



8331 HERITAGE  
ROAD, BRAMPTON,  
ONTARIO  
MCCLURE  
FARMHOUSE

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DATE: AUGUST 2023

PREPARED BY:  
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Fig 2 West View of James McClure House, October 2019

Fig 1 Cover Photograph  
Facade of the James McClure House, West view, February  
Source ATA Architects Inc. 2023

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## REPORT SCOPE

ATA Architects was retained to provide a Documentation Plan and Salvage Plan report. The scope of the report was to document the existing James McClure house. The documentation was to include measured drawings illustrating the house both in plan and elevation, as well as photographs of all the interior spaces and all elevations. Interior and exterior reference plans were to be included to locate views.

As part of the documentation, the report was to include a summary of Cultural Heritage Value/ Interest of the property and the recommendations of the Scoped HIA regarding mitigation and salvage measures.

The Salvage Plan was to identify the materials to be salvaged, including a written description and photographs. The plan would identify the significance of the material and its potential or proposed reuse.

Where appropriate, the report was to include the level of care in the removal of materials, the methods to remove and store, and by whom. How materials were stored, where they were, and how frequently they are to be inspected was also identified in the Salvage Plan.

The Documentation Plan and Salvage Plan are required precursors to the development of a Commemoration Plan.

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## INTRODUCTION

The property located at 8331 Heritage Road, otherwise known as the James McClure House, is a Gothic Revival farmhouse. It is modest in design both because of its size, and due to the fact that its construction and many of its heritage attributes are very similar to other Gothic Revival farmhouses from the period. The home's design was given individuality by the bargeboard in the gables, as well as the molded brick rosettes beneath, though they have weathered badly over time. Recommendations within the HIA suggested that relocation is no longer necessary, but in place of demolishing, the house should be carefully dismantled, and the materials should be salvaged. These salvaged materials should be incorporated into memorializing the property.

The James McClure farmhouse cannot be conserved as the building's condition is too severe. A number of elements have deteriorated, or like the porch, are almost completely lost. The original proposed development restores and replicates damaged features of historic architectural value. The scope of the work is extensive due to the poor condition the masonry is in. The scope includes masonry repointing, rebuilding, and restoration as well as attachment to the frame. In addition the rehabilitation of the house requires the replication of windows and doors, new roof, new porch, new foundation, all new interior finishes, new services including, water, power, sewage, heating and air conditioning, new landscaping, reinforcement of all floors and the roof, new washrooms, etc. Due to the small size of the house and its addition, its sustainability as a viable commercial use was questionable.



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## CULTURAL HERITAGE VALUE

The James McClure Farmhouse has moderate cultural heritage value/ interest, as identified in the HIA. The home's value is associated with the early agricultural settlement of South Chinguacousy Township. As per census records, the property was first purchased by Robert and Charles Calder. The Calder family were farmers of Scottish descent and were one of the first settling families of Chinguacousy Township. The family likely constructed the original home, then sold the property to the McClure family. The McClure family were farmers of Irish descent, in the settlement of Peel County. With both families being noted as early settlers of the area, they are not noted in the historic records as being significant to the development of the local community. Just south-west of the house at 8280 Heritage Road is the Samuel McClure Octagonal House. James' father was Patrick McClure, a brother to Samuel. The Octagon House was designated under Part IV of the Ontario Heritage Act in 1979. The Gothic Revival farmhouse appearance of the James McClure homes is a visual link to the agricultural history of Chinguacousy Township and the City of Brampton. The fact that the house must be relocated and the surrounding development will remove the farm from context, reduces substantially the related association. Due to the proximity of the McClure Octagonal House, its distinctive design, large site, and association with the McClure family, the heritage value of the James McClure house is of less importance; because the family's presence is already preserved through the designation of the Octagon House.

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## CULTURAL HERITAGE VALUE

Section A of the home is a former schoolhouse with wood plank construction which was relocated to its current position at some point in the early 20th century, most likely by William Percy Laidlaw. The section included a bell tower with the date '1893' inscribed. The tower has since been removed. While the date inscribed on the tower suggest a construction date of 1893, construction materials and methods (i.e. the use of hand hewn beams and wooden pegs) suggest that it is older. The structure was recently separated, part of it was being used as a garage/ storage area, the other part was converted into an interior living space. There was a covered porch space, most likely constructed after the schoolhouse portion of the building was re-located.

Section B was likely constructed in the mid. 19th century given its architectural style, construction materials, and techniques - and is confirmed in the 1861 census of Chinguacousy Township which notes that Charles Calder resided on the subject lands in a brick one and a half storey house. This portion was constructed prior to the relocation of Section A, as well as prior to the construction of Section C. Section C was constructed as an addition to Section B, most likely shortly after, as both portions of the home provide evidence of similar materials and designs, such as the moulded bricks and barge board.



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## CULTURAL HERITAGE VALUE

Architecturally the house is modest both in scale and design. It displays features of the Gothic Revival Style that are typical of other houses in Brampton and across the province, making it neither special nor unique in its execution. The house consists of numerous additions, now in poor condition, and as it was constructed in various parts, there are awkward results including the step between levels on the second floor. The recladding of the B+C sections of the house was done with poor workmanship as well, resulting in its failure in numerous locations around the home.

Section A was added to make up for the lack of functional space in sections B+C. Without it, the remaining two sections are inadequate for continued residence use or rehabilitation to a new use. In addition to the failure of the masonry and the reinforcement needed structurally, the farmhouse has been poorly maintained over the years. Masonry repairs with Portland Cement have been detrimental and have added to the damage of the voussoirs, the rosettes, and the masonry in general. Wood elements such as the bargeboard, sills, and the front porch have not been protected and are badly weathered or are missing completely, such as the front porch.

The James McClure House will change contextually with the original proposed development. It will not define, support, or maintain the future character of the area. With the loss of the associated farm structures and reduced site allocation, it will not be functionally or visually linked to its surroundings or its agricultural past. Due to the scale of surrounding development, it will not remain a landmark.

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## HIA RECOMMENDATIONS

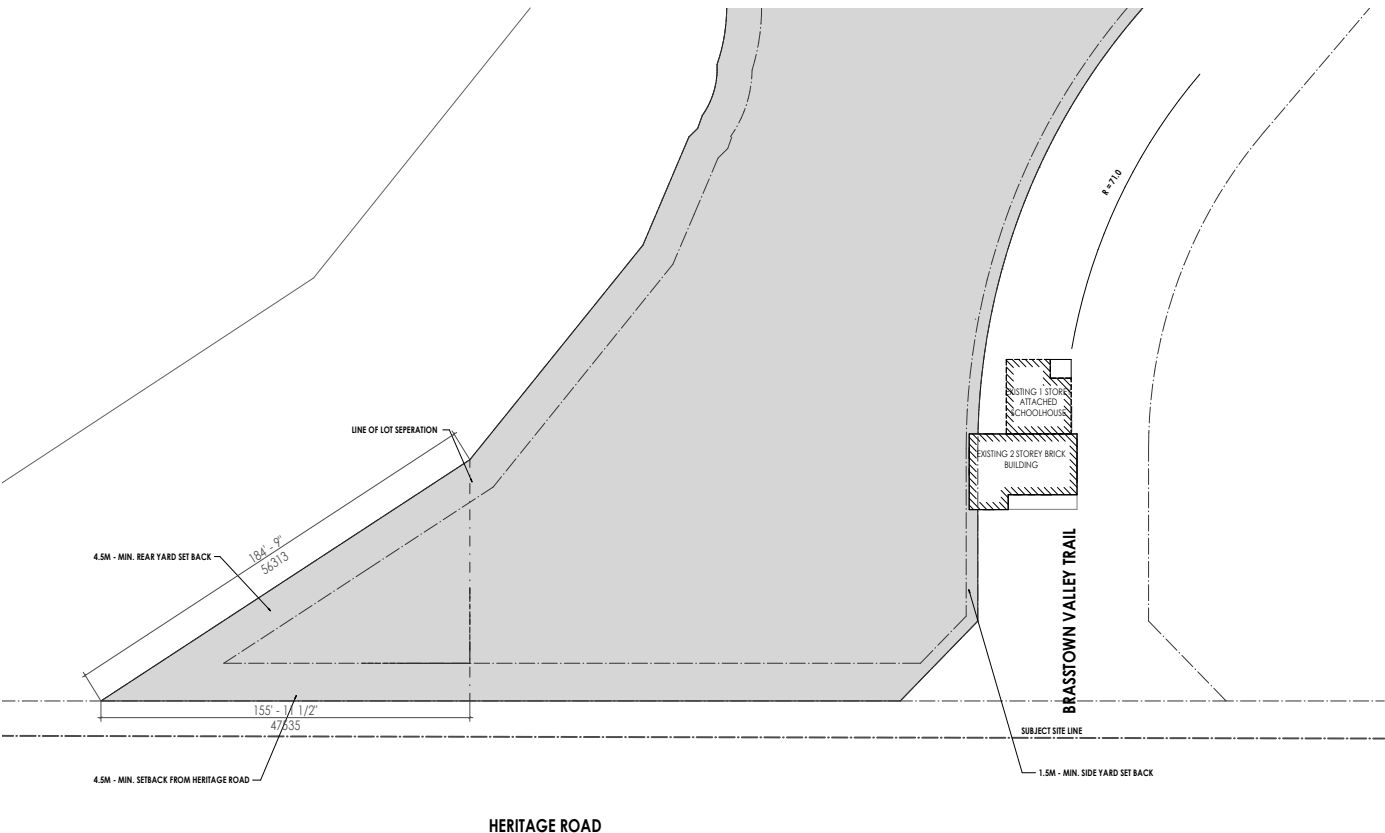
The HIA report recommended removal, salvage, and commemoration of the McClure house. It stated that if the house is demolished (Sections A, B+C), mitigating measures must be undertaken to reduce the negative impact from the loss of a heritage resource. The HIA required for a Documentation and Salvage Plan Report, as well as a Commemoration Plan to be prepared prior to the City of Brampton issuing a Demolition Permit. These reports, with the scoped HIA must be presented to the Brampton Heritage Board.

It recommended that more than one of the mitigating measures be undertaken. For example, the entrance gateway feature along with the related heritage building elements used as symbolic references in the design of the commercial centre or the identification of the location of the heritage home by markers, naming of streets and parks, and the plaque. The selection of the most appropriate measures is to be determined jointly by the City of Brampton and the development group. Some of the brick, barge boards, the rosettes, hand-hewn beams, wooden studs, and fieldstone foundation can all be salvaged.

Salvage is critically important for several mitigating measures and therefore the measures being taken must be determined prior to the dismantling of the heritage house.




