

Application for Minor VarianceSection 45 of the *Planning Act*, R.S.O. 1990 c.P.13

Application Number: A-2023-0262
Property Address: 23 MANORCREST STREET
Legal Description: LOT 53, PLAN M7223 MANORCREST STREET
Agent: JOE ASENSIO
Owner(s): JINGYU MA,
Other applications: nil
under the *Planning Act*
Meeting Date and Time: Tuesday, OCTOBER 3, 2023, at 9:00 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers,
4th Floor Brampton City Hall, 2 Wellington Street West

Purpose of the Application:

1. TO PERMIT A DRIVEWAY WIDTH OF 9.14 METRES, WHEREAS THE BYLAW PERMITS A MAXIMUM DRIVEWAY WIDTH OF 6.71 METRES.
2. TO PERMIT 0 METRE OF PERMEABLE LANDSCAPING ABUTTING THE SIDE LOT LINE, WHEREAS THE BYLAW REQUIRES A MINIMUM 0.6 METRES OF PERMEABLE LANDSCAPING ABUTTING THE SIDE LOT LINE.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, and must be received no later than **12:00 pm on Friday, September 29, 2023**
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **12:00 pm on Friday, September 29, 2023**, by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If you wish to be notified of the decision of Committee, you must submit a written request to coa@brampton.ca. This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting olt.clo@ontario.ca.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 20th day of September 2023

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
P: 905.874.2117
E: coa@brampton.ca

PLAN OF SURVEY OF
LOT 53 REGISTERED PLAN M-72
CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1" = 10'
 1976



DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
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2022/05/02

LOT 34

LOT 33

LOT 52

LOT 53

LOT 54

REGISTERED PLAN M-72

CONCRETE
 FOUNDATION

GARAGE

FROM THE FACE OF
 THE GARAGE TO THE
 START OF THE SIDEWALK
 THERE IS A DROP OF 27"

27"
 ELEVATION
 DROP

TREE
 TREE
 TREE

6' WIDE
 WALKWAY

6' WALKWAY

MANORCREST STREET

HEREBY CERTIFY THAT THE SURVEY AND PLAN ARE TRUE

JULY 28, 1976
 DATE

R. B. Lawryphyn
 R. B. LAWRYPHYN

J. D. BARNES LIMITED Surveyors
 Cadastral, Geodetic, Photogrammetric and Engineering Surveys
 TORONTO BRAMPTON OTTAWA
 D.H. J.R.W. 76-70-41-345-0-53

RECEIVED / REVISED
 SKETCH

SEP 19 2023

CITY CLERK'S OFFICE



FILE NUMBER: A-2023-0262

The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) JINGYU MA
Address 23 MANORCREST ST
BRAMPTON, ONT
L6S 2W7
Phone # 226-923-0250 Fax # _____
Email mjyulisa99@gmail.com

2. Name of Agent JOE ASENSIO
Address 227 MAIN ST N
BRAMPTON, ONT
L6X1N2
Phone # 847-628-3700 Fax # _____
Email JOE@JNREALTY.CA

3. Nature and extent of relief applied for (variances requested):
1 - To Keep the newly paved driveway at its current width of 9.144m instead of the 6.71m required by by-law.
2 - To keep the existing newly paved edge of the driveway instead of the .6m permeable landscape required by by-law.

4. Why is it not possible to comply with the provisions of the by-law?
The driveway was recently redone with reinforced concrete and it would be very expensive now to cut away the new poured sections. There are many, many homes in the area all with driveways both asphalted and with interlock stones that exceed the 6.71m width limit. The other homes have either existed for years without requirement to remedy to comply with by-law or have existed with permission to exceed the by-law width.

