface drainage

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS 03 DAY OF July, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.


I, MANJIT SINGH SAGRI
Zulhash-uddin, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 31 DAY OF
August, 2023.


A Commissioner etc.

 on
Manjit Singh Sagri

Laurie Dianne Robinson
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 22, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

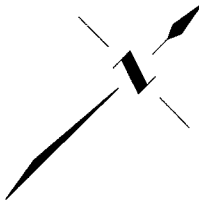
Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED _____



SITE GRADING PLAN
SCALE: 1:150

GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
- 2. CONFIRM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).
- 3. THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH WORK.
- 4. ALL WORKS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS-0, REG. 231/91 LOADING
- 5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV. B PART 4 AND 2010 NBC
- 6. This drawings, as an instrument of service, is provided by i property of Public Works Inc (PWTEAM). The contractor must and accept responsibility for all dimensions and conditions or must notify PWTEAM of any variations from the drawings. PW responsible for the accuracy of survey, structural, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings with work, the construction must conform to all applicable codes and require drawing is not to be scaled.



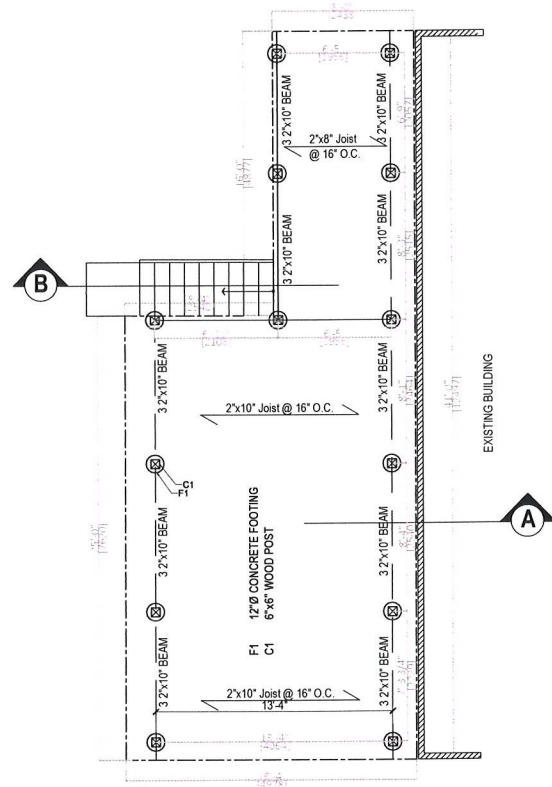
Public Works Team Inc.
PWTEAM Design & Building Permit
86 Leadership Drive
Brampton, ON L6Y 5T2
Phone: 437-974-7166
design@pwteam.ca
www.pwteam.ca

ENGINEER	DESIGNED BY
ZULHASH UDDIN	T. S.