PLANS



Site Plan- prepared by ATA Architects



## Legend

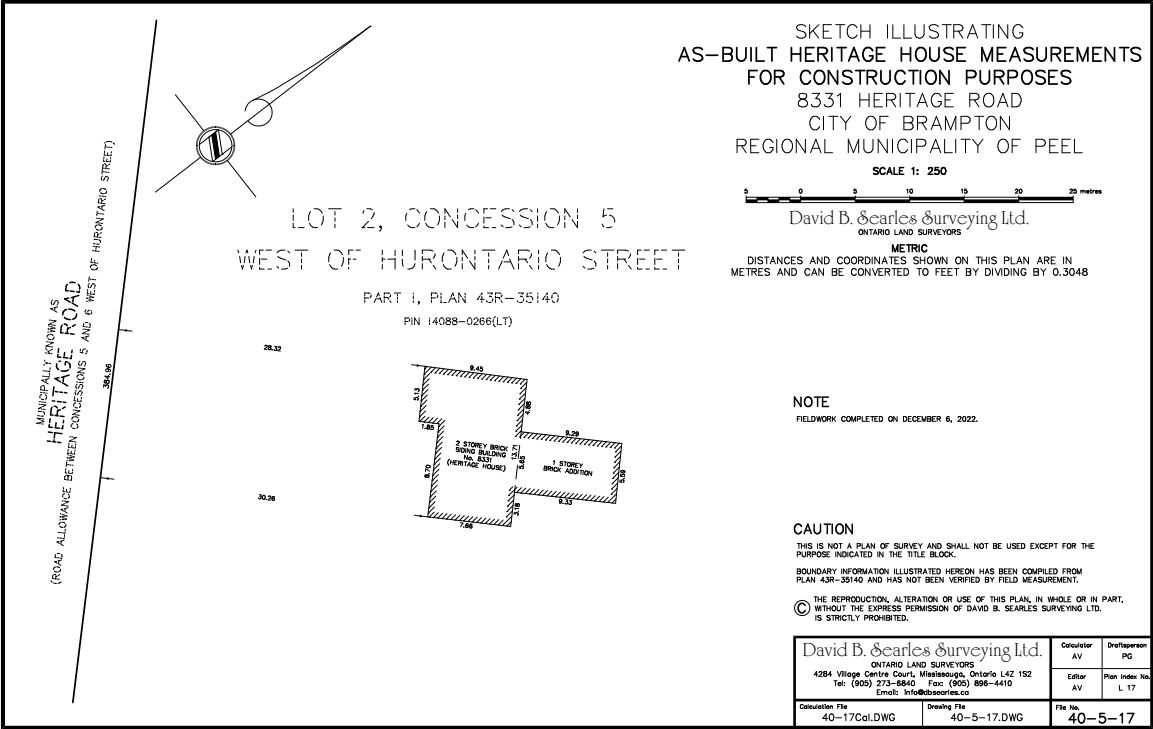
James McClure Farmhouse 

The Octagonal House - Designated 

Location Aerial Map

Source Google

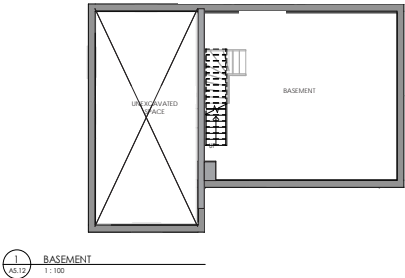
PLANS



Site Survey, December 2022

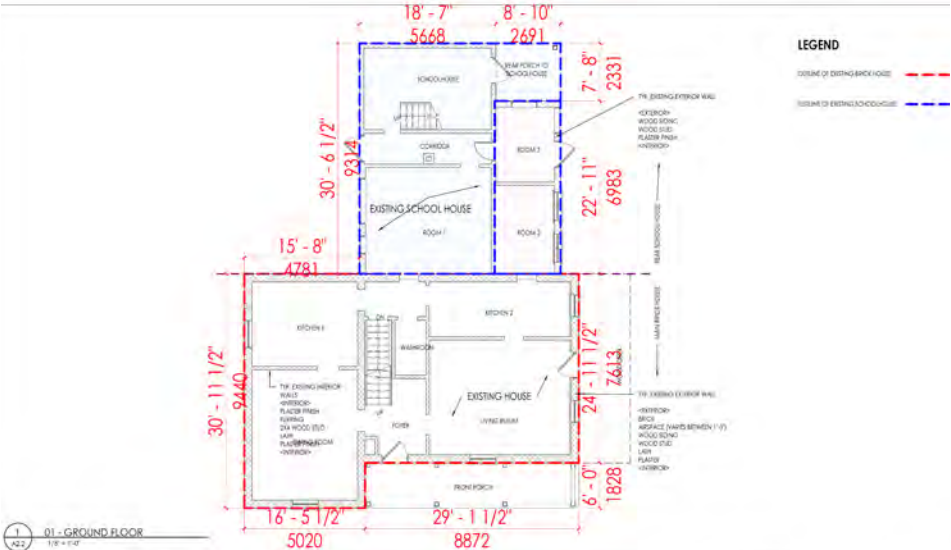


PLANS



ATA ARCHITECTS

MCCLURE FARM  
BASEMENT

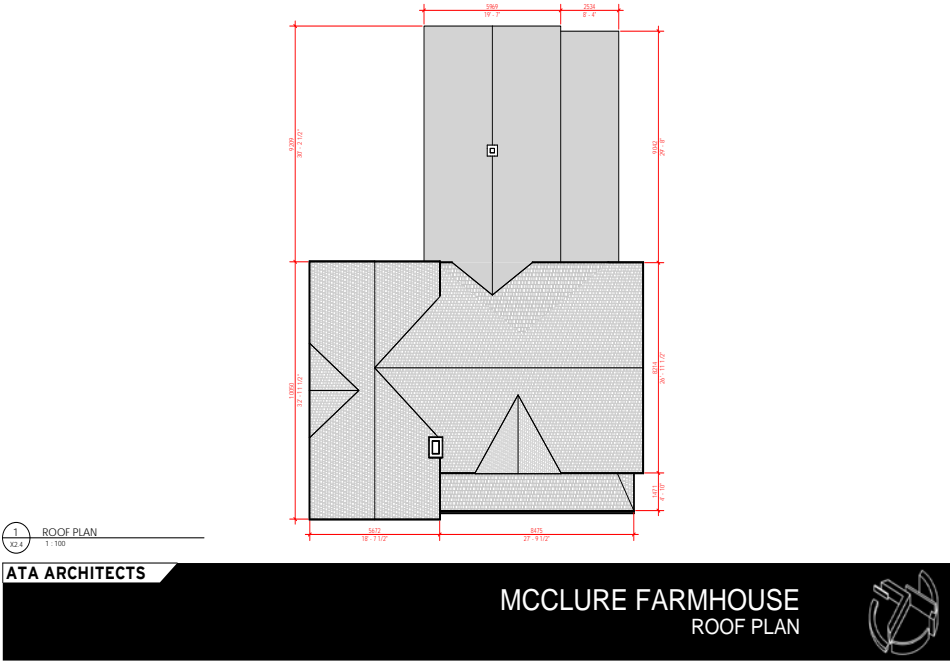
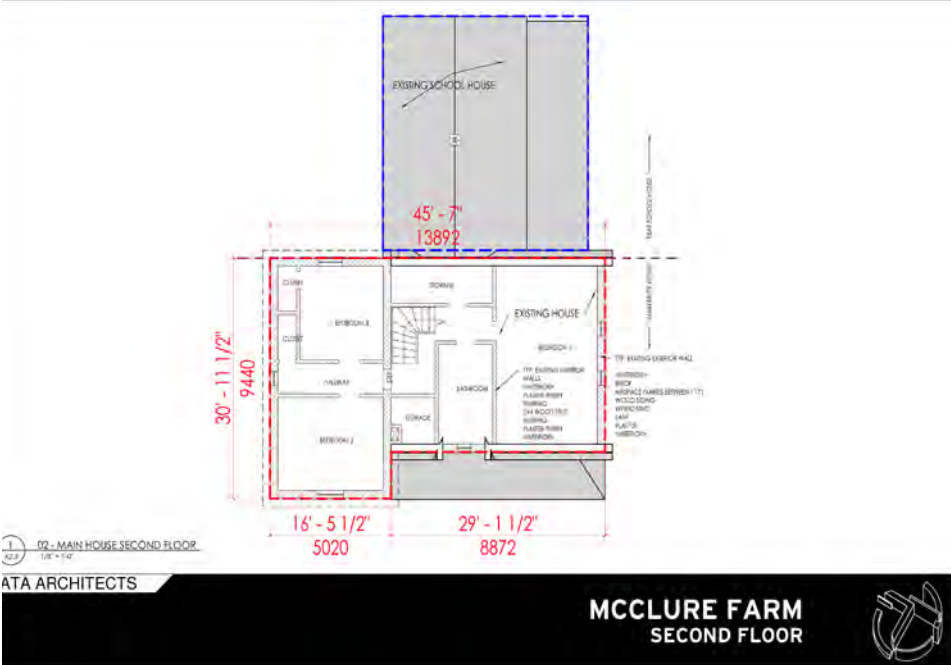


ATA ARCHITECTS

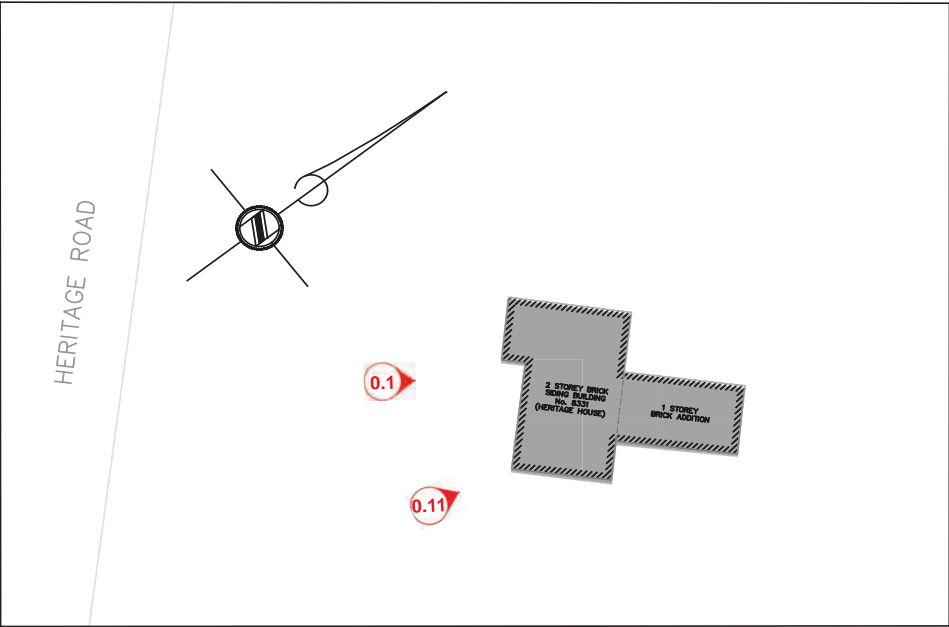
MCCLURE FARM  
GROUND FLOOR



PLANS



EXTERIOR ELEVATIONS



ATA ARCHITECTS

MCCLURE FARM  
WEST ELEVATION



Fig # West Elevation Drawing of McClure Farm



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## EXTERIOR ELEVATIONS



O.10  
West Elevation of McClure Farm - Taken by ATA  
Architects, February 14, 2023



O.11  
West Elevation of McClure Farm - Taken by  
Tacoma Engineers, November 24 2017

EXTERIOR ELEVATIONS

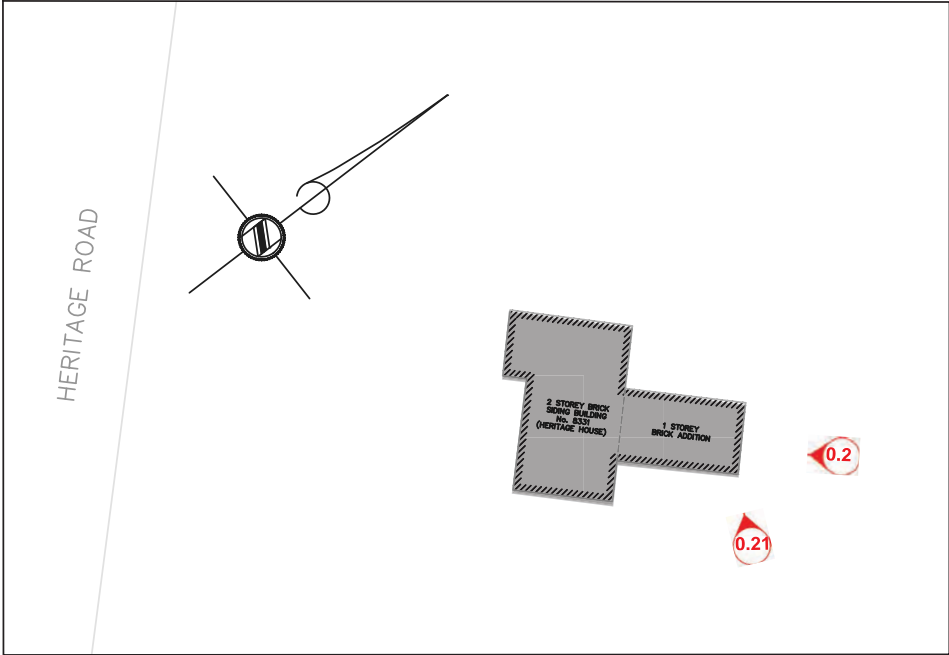


Fig # East Elevation Drawing of McClure Farm

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## EXTERIOR ELEVATIONS

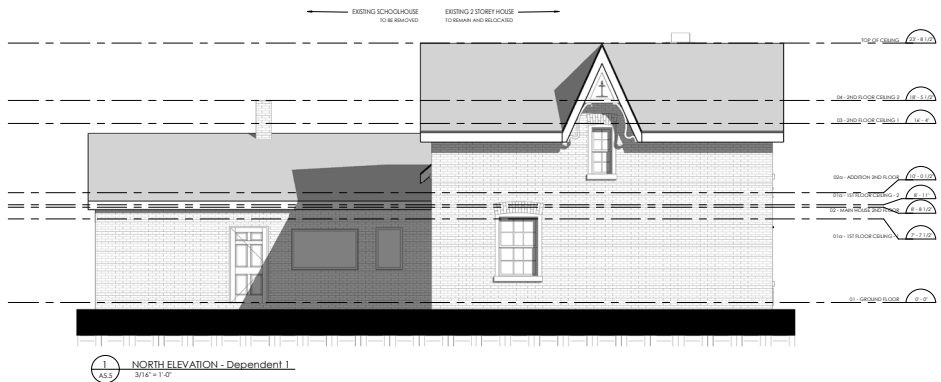
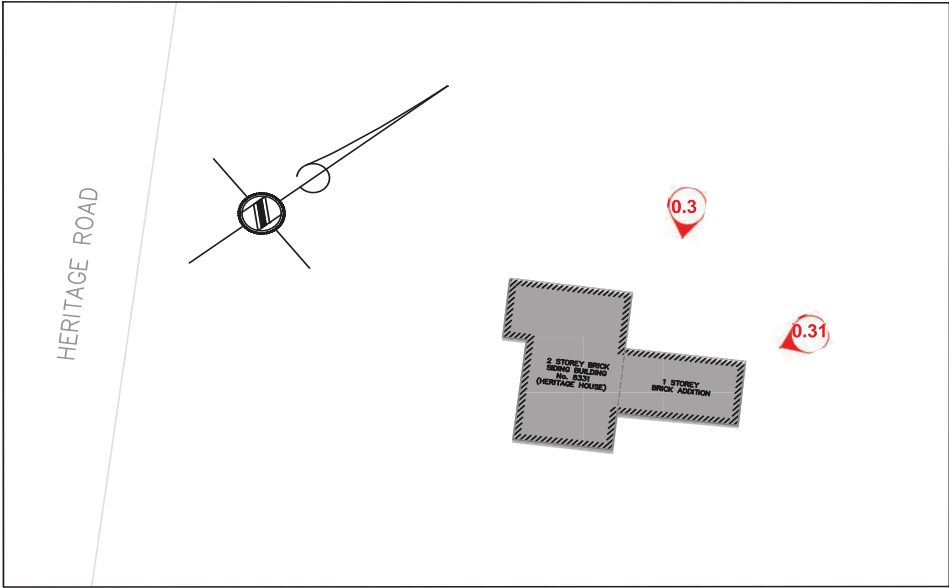