5. Legal Description of the subject land:
Lot Number PCL 53-1, SEC M72 ; LT 53, PL M72 ; BRAMPTON
Plan Number/Concession Number _____
Municipal Address 23 Manorcrest St, Brampton, Ontario

6. Dimension of subject land (in metric units)
Frontage 19.44 ft x 124.39 ft x 47.95 ft x 124.16 ft x 38.68 ft
Depth _____
Area 5,565.98 ft² (0.151 ac)

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

The home is not subject to change. Currently 1 home with 1 registered accessory dwelling

TOTAL FLOOR AREA IS 3,400 SQ FT.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

no additions or change to the home/dwelling

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	no change	29'
Rear yard setback	no change	22'
Side yard setback	no change	5'
Side yard setback	no change	12'

PROPOSED

Front yard setback	
Rear yard setback	
Side yard setback	
Side yard setback	

10. Date of Acquisition of subject land: January 28, 2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: residential
14. Date of construction of all buildings & structures on subject land: 2022-2023 interior renovations
15. Length of time the existing uses of the subject property have been continued: 1977
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

DocuSigned by:

Jingyu Ma

DocuSigned by:

[Signature]

Signature of Applicant or Authorized Agent

8BEE50798C944AE...

DATED AT THE CITY _____ OF BRAMPTON

THIS 15 DAY OF AUGUST, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JINYU MA, OF THE REGION OF PEEL

IN THE CITY OF BRAMPTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 15 DAY OF