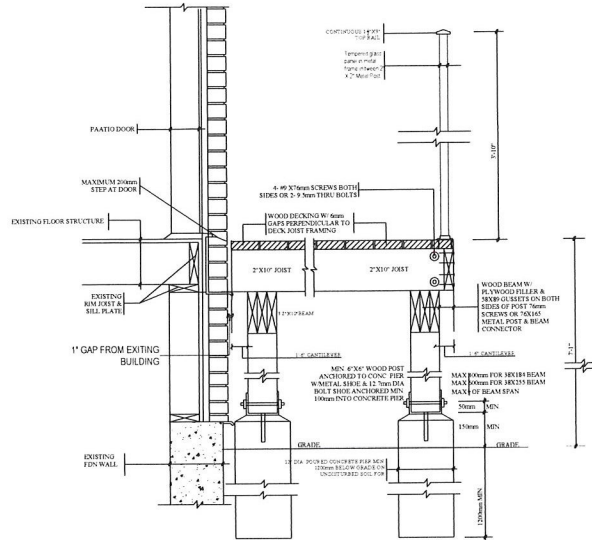
TITLE
SITE PLAN

PROJECT
DECK PERMIT 4 RIVER ROAD, BRAMPTON

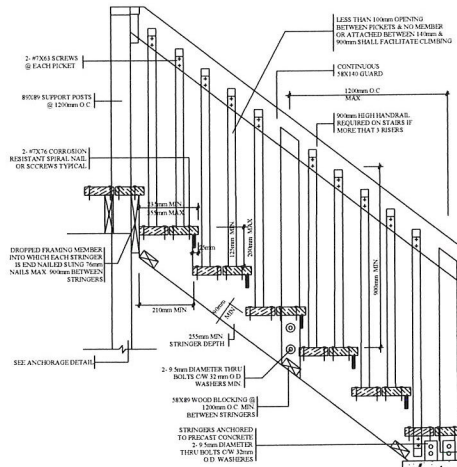
SCALE	AS SHOWN	DWG # A-1.0
DATE	Jun, 2023	
ISSUED FOR	BUILDING PERMIT	



DECK FOUNDATION PLAN
SCALE: 1:150



SECTION-A



SECTION-B



DECK PLAN & SECTION
SCALE: 1/8\"/>

- GENERAL NOTES
1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
 2. CONFIRM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).
 3. THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH WORK.
 4. ALL WORKS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS-O. REG. 231/91 LOADING
 5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV. B PART 4 AND 2010 NBC
 6. This drawings, as an instrument of service, is provided by the property of Public Works Inc (PWTEAM). The contractor must accept responsibility for all dimensions and conditions or must notify PWTEAM of any variations from the drawings. PW responsible for the accuracy of survey, mechanical, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings related with work, the construction must conform to all applicable codes and require drawing is not to be scaled.



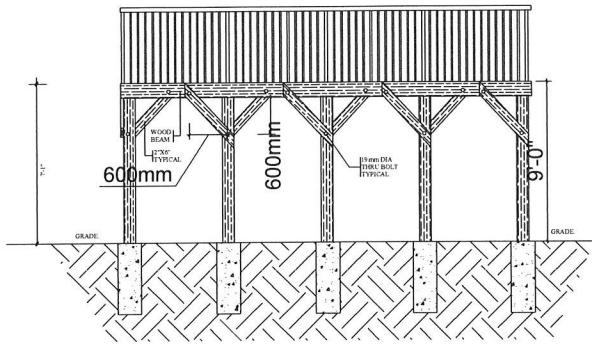
Public Works Team Inc.
PWTEAM Design & Building Permit
96 Leadership Drive
Brampton, ON L6Y 5T2
Phone: 437-974-7166
design@pwteam.ca
www.pwteam.ca

ENGINEER ZULHASH UDDIN DESIGNED BY T. S.

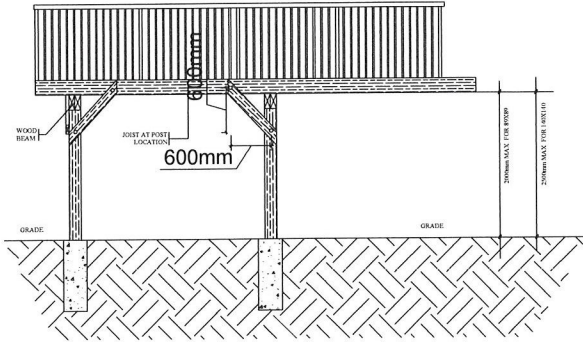
TITLE DECK PLAN & SECTION

PROJECT
DECK PERMIT
4 RIVER ROAD, BRAMPTON

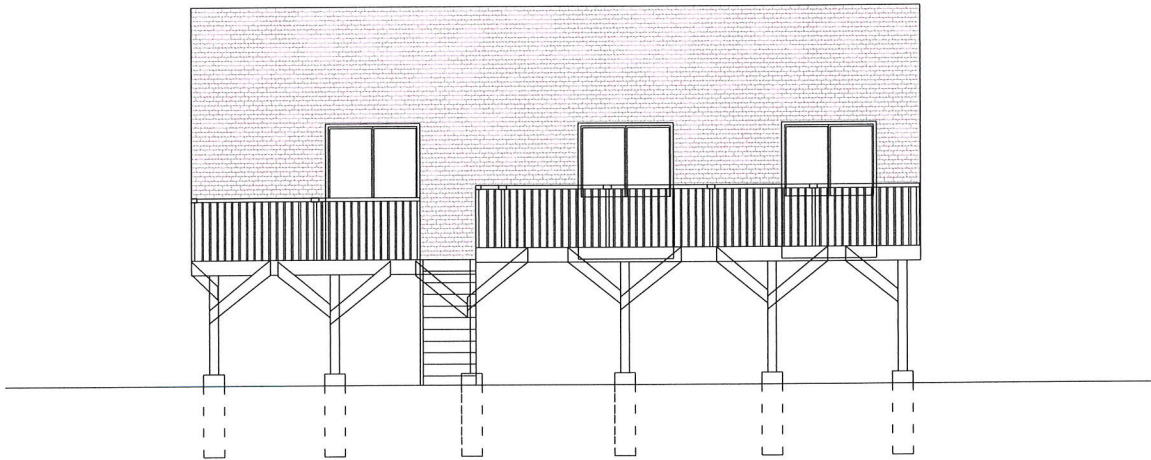
SCALE	AS SHOWN	DWG #
DATE	Jun, 2023	A-2.0
ISSUED FOR -	BUILDING PERMIT	



BRACING PARALLEL TO BEAM



BRACING PERPENDICULAR TO BEAM



DECK ELEVATION



DECK ELEVATION & DETAILS

SCALE: $\frac{1}{8}$ " = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. CONFIRM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).
3. THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH WORK.
4. ALL WORKS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS-0, REG. 231/91 LOADING
5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV. B PART 4 AND 2010 NBC
6. This drawings, as an instrument of service, is provided by the property of Public Works Inc (PWTEAM). The contractor must accept responsibility for all dimensions and conditions of work and must notify PWTEAM of any variations from the drawings. PWTEAM is responsible for the accuracy of surveying, mechanical, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings for details. The construction must conform to all applicable codes and regulations. This drawing is not to be scaled.