0.20  
East Elevation of McClure Farm - Taken by ATA  
Architects, July 21, 2019



0.21  
East Elevation of McClure Farm - Taken by ATA  
Architects, August 18, 2023

EXTERIOR ELEVATIONS



ATA ARCHITECTS

MCCLURE FARM  
NORTH ELEVATION



Fig # North Elevation Drawing of McClure Farm



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## EXTERIOR ELEVATIONS

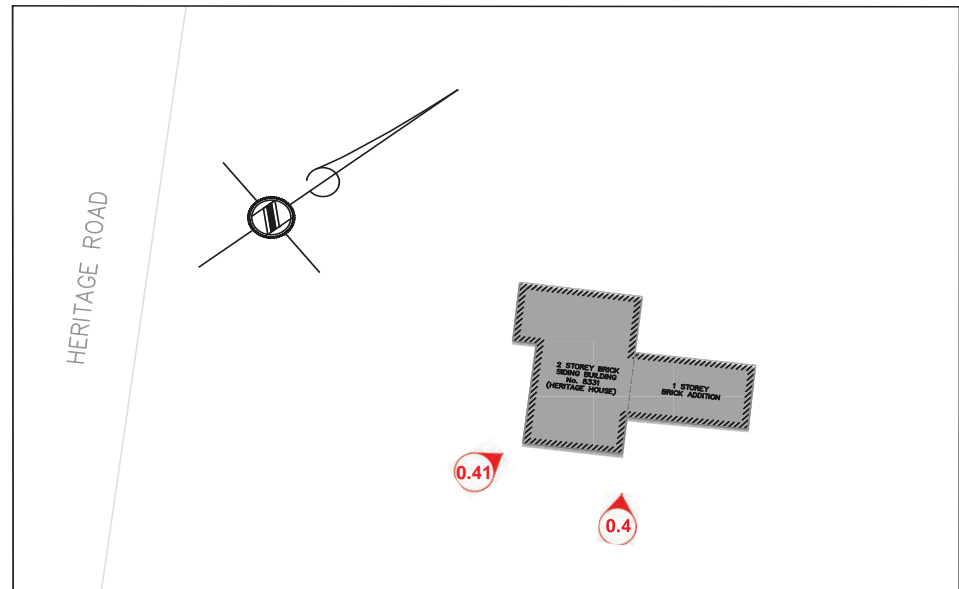


O.3  
North Elevation of McClure Farm - Taken by ATA  
Architects, August 18, 2023



O.31  
North Elevation of McClure Farm - Taken by  
Tacoma Engineers, November 24 2017

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ATA ARCHITECTS

MCCLURE FARM  
SOUTH ELEVATION



Fig # South Elevation Drawing of McClure Farm

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## EXTERIOR ELEVATIONS



0.4  
South Elevation of McClure Farm - Taken by  
ATA Architects, August 18, 2023



0.41  
South Elevation of McClure Farm - Taken by  
ATA Architects, July 21, 2019

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION

### GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.1) View of living room in original portion of the house to the south. The view looks towards a wood double-hung window, exterior door, and features a brick wood stove hearth. The wainscoting, and door and window trim are likely original but in poor condition with wood deterioration.



1.2) View of double-hung wood window on the south exterior wall in living room. The window is likely original but is very damaged and is missing a large portion of the window frame and muntins. The wood window trim and sill have some wood deterioration.



1.3) View of the door on the south exterior wall in living room. The door is missing and only the metal screen door remains. The door trim is damaged but able to be repaired.



INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



1.4) View of brick stove hearth. The hearth is not original as it was built over top of the original wainscotting. A portion of the brick has fallen off of the hearth. The brick stove has since been removed and what appears to be the location of the exhaust outlet in the south exterior wall, has been boarded up with plywood.



1.5) View of living room in original portion of the house to the west. The view looks towards a wood double-hung window and storage niche built into the exterior wall. This is likely a later addition as the wood trim does not match that of the windows and doors. The shelves and trim surrounding the niche are damaged.



1.6) View of double-hung wood window on the north exterior wall in living room. The window is likely original and the entire window frame remains intact and is in fairly good condition overall, with some damage that is repairable. The window is missing muntins on the lower half, however these can be replaced. The wood window trim and sill have some damage and wood deterioration but are salvageable.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION

### GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*1.7) View of living room in original portion of the house to the north. The doorway opens up to the foyer. The wood door trim has some deterioration but can be repaired. The wood wainscoting that runs the perimeter of the living room is in fair condition and much of the damage is limited to the paint which is flaking and alligatoring. The paint would need to be stripped to be able to fully assess the extent of the damage to wood beneath.*



*1.8) View of living room in original portion of the house to the east. The doorway opens up to the second kitchen and schoolhouse at the rear. The wood door trim appears to have some deterioration but can be repaired.*

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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.9) View of Kitchen 2 in original portion of the house to the south. The view looks towards a window which was added at a later date. The kitchen millwork is not original to the house.



1.10) Closeup view of the window in Kitchen 2. The window sash and much of the window frame is missing, as are the muntins.



1.11) View of Kitchen 2 in original portion of the house to the south-west. Framed doorways on either side open up to the living room and school house addition. The demolished kitchen millwork lies on the floor.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.12) View of Kitchen 2 to the north, looking towards the corridor to Kitchen 1. The ceiling tiles have mold and water damage. There is a large hole in the wall between Kitchen 2 and the school house addition, where the plaster and lath are broken.



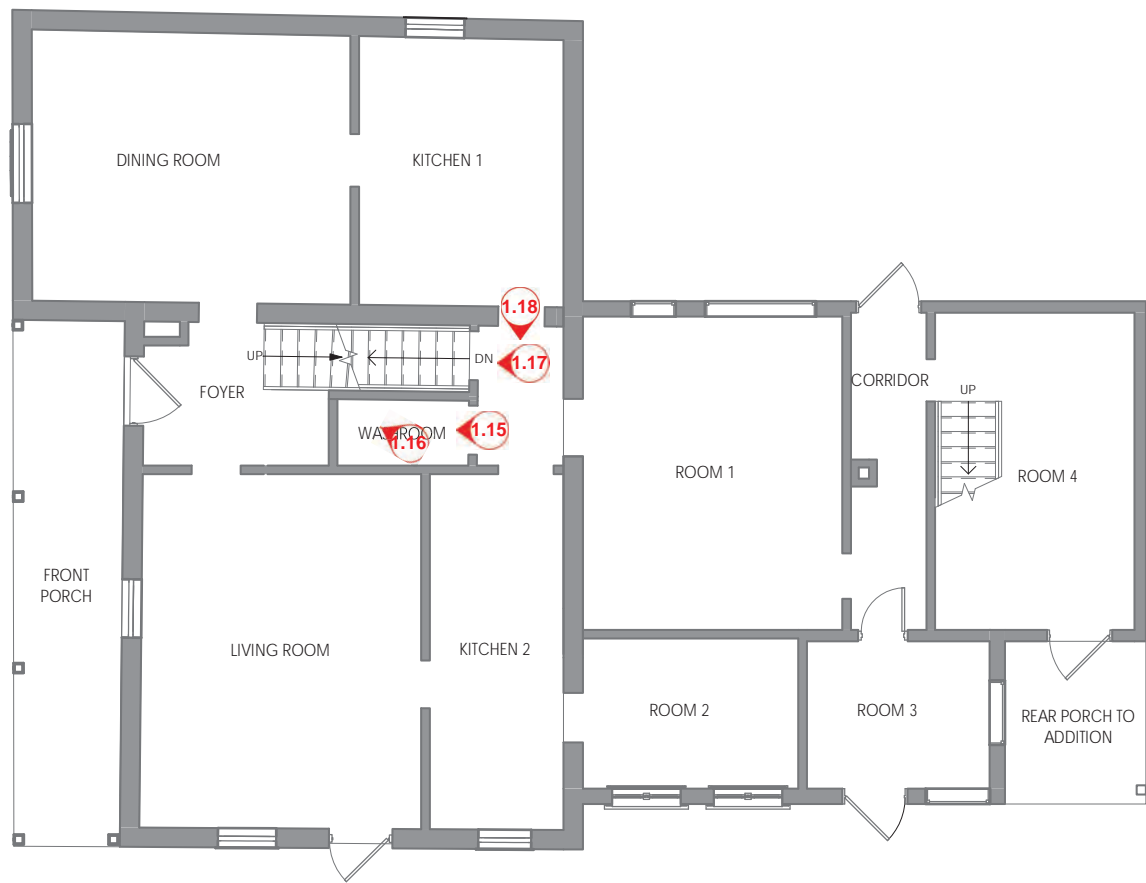
1.13) View of Kitchen 2 to the east, looking towards the school house addition. The wood door trim at the entry to Room 2 of the school house features bullseye corner blocks and the beaded casing at the top frame. The door trim and baseboard trim are both in good condition.



1.14) Close-up of damaged wall between Kitchen 2 and the school house addition.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



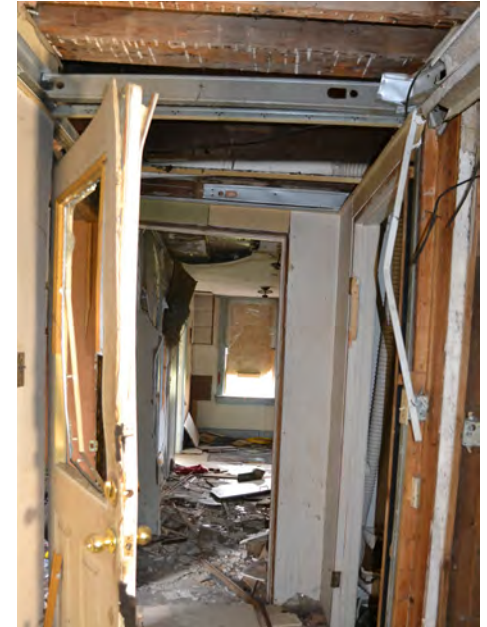
1.15) View of washroom adjacent in original portion of house. The ceiling has fallen and hand-hewn beam supporting the floor above is visible.



1.16) Close-up view of beam above ceiling. Tubes are sticking out from the beam, possible remnants from former knob and tube wiring.



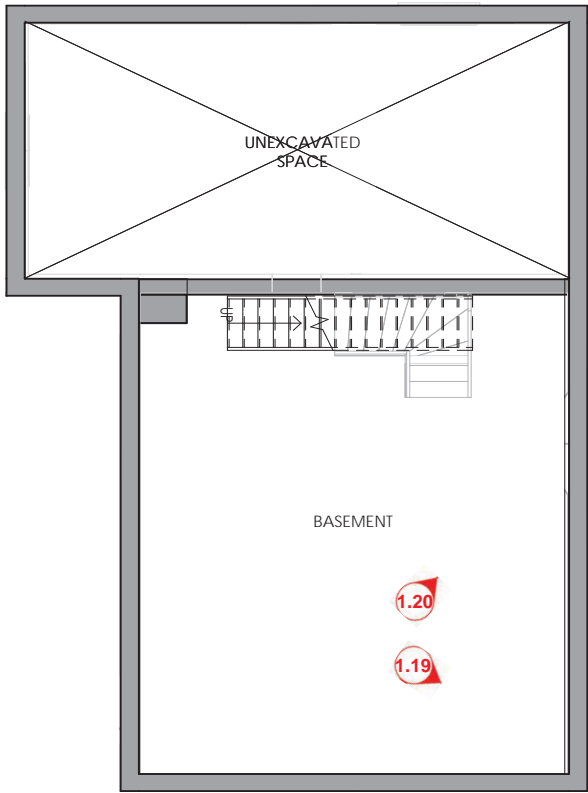
1.17) View of stairs to basement level beneath the original portion of house. The basement is flooded and thus inaccessible.