August, 2023

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1B-113

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Samuel Camp

Zoning Officer

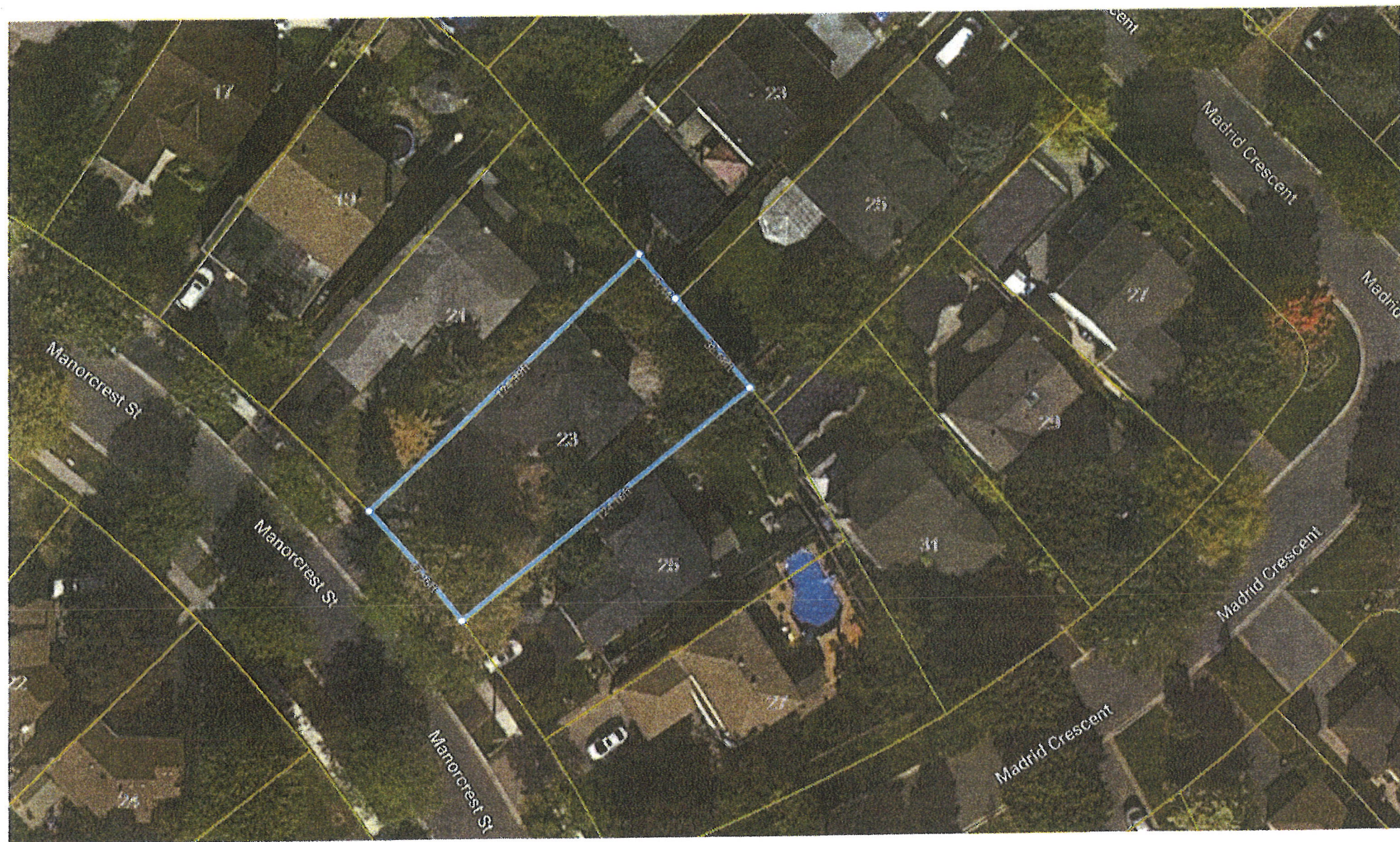
2023-08-17

Date

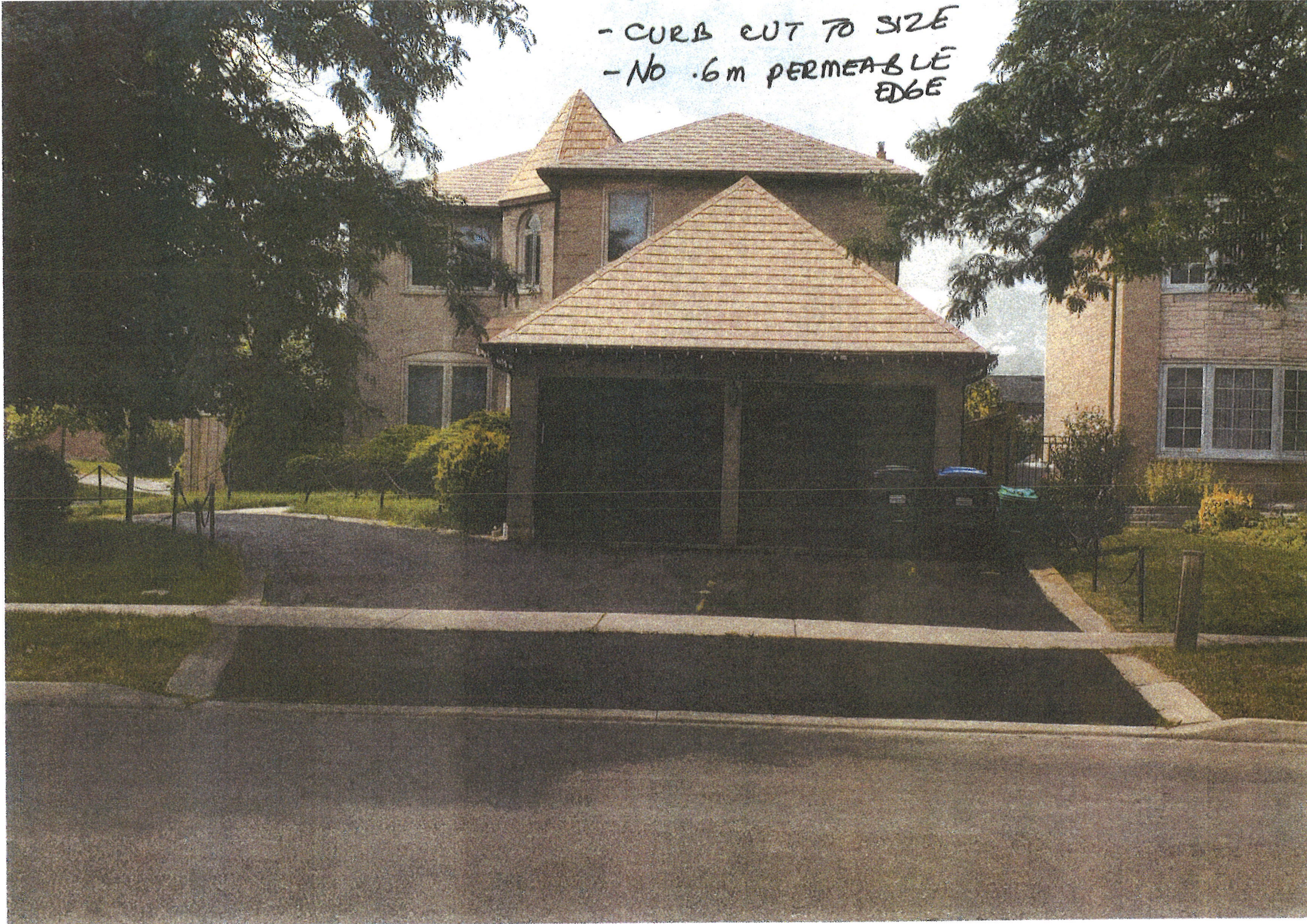
DATE RECEIVED


August 15, 2023

Revised 20200107



- CURB CUT TO SIZE