Public Works Team Inc.
PWTEAM Design & Building Permit
96 Leadership Drive
Brampton, ON L6Y 5T2
Phone: 437-974-7166
design@pwteam.ca
www.pwteam.ca

ENGINEER
ZULHASH UDDIN

DESIGNED BY
T. S.

TITLE
DECK ELEVATION & DETAILS

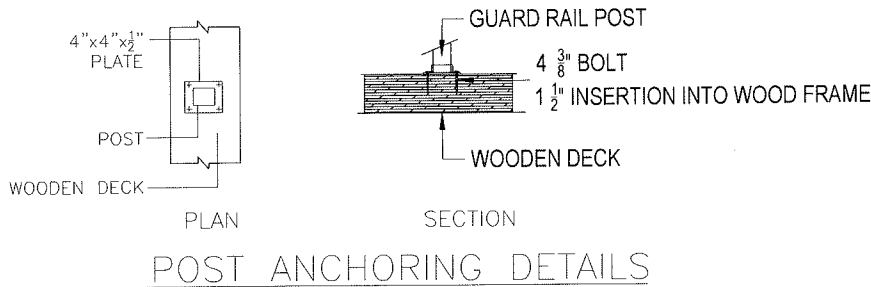
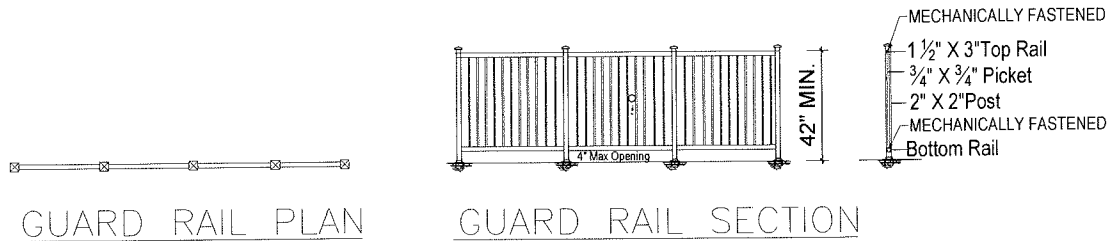
PROJECT
DECK PERMIT
4 RIVER ROAD, BRAMPTON

SCALE
AS SHOWN

DATE
Jun, 2023

ISSUED FOR
BUILDING PERMIT

DWG #
A-3.0



DECK GUARD RAIL DETAILS

SCALE: $\frac{3}{16}" = 1'-0"$

GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. CONFIRM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF HAVING JURISDICTION (THE LATEST VERSION OF STANDARDS AND CODES SHALL APPLY).
3. THE CONTRACTOR SHOULD VISIT THE SITE AND BECOME FAMILIARIZED WITH ALL CHARACTERISTICS AFFECTING NEW AND EXISTING CONSTRUCTION. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES, ALTERATIONS, OR REVISIONS MUST BE REPORTED TO ENGINEER BEFORE PROCEEDING WITH WORK.
4. ALL WORKS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS-O. REG. 231/91 LOADING.
5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2012 OBC DIV. B PART 4 AND 2010 NBC.
6. This drawings, as an instrument of service, is provided by the property of Public Works Inc (PWTEAM). The contractor must and accept responsibility for all dimensions and conditions or must notify PWTEAM of any variations from the drawings. PW responsible for the accuracy of survey, mechanical, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings existing with work, the construction must conform to all applicable codes and require drawing is not to be scaled.



Public Works Team Inc.
PWTEAM Design & Building Permit
96 Leadership Drive
Brampton, ON L6Y 5T2
Phone: 437-974-7166
design@pwteam.ca
www.pwteam.ca

ENGINEER ZULHASH UDDIN	DESIGNED BY T. S.
TITLE DECK GUARD RAIL DETAILS	
PROJECT DECK PERMIT 4 RIVER ROAD, BRAMPTON	
SCALE AS SHOWN	DWG # A-4.0
DATE Jun, 2023	
ISSUED FOR BUILDING PERMIT	