1.18) View from corridor between Kitchen 1 and Kitchen 2 looking to the south. The ceiling has fallen and the joists of the floor structure above are visible.

INTERIOR PHOTO DOCUMENTATION  
BASEMENT FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Basement Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION BASEMENT FLOOR

*NOTE: Photos taken by Tacoma Engineers staff on November 24th, 2017*



1.19) View of basement beneath original portion of house. The fieldstone foundation is unfinished and exposed throughout. A hole was made at one point and later patched up.  
Source: Tacoma Engineers, November 24th, 2017.



1.20) View of basement beneath original portion of house, looking to east. The framing of the ground floor is exposed indicating that the floor structure is framed with hand-hewn beams.  
Source: Tacoma Engineers, November 24th, 2017.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*1.21) View of Kitchen 1 in the later addition to the north of the house, looking to the south. The kitchen millwork consisting of upper and lower wood cabinets is damaged.*



*1.22) View of Kitchen 1 to the east. There is unsightly peeling, cracking, and flaking of paint from the walls and ceiling. Cracks in the plaster expose the wood lath beneath. A duct runs from floor to ceiling against the east exterior wall of the later addition.*

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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.23) View of Kitchen 1 to the west, looking towards the dining room at the front of the house. A beaded casing trim frames the doorways with bullseye corner blocks at the top. Plinth blocks are placed at the base of the door trim. Both the door trims and baseboard trim in Kitchen 1 are in good condition. On either side of the doorway, the partition between the two rooms is damaged with broken plaster and lath, and open holes in the wall.



1.24) View of Kitchen 1 to the north. The early wood window remains intact. The wood trim is the same as that framing the doorways and is in good condition.



INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

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Ground Floor Key Plan

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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



1.25) Closeup view of doorway between Kitchen 1 and dining room. The door trim features bullseye rosette corner blocks with beaded casing trim



1.26) Closeup view of the window in Kitchen 1.



1.27) View of dining room in the later addition to the north of the house, looking to the east. The doorway is framed with a similar trim to that of the adjoining kitchen, a beaded casing featuring bullseye rosette corner blocks and plinth block. There is likewise damage to the plaster and lath on this side of the partition.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



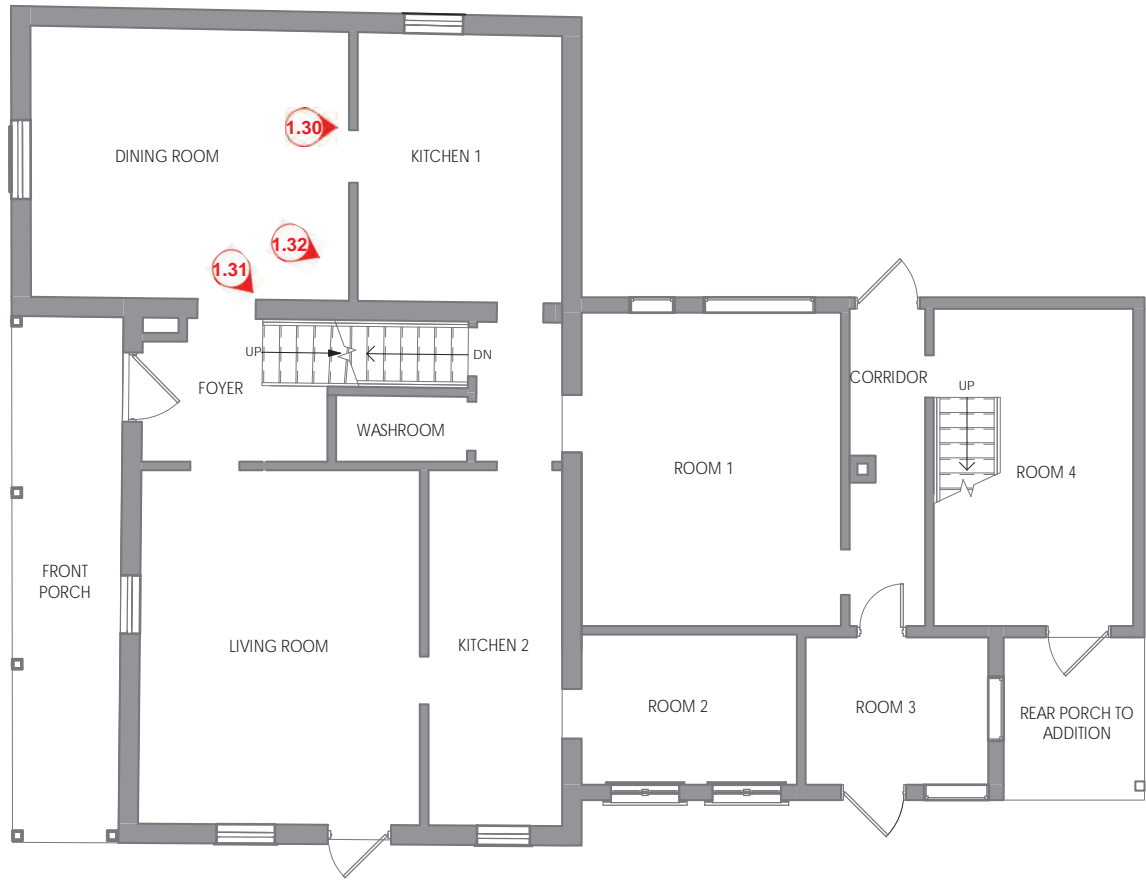
1.28) View of dining room looking to the west. The early window is partially boarded up, but it appears much of the window sash is missing. The window trim remains in good condition. Plaster has fallen off the portion of ceiling to the left of the window, exposing the lath beneath.



1.29) View of dining room looking to the south. The doorway opens up to the entrance foyer. There are holes in the wall where plaster has fallen off, and where a former duct once ran. The ceiling plaster is damaged and falling.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

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1.30) Close-up view of the door trim in the dining room.



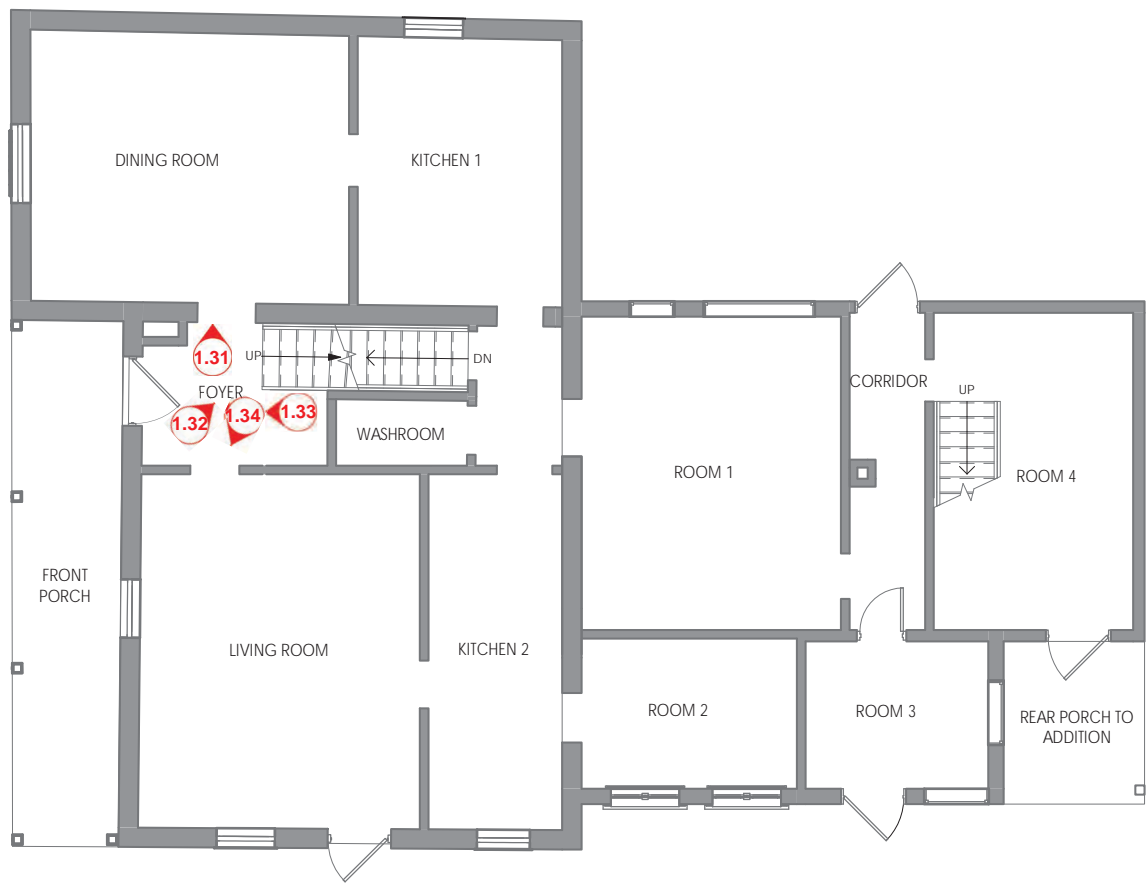
1.31) Close-up view of the baseboard trim and plinth block, both in fairly good condition throughout the dining room. There is a hole in the floor boards likely left by a large vent.



1.32) Openings within the ceiling of the dining room likely for duct work or a vent.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.31) View from foyer of original portion of the house, looking to the later addition to the north. To the left of the doorway is a chimney stack, plastered over. To the right are the stairs to the 2nd floor.



1.32) View from the bottom of the staircase to the 2nd floor. The lower portion of the railing is missing, but a portion remains intact.



1.33) View from the foyer looking to the entrance doors to the west. Front door is a solid flat panel wood door, unlikely the original. To the left, a pipe runs vertically from floor to ceiling.



1.34) View from the foyer looking to the south. The door trim is the same as in the dining room.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION

### GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.35) View of Room 1 of school house addition to the rear, looking to the north. The casement window to the left is intact and is in fair condition. The window to the right has been boarded up; much of the sash is missing and the frame is damaged. Wood wainscoting wraps around the room.



1.36) View of Room 1 of school house, looking to the east. There are small holes in the wall where the plaster has broken or from duct openings. The door has been removed from the frame.



INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION

### GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.37) View of Room 1 of school house, looking to the south. The gypsum board used to board up the doorway and former window had been broken. A portion of the ceiling is falling off. Insulation from these cavities covers the floor.



1.38) View of Room 1 of school house, looking to the west. The doorways open up to Kitchen 2 in the original portion of the house. A storage niche with shelving has been built into the adjoining wall. The door trim used in the school house is less detailed than that in the rest of the house. The trims are in fair condition.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.39) View from Room 2 of school house addition to the rear, looking to the south-east. There are two double single-hung windows on the south wall. One window is boarded up, the other is open. While missing muntins, the window frame, sill and trim on both are intact.



1.40) View from Room 2 of school house, looking to the north-west. Gypsum board covering the doorway to Room 1 has been broken through.



1.41) Close-up view of one of the double windows in Room 2 of the schoolhouse.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION

### GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.42) View from Room 2 of school house, looking to west. The room is 1 step down from the original portion of house. Sloped ceiling with wood board finish. Door trim is missing from the doorway to kitchen 2.



1.43) View from Room 3 of school house, looking to north. The north wall of Room 3 is clad in clapboard siding suggesting this was once an exterior wall that was later closed off.



1.44) View of Room 3 of school house, looking to east. Double single-hung windows are missing parts of sash.



1.45) View of Room 3 of school house, looking to south. Windows are boarded up but remain mostly intact.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.46) View of Room 3 of school house, looking south. Door to exterior is boarded up and missing a lower panel. Walls of room are unfinished with framing studs visible.



1.47) View of door between Room 3 and corridor of school house. The wood door is deteriorated and missing the one lower panel.