- NO .6m PERMEABLE
EDGE





40 MANORCREST
3 CARS WIDE
CURB CUT TO SIZE



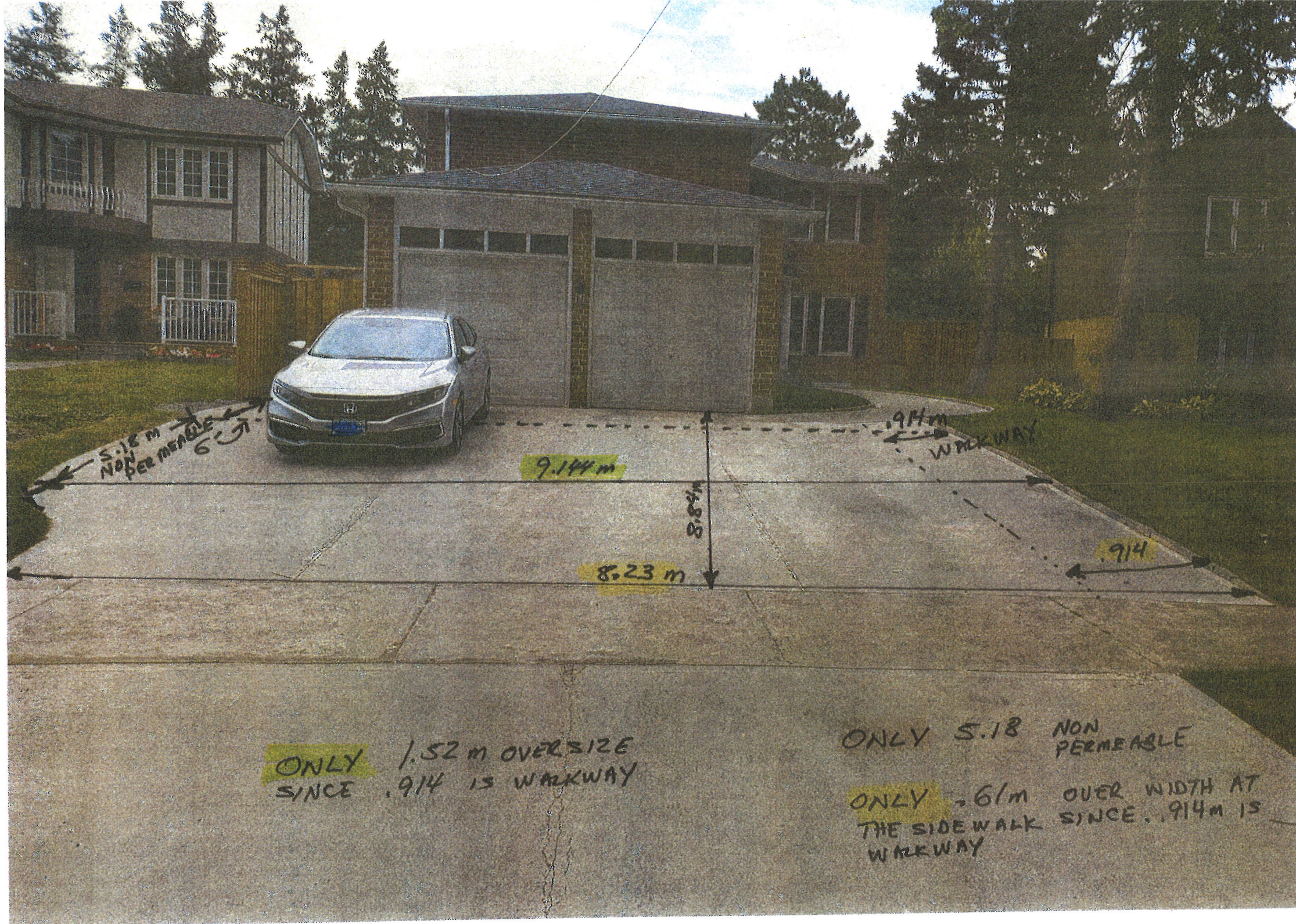


3 CARS WIDE



3 CARS WITH

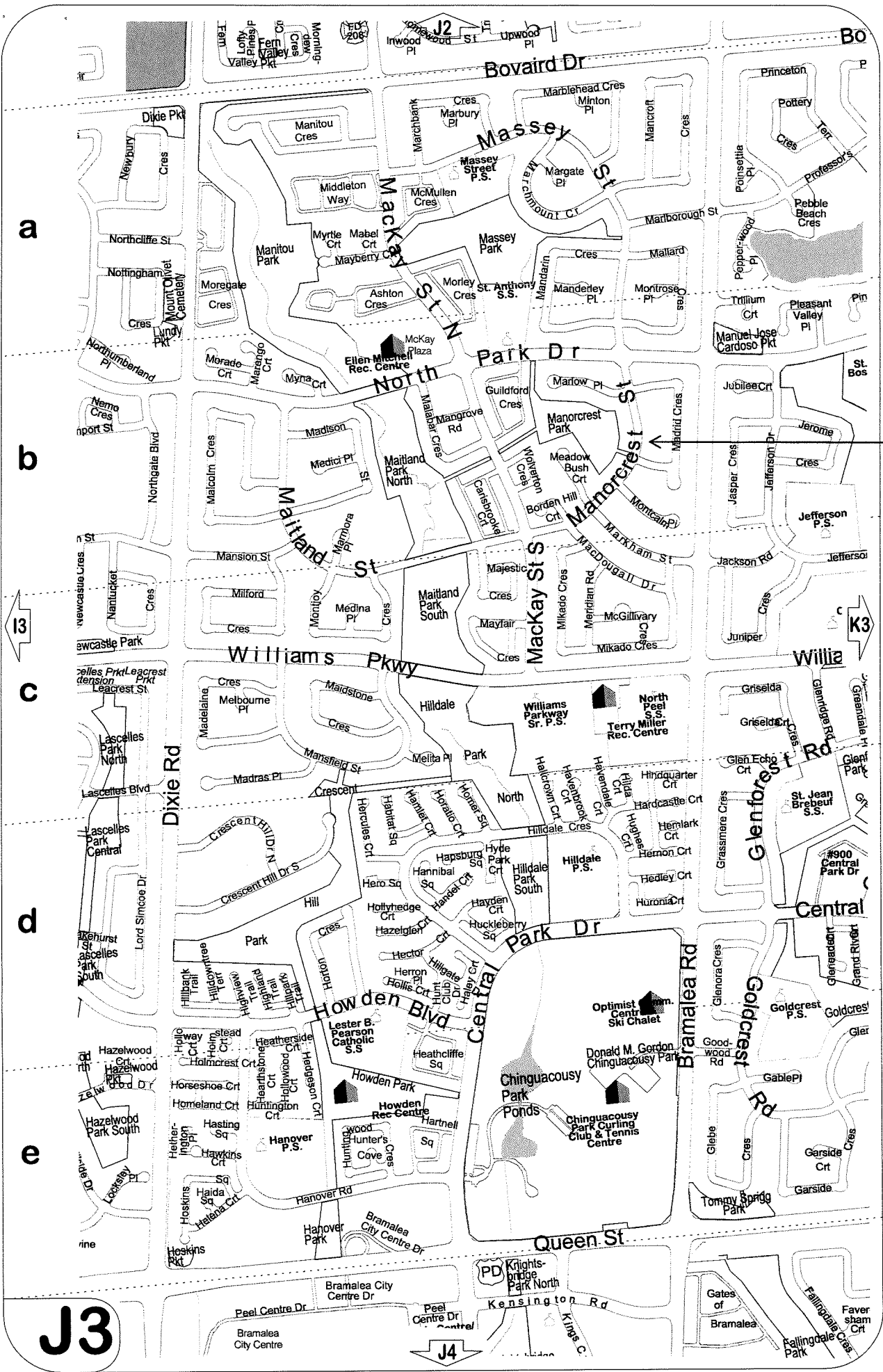




ONLY 1.52 m OVERSIZE
SINCE .914 IS WALKWAY

ONLY 5.18 NON
PERMEABLE

ONLY .61 m OVER WIDTH AT
THE SIDEWALK SINCE .914 m IS