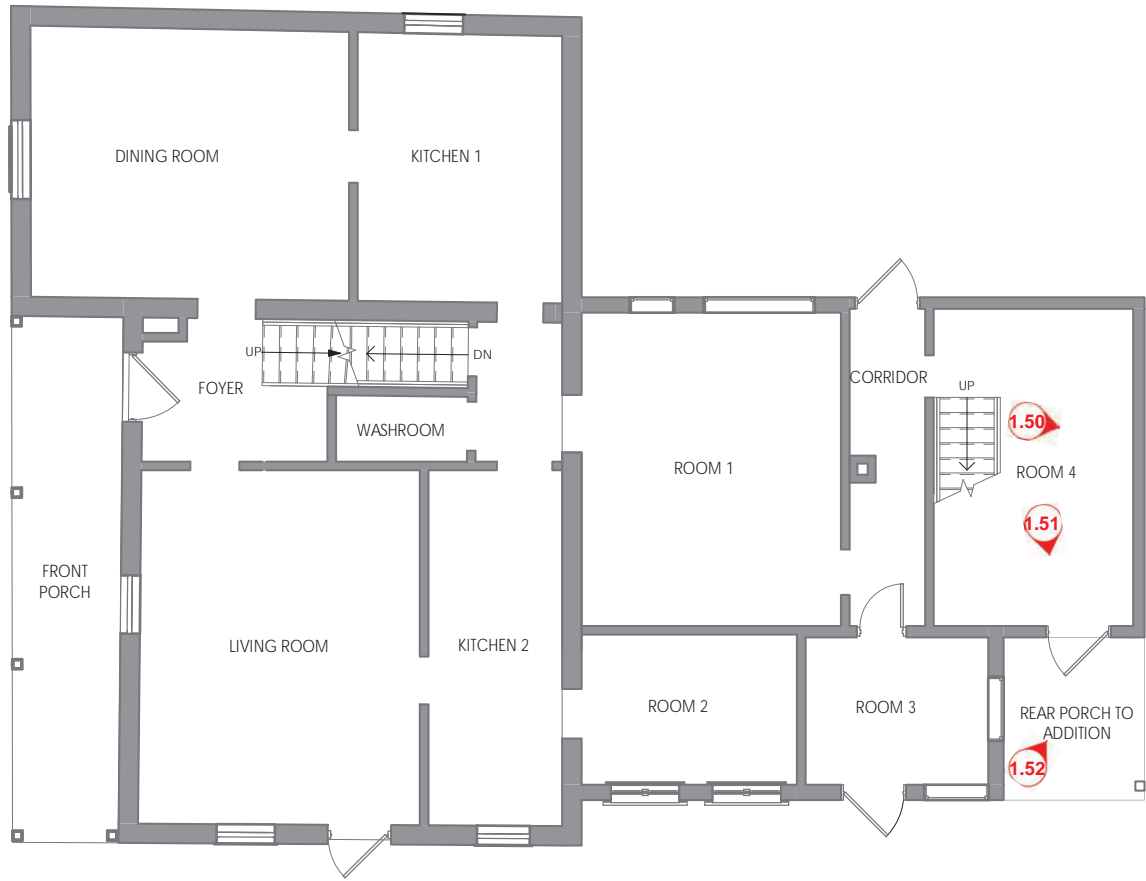
1.48) View from school house corridor looking to north. Windows between the corridor and rooms are boarded up. There is hole in the ceiling, likely from an access hatch or vent.



1.49) Close-up view of brick chimney within the school house corridor.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan



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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.50) View of Room 4 of school house addition to rear, looking to west. Existing windows are boarded up, and deteriorated or missing. The wood siding cladding the interior is damaged in areas.



1.51) View of Room 4 of school house to south. The house rests on a fieldstone foundation which is visible along the east wall.



1.52) View from rear porch addition to school house looking to interior of room 4. The brick veneer cladding is falling off. The door is missing from the frame. The fieldstone foundation is exposed on the exterior.



INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



Ground Floor Key Plan

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INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.53) View of Room 4 of school house to north-east. The ceiling is framed with heavy timber beams and smaller joists.



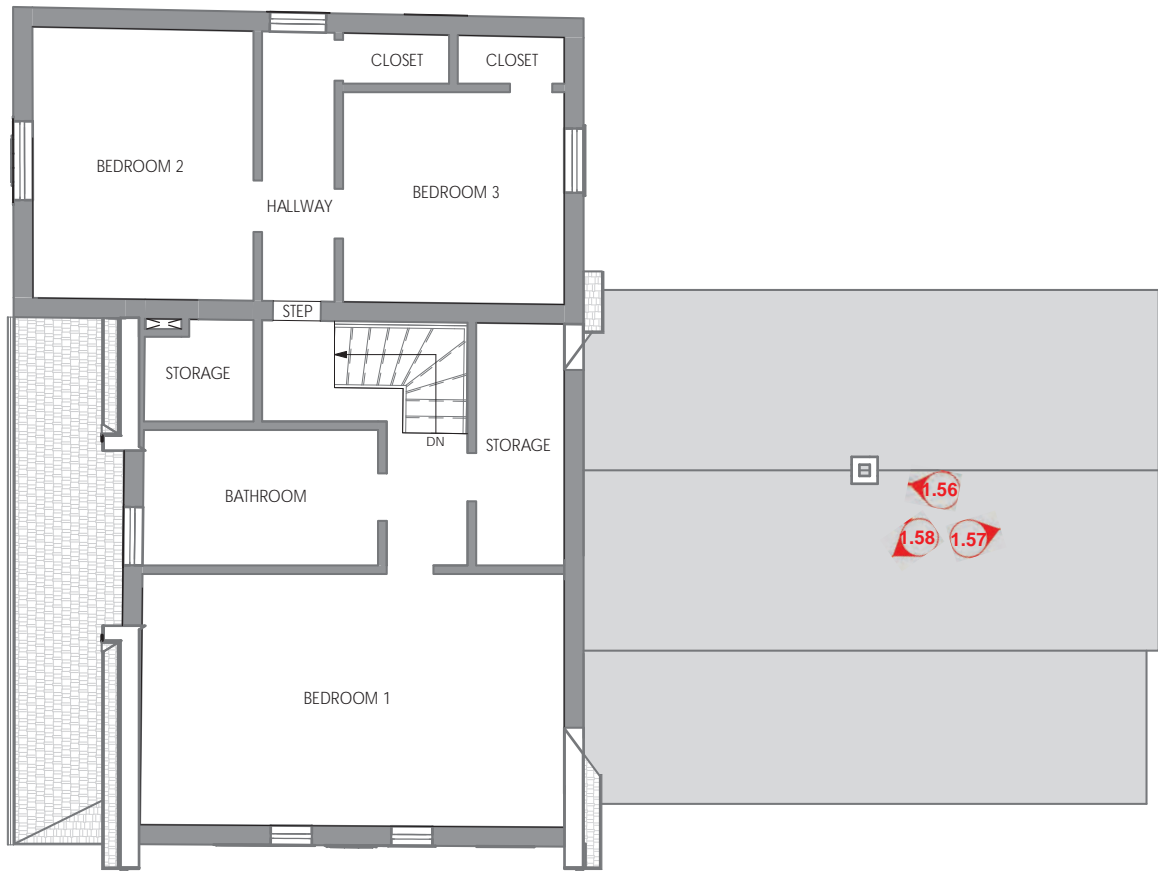
1.54) Close-up view of the solid-sawn heavy timber beam supporting the ceiling



1.55) View from Room 4 to the stair case to the attic above the school house.

INTERIOR PHOTO DOCUMENTATION  
GROUND FLOOR

NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023



2nd Floor Key Plan

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## INTERIOR PHOTO DOCUMENTATION GROUND FLOOR

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



1.56) View of the brick chimney passing through the attic of the school house. The brick is stained but otherwise in good condition.



1.57) View of attic above the school house, looking to the east. A 6-over-6 double hung window is boarded up but intact. The walls and ceiling are left unfinished revealing the heavy timber post-and-beam structure.



1.58) View of attic above the schoolhouse, looking to south-west. Visible are the roof rafters and the aluminum sheet roofing peeking through the deteriorated wood decking.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

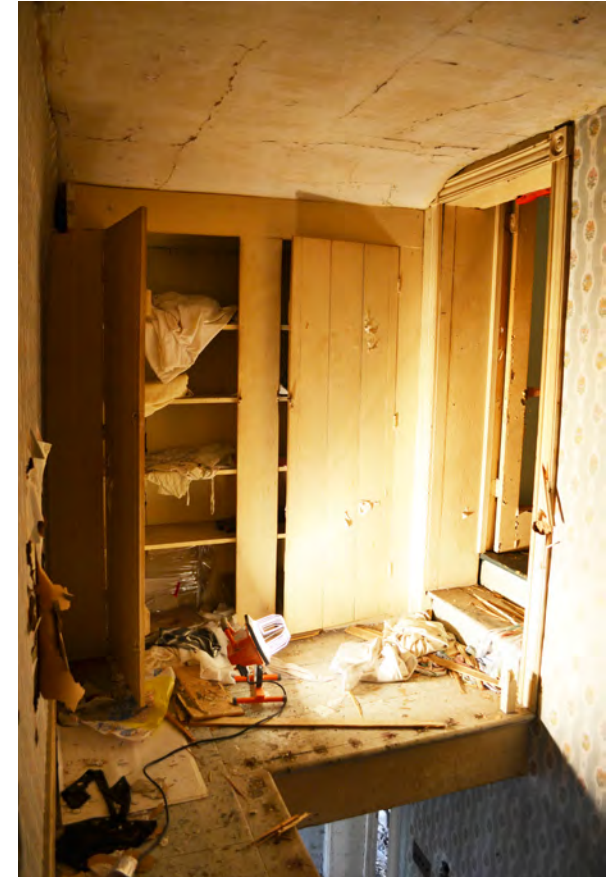
*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2.1) View up the stairs. Some of the railing components are damaged or missing but a portion is still potentially salvageable. Baseboard along stair still in fairly good condition.*



*2.2) View from corridor/landing at the second floor looking back to the top of the stairs. Guard rail is gone.*



*2.3) View from corridor/landing at the second floor looking toward Hallway. Guard rail is gone. Storage cupboards visible along wall.*

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.4) View from landing towards Bedroom 1. An entrance to a storage space is on the left hand side and the entrance to the second floor bathroom is on the right hand side.



2.5) View from landing above stairs looking across to the entrance to the storage space.



2.6) Newel post at the top of the stairs and many of the spindels in the balustrade are still in good condition. The guardrail along the second floor landing no longer exists.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.7) View towards south wall of Bedroom 1. Room contains sloped ceilings, minimal contents or decoration beyond window and door trims and baseboard. Two windows remain in the second floor, boarded up. One window was partially uncovered and sashes were visibly in poor condition.



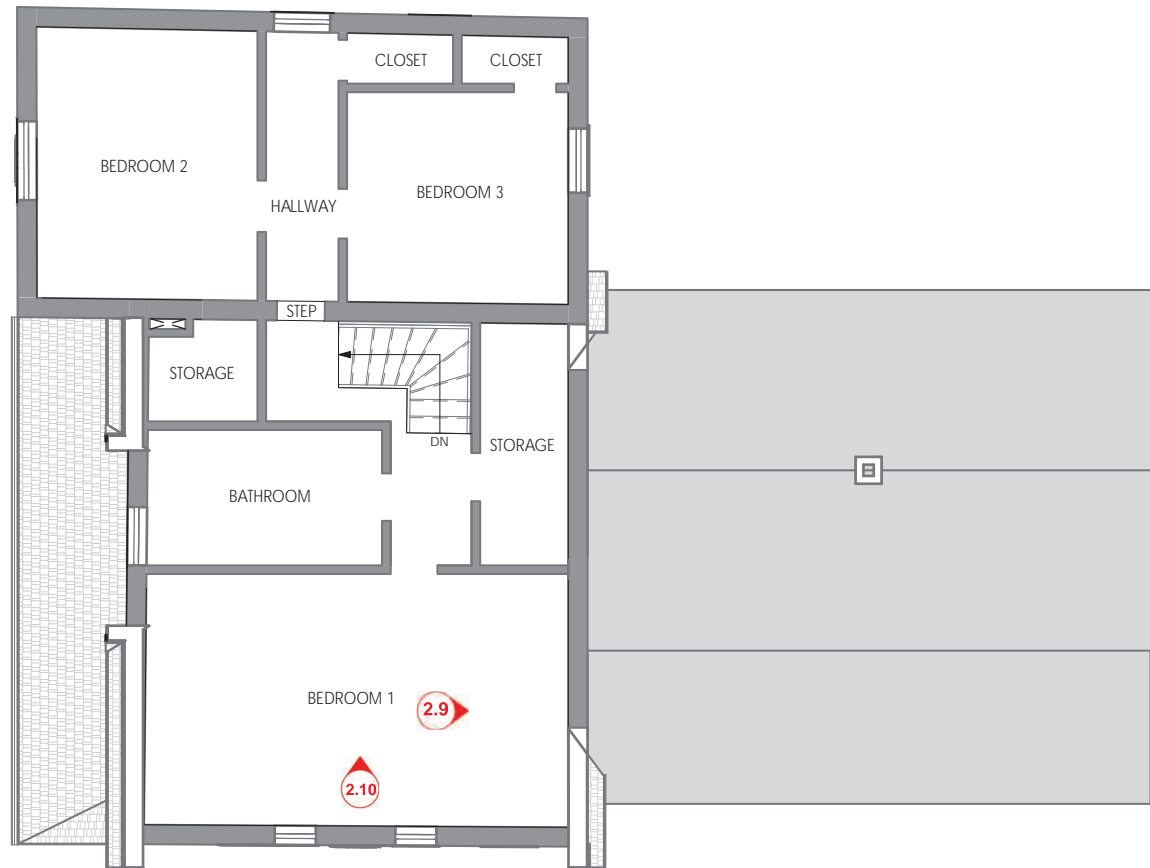
2.6) View towards west wall of Bedroom 1. Ceiling slopes down towards the west wall.



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.9) View towards east wall of Bedroom 1. Ceiling slopes down towards the east wall.

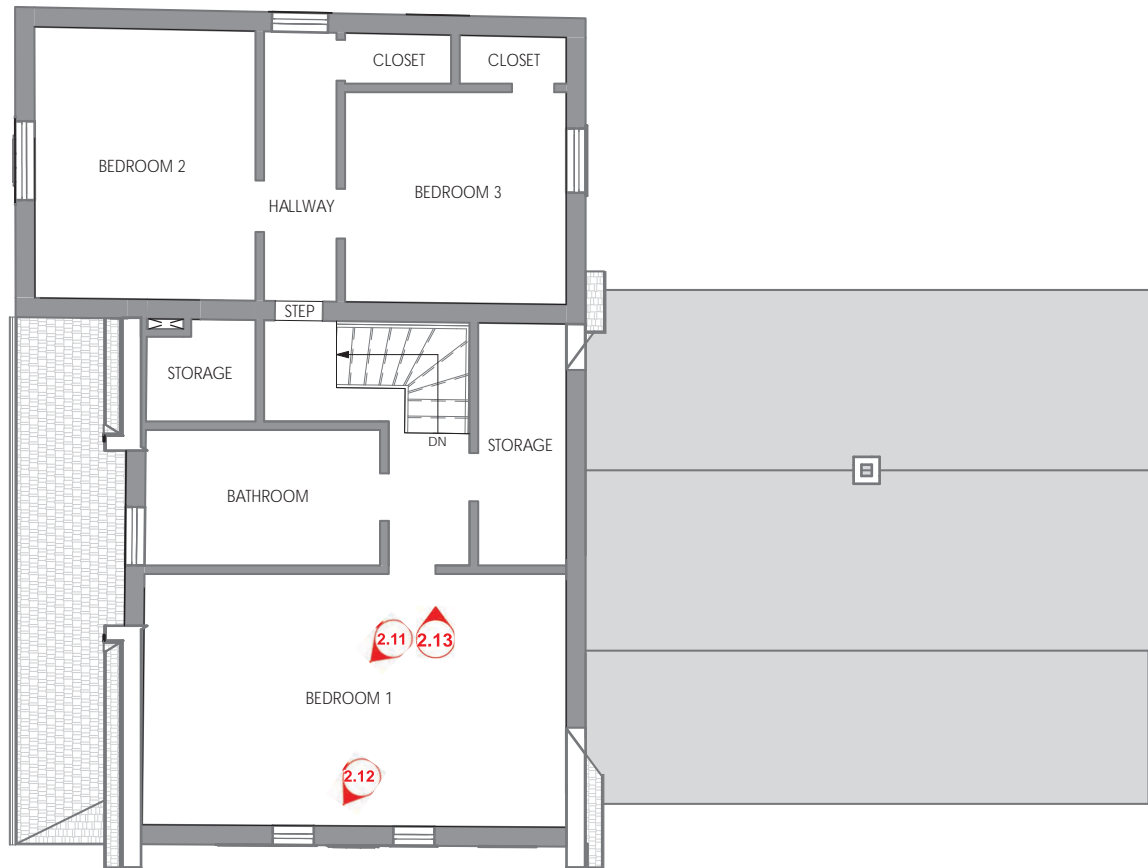


2.10) View towards north wall of Bedroom 1. Doorway opens on to the small corridor and landing at the top of the foyer stairs.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.11) Opening within the floor of Bedroom 1, possibly for duct work or a vent stack of some sort.



2.12) Remnants of one of the two windows in the room. The sash has sustained significant damage. The window trim and sill though are still in fairly good condition.

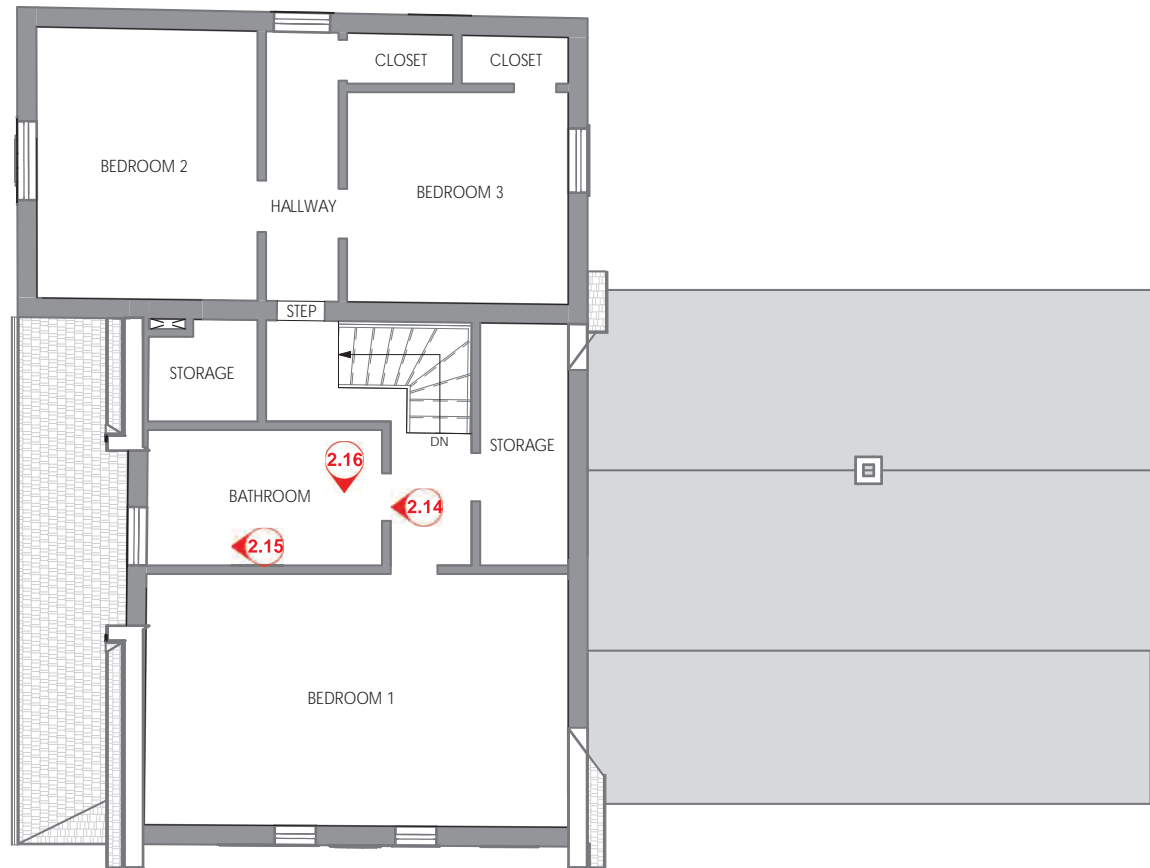


2.13) Door trim is still in fairly good condition, along with the baseboards.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.14) View into the second floor Bathroom towards the west wall. Visible is a boarded up window, the remnants of a bathtub under a section of sloped ceiling and a hatch up into the attic space.



2.15) View through the hatch into the attic space. Wood rafters and roof boards are visible.

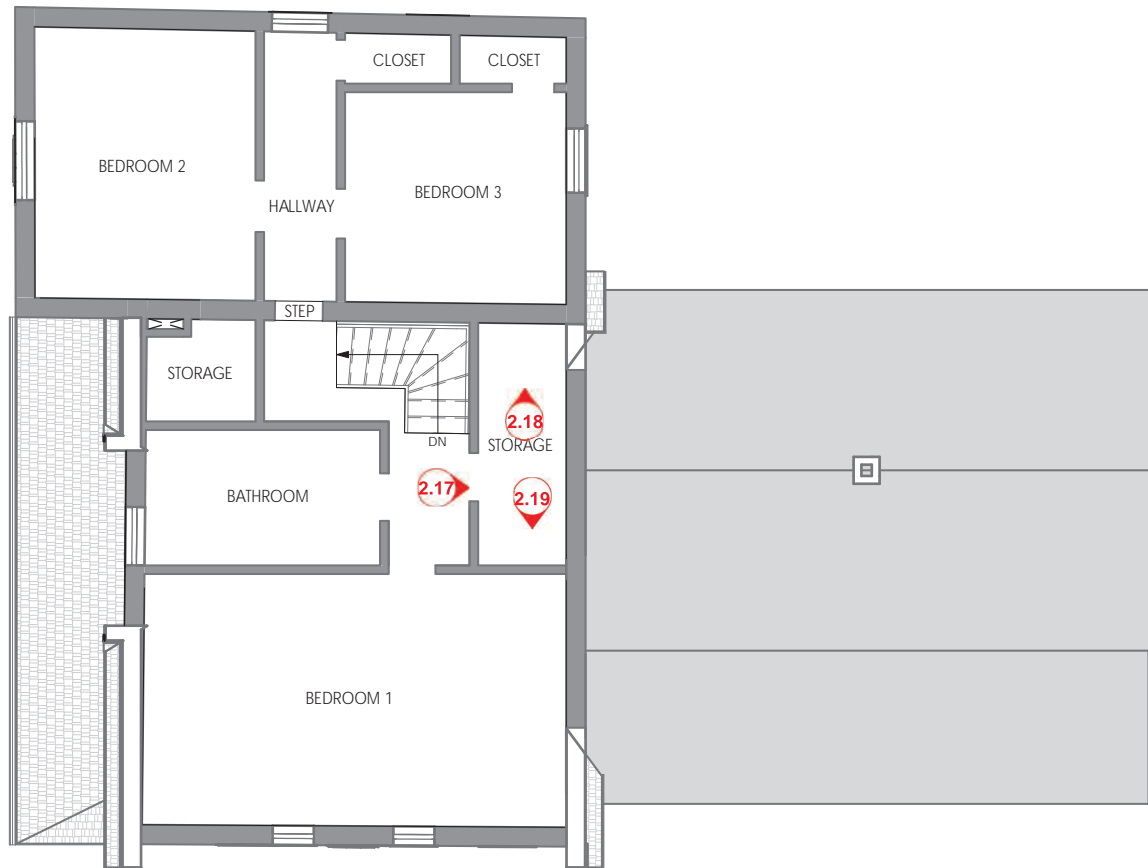


2.16) Door to the bathroom. No visible locking mechanism from the hallway side, just a simple handle instead of a knob. Consists of vertically oriented wood slats.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.17) View from corridor into the storage space. Door trim is fairly ornate and still remaining in good condition.



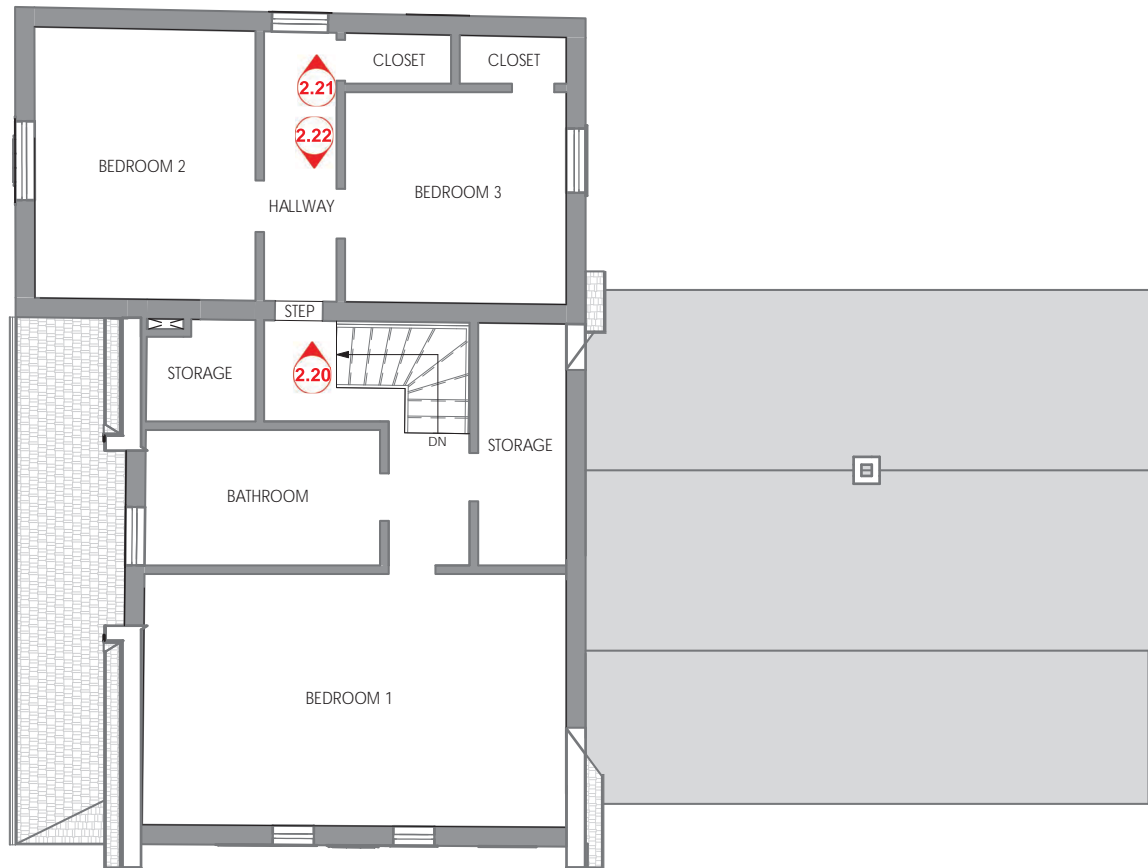
2.18) View to the north wall of the storage space. Ceiling of storage space slopes toward the east.