WALKWAY



A-2023-0262

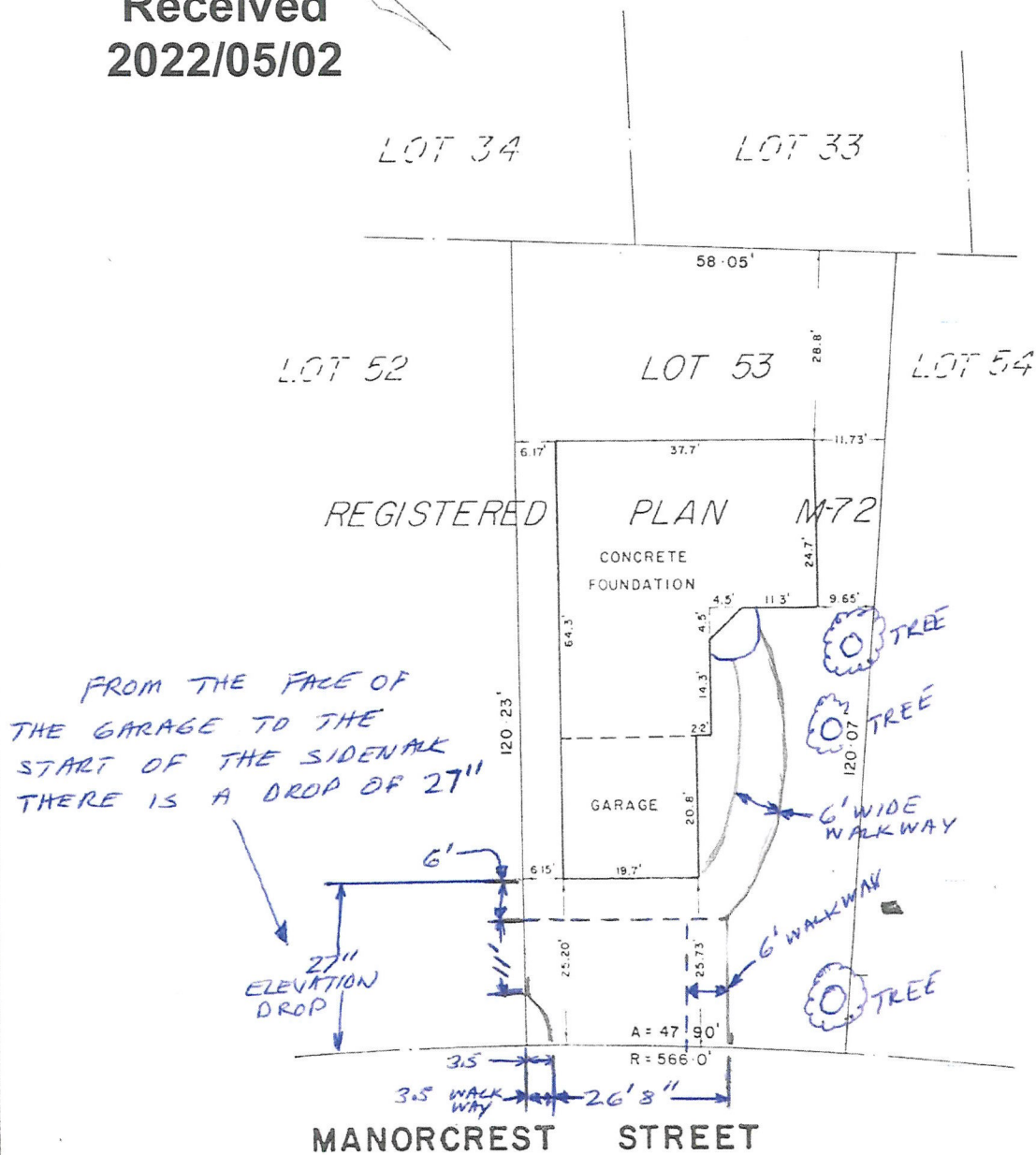
PLAN OF SURVEY OF
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REGIONAL MUNICIPALITY OF PEEL