2.19) View to the south wall of the storage space. Damage is visible to the ceiling, plaster has fallen away and lath behind is visible.

**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.20) View into the hallway looking north. The north section of the second floor is two steps higher than the south. The wood trim around the door is fairly ornate but it has been damaged when the guard rail was removed. Bare floor boards are visible in the hallway. One window is visible in the north wall.



2.21) Existing window. Wood trim and sill are in good condition. Sashes appear to be reasonably intact though the glass is no longer present.



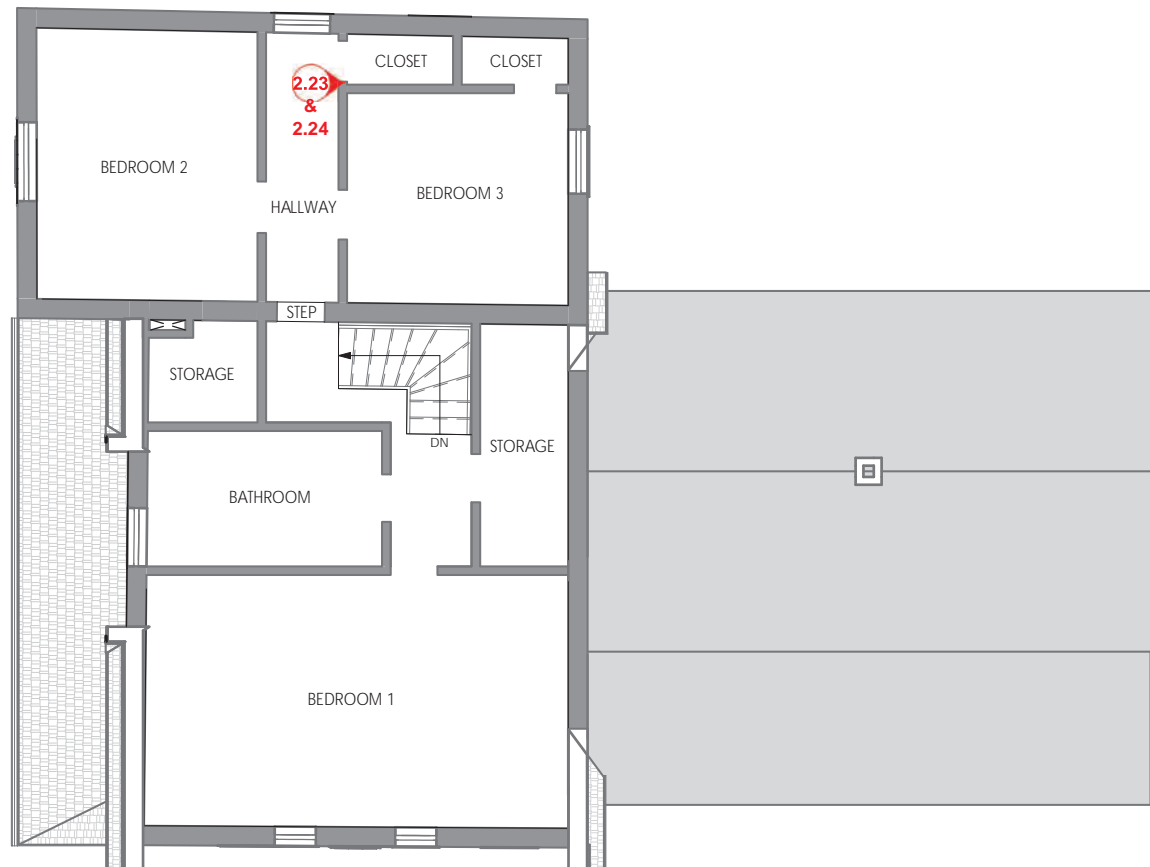
2.22) View south through the hall towards the stairway. A door once stood in the door frame but only its remnants remain. Ceiling slopes down towards the door. The head of the door appears to sit higher than the ceiling in the southern section of the second floor. It appears someone has tried to pad the edge of the ceiling in the transition to protect against bumping a head against the edge.



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.23) Closet in the north end of the hallway. Ceiling slopes within it. The bifold door is missing part of itself. The trim is intact and in fairly good condition.

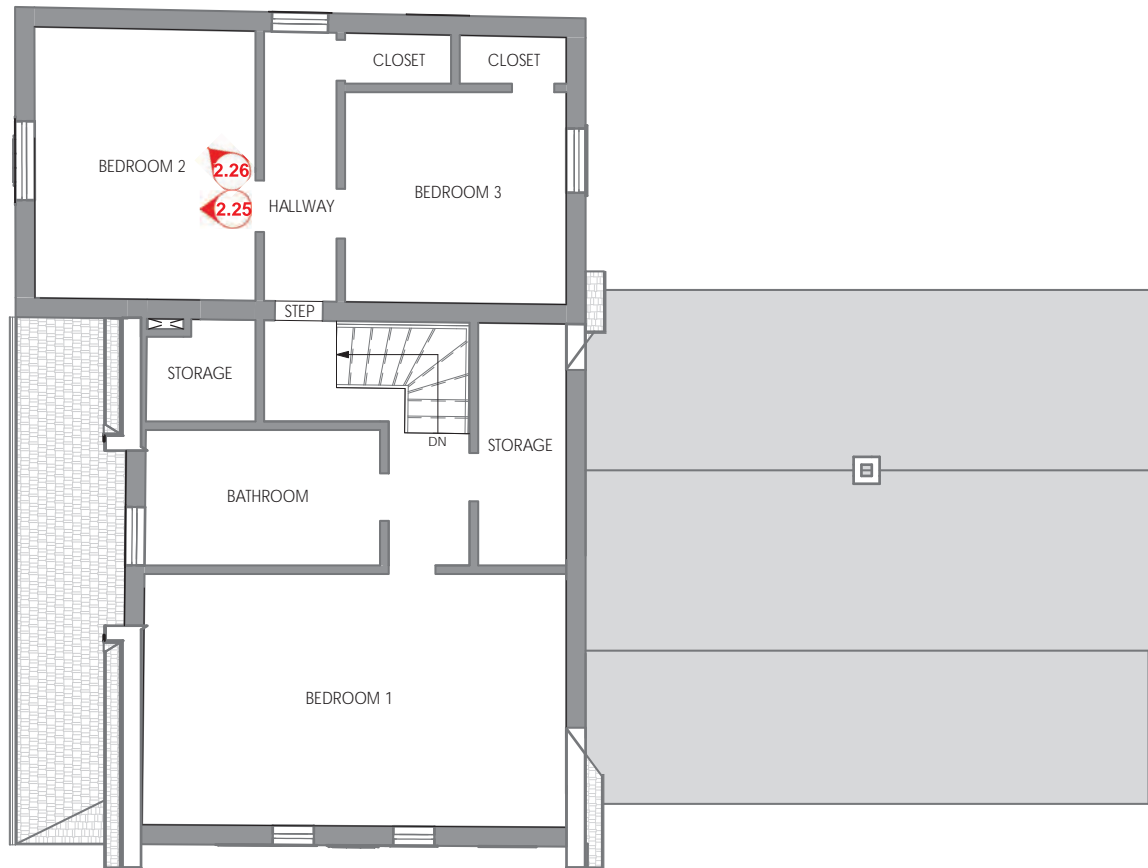


2.24) Closet in the north end of the hallway. The bifold door is missing part of itself. The trim is intact and in fairly good condition. Baseboard appears to be in fairly good condition.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.25) View in Bedroom 2 looking towards east wall. One window exists in the centre of the wall, currently boarded up. The ceiling can be seen to slope down at the north and south sides of the room.

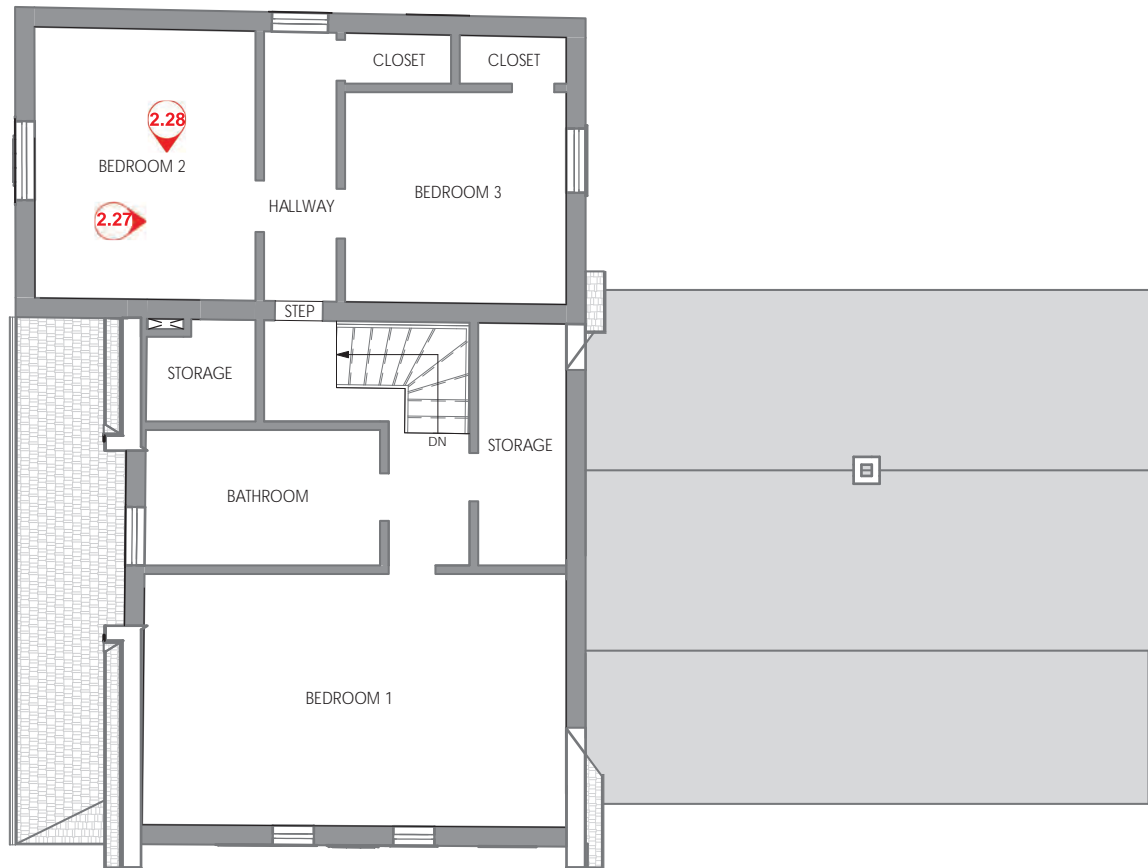


2.26) View of the Bedroom 2 north wall looking towards the northwest corner. The space is playing and fairly bare bones. Some trim around window and door as well as a baseboard.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*



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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.27) View in Bedroom 2 towards the east wall. Door way out to the hallway is visible. Decorative wood trim surrounds the doorway, appears in relatively good condition..