SCALE: 1" = 10'
N.T.C.



DOCUMENTS RELEASED PURSUANT TO A REQUEST
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MINIMUM LOT AREA: 10,000 SQ. FT. (2.27 AC.)

JULY 28, 1976
DATE

R. B. Lawryphyn
R. B. LAWRYPHYN



J. D. BARNES LIMITED Surveyors

Industrial, Geodetic, Photogrammetric and Engineering Surveys
TORONTO BRAMPTON OTTAWA

D.H.

J.R.W.

76-70-41-345-0-53

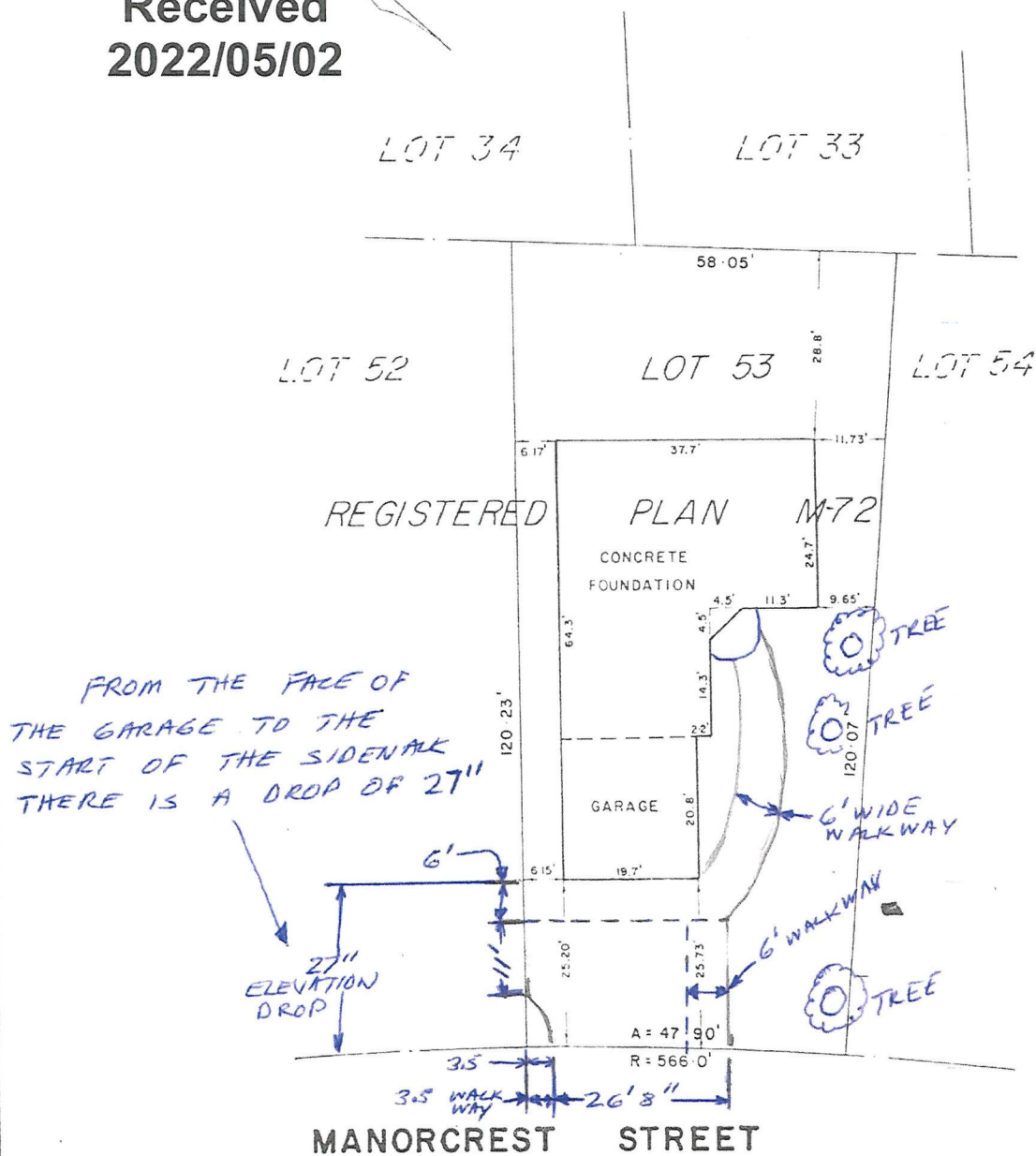
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PLANNED LOT 53 LOT 54 LOT 55 LOT 56 LOT 57 LOT 58 LOT 59 LOT 60 LOT 61 LOT 62 LOT 63 LOT 64 LOT 65 LOT 66 LOT 67 LOT 68 LOT 69 LOT 70 LOT 71 LOT 72 LOT 73 LOT 74 LOT 75 LOT 76 LOT 77 LOT 78 LOT 79 LOT 80 LOT 81 LOT 82 LOT 83 LOT 84 LOT 85 LOT 86 LOT 87 LOT 88 LOT 89 LOT 90 LOT 91 LOT 92 LOT 93 LOT 94 LOT 95 LOT 96 LOT 97 LOT 98 LOT 99 LOT 100

JULY 28, 1976
 DATE

R. B. Lawryphyn
 R. B. LAWRYPHYN



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D.H.

J.R.W.

76-70-41-345-0-53

A-2023-0262

**APPLICATION INSTRUCTION AND INFORMATION
SHEET**

Minor Variance or Special Permission

Continued from Section 4.

The driveway was recently redone with reinforced concrete and it would be very expensive now to cut away the newly poured sections. There are many, many homes in the area all with driveways both asphalted and with interlock stones that exceed the 6.71m width limit. The other homes have either existed for years without requirement to comply with existing by-law or have existed with permission to exceed the by-law width. In any case, their existence has been there for many years without disturbance or requirement to remedy.

There is a 12" slope on the driveway (front to back) which allows for ample drainage of all ground water to the front of the property. Only about 6 feet of driveway in length do not have the required .6m permeable area.

This home is also a legal 2 dwelling home with 7 bedrooms and requires extra parking. All work on this property was done with permits that have passed City approvals and the accessory unit is registered with the City of Brampton.

DS
[M]