2.28) View in Bedroom 2 towards the south wall. On the left hand side of the photo the remnants of the door can be seen. It has been significantly damaged.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

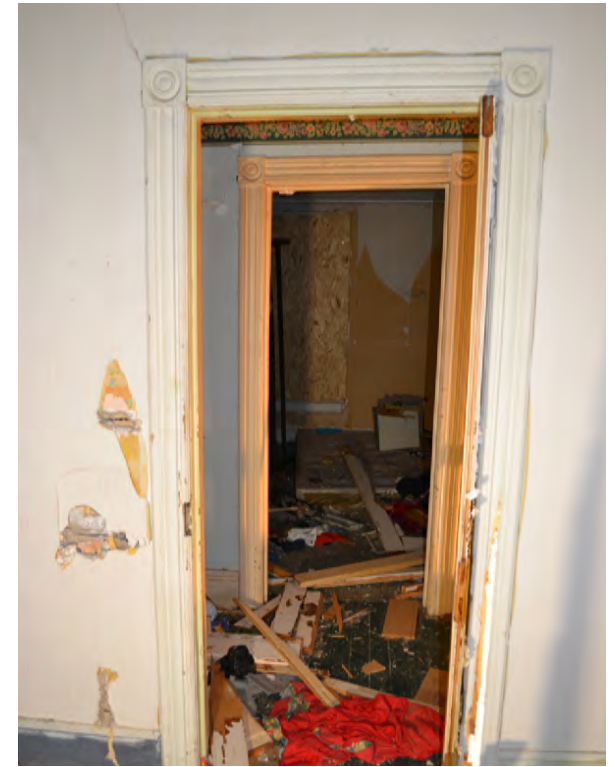
*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.29) Large vent, set into painted wood flooring.



2.30) Remnants of the door into Bedroom 2.

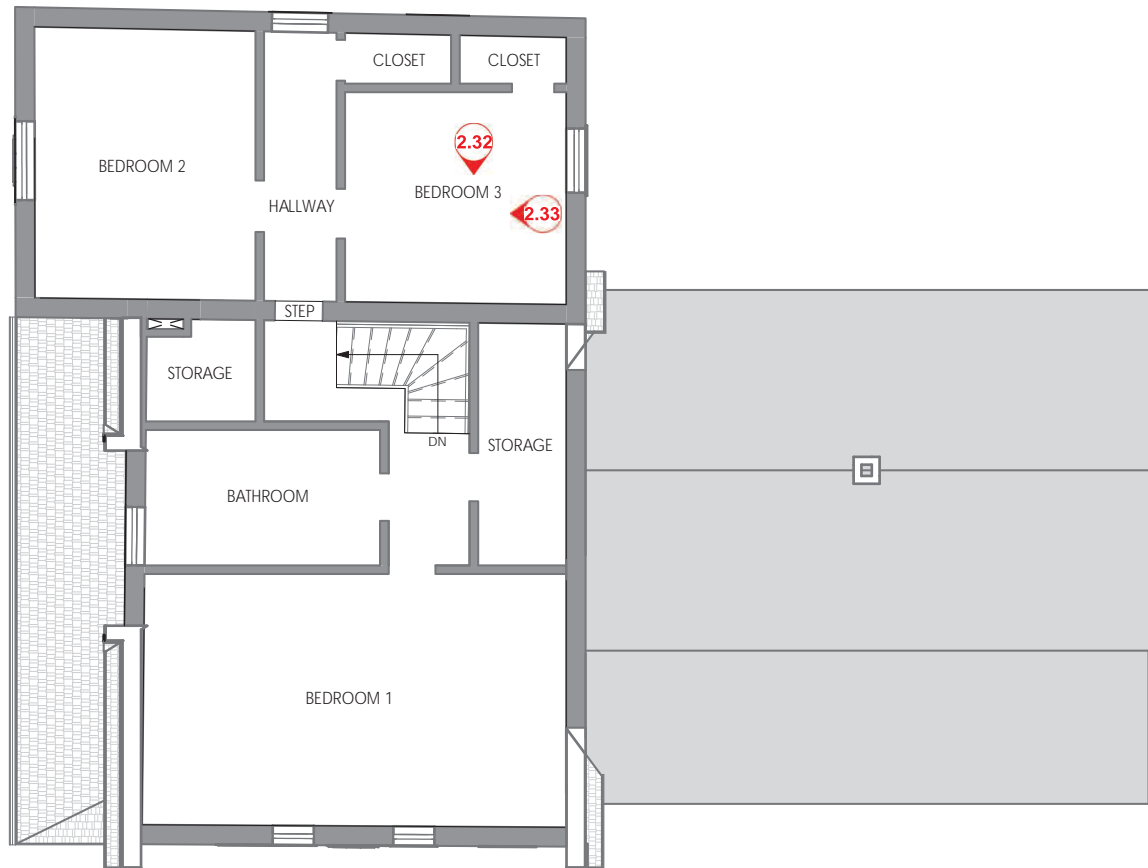


2.31) Door trim at entry to Bedroom 2.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.32) Bedroom 3, view of south wall. Signs of water damage.



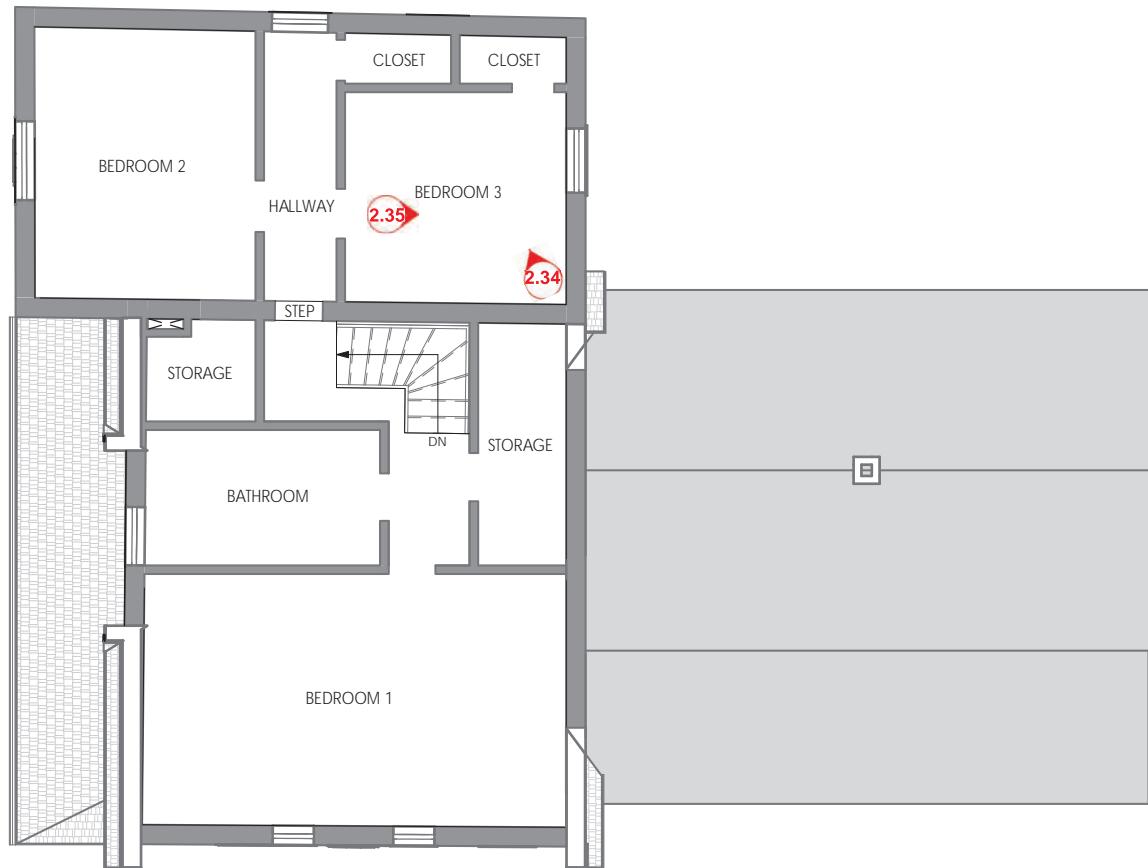
2.33) Bedroom 3, view of west wall. Visible are the doorway and a bump out in the wall, most likely for duct work. The ceiling can be seen in the upper left corner to slope down to the south.



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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.34) Bedroom 3, view of north wall. A closet is behind this wall, it's entrance is on the right..



2.35) Bedroom 3, view of east wall. Window opening in the wall has been boarded up.

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**[INTERIOR] PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



*2nd Floor Key Plan*

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**INTERIOR PHOTO DOCUMENTATION**  
**SECOND FLOOR**

*NOTE: Photos taken by ATA Architects Inc. staff on August 17th, 2023*



2.36) Closet of Bedroom 3, looking west. Ceiling slope down to the north.



2.36) Closet of Bedroom 3, looking west. West wall divides this closet from the hallway closet.

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**SALVAGE**

<b>Material</b>	<b>Importance</b>	<b>Plan</b>	<b>Use</b>
Brick	The brick cladding was one of the character contributing attributes of the James McClure house.	The house should be scaffolded and the brick carefully removed to maximize the number that can be salvaged. The mortar should be removed and the bricks stacked on skids, with the exterior face consistently stacked in rows for the future mason.	For future use in commemoration structures related to the James McClure farmhouse. Unused brick will be provided to the City of Brampton.
Modeled Red Bricks	One of the significant attributes of the James McClure house.	Must be carefully removed - both the rosettes and the adjoining details. The rosettes appear to be repointed incorrectly using Portland cement.	To be used as distinctive features in commemorative structures related to the James McClure farmhouse. Due to the condition of the molded brick, they may be used as templates for replication.
Barge board	One of the character contributing significant attributes of the James McClure house.	While the house is scaffolded, all the barge boards in the gables should be removed. It is recommended that the barge boards be cleaned and receive one coat of primer and that the large decorative barge board from the front, west, and south gables be attached to 2x4 bracing to retain the shape.	To be used to design templates for commemorative structures and graphics symbolizing the heritage home.



## SALVAGE



3.0



3.1



3.2



3.01



3.11



3.21



3.02



3.12



3.22

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## SALVAGE

Material	Importance	Plan	Use
Fieldstone Foundation Stone	Material is associated with heritage homes, not easily replicated with new materials.	Careful dismantling of the exterior wall, it is recommended to stack stone in wire baskets or wood containers, not loose piles. Remove any remaining mortar.	For cladding the foundation of commemorative structures.
Handhewn Beams	Noted as a character contributing attribute.	Remove dust and dirt as well as check for wood rot.	For restoration projects. Material is recyclable. Provide to City of Brampton or Architectural Salvage Companies.
Wood Planking	Recyclable material.	Remove nails from wide planking from floor, walls, and roof. Stack with spaces to allow for air circulation between wood.	For restoration Projects. The material is recyclable. Provide to City of Brampton or Architectural Salvage Companies. Multiple applications, including furniture.



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## SALVAGE



3.3  
Fieldstone Foundation Stone - Taken by  
ATA Architects, February 14, 2023



3.4  
Wood Planking Atop Hand-hewn Beams -  
Taken by ATA Architects, August 18, 2023

SALVAGE

Material	Importance	Plan	Use
Windows and Doors	No longer significant, poor condition or broken.	Not salvageable.	----
Wood Wall Studs	Not significant historically.	No retail market currently available, not needed for commemorative structure.	Can be made available to the City of Brampton if some members are needed.

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## SALVAGE



3.5  
Windows and Doors, significantly  
weathered- Taken by ATA Architects inc.  
August 18, 2023



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## SALVAGE PLAN

Ashley Oak Homes is associated with Ashley Heritage Joint Venture and is a qualified, experienced home builder who will manage the demolition. The owners should retain a heritage consultant to review the demolition process. Qualified masons should be retained to dismantle and clean the brick and the brick details from the James McClure house. The house must be scaffolded. The existing perimeter fencing should be maintained for the security of the building and materials. The cleaned brick should be carefully stacked on skids. Rosettes and associated details should be stored separately.

Some stone may be needed for commemorative structures. Similarly, the foundation stones should be cleaned of mortar, washed, and put into wire or wooden bins. The majority of the stone salvaged will likely be used for either a base for a commemorative plaque or as cladding of the foundation of a commemorative structure. Salvage stone material based on future use and separate into bins according to size.

Wood is not proposed for commemorative exterior structures, but is recyclable. Planks either one or two inches (0.0508m) at sizes of 10 inches (0.254m) and above should be salvaged. The planks should be structurally sound and show no signs of rot. Planks should be cleaned and stacked with spaces between them to allow the wood to breathe.

Barge boards should be braced and stored upright. Prior to storage they should be photographed and measured for inclusion as a symbolic replication in any commemoration structures or plaque of the James McClure house.



4.0 Sketch Concept of a Commemorative Entrance Feature  
Source ATA Architects Inc.

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## STORAGE

The intent is to store the materials on the site originally slated for the relocation of the McClure house in a large secure vented container. Grading around the container should drain away from the storage unit.

The build-up of humidity in the storage container should be avoided. It should be opened every 3 to 4 months to check on the condition of the contents and provide the circulation of fresh air.

Materials should be stored to allow passage from front to back of the container, in order to allow full access.

The James McClure house provides several materials that are salvageable both for general recycling for heritage/ residential projects and for commemorative use. In order to accurately determine the most effective use of salvaged materials, a commemoration plan is recommended.