



CITY OF BRAMPTON

COMMITTEE OF ADJUSTMENT
APPLICATION FOR MINOR VARIANCE

8940 CREDITVIEW ROAD

Branthaven Creditview Inc.

CITY FILE NO.: A-2022-0022

October 2023

SITE LOCATION MAP (AERIAL)

ADDRESS: 8940 Creditview Road

SITE AREA: Total: 3.54 ha



Edwin Trimble
House

 SUBJECT SITE

LAND USE POLICIES & BACKGROUND INFORMATION

- Official Plan Designation: Residential
 - Secondary Plan Designation: Executive Residential
 - Zoning: Agricultural (A)
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- A Heritage Impact Assessment, Heritage Conservation Plan and Heritage Building Protection Plan were prepared by Parslow Heritage Consultancy Inc.

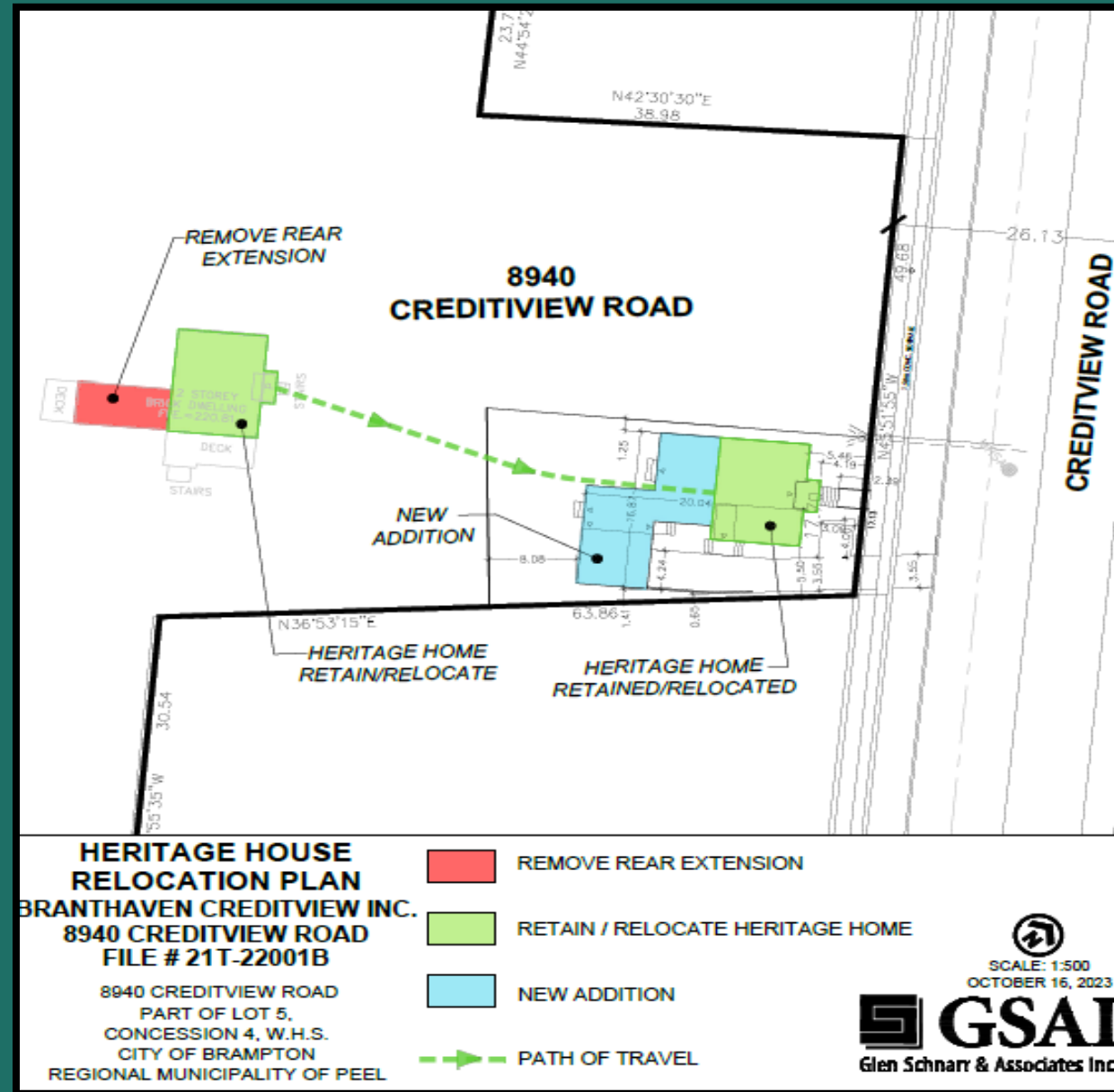
HERITAGE APPROVALS

- **July 26, 2023:** The Brampton Heritage Board approved the Heritage Building Protection Plan to facilitate the restoration and relocation of the Edwin Trimble House.
- **July 31, 2023:** The City's Planning and Development Committee adopted the recommendation from the Brampton Heritage Board meeting.
- **August 9, 2023:** City Council approved the PDC meeting minutes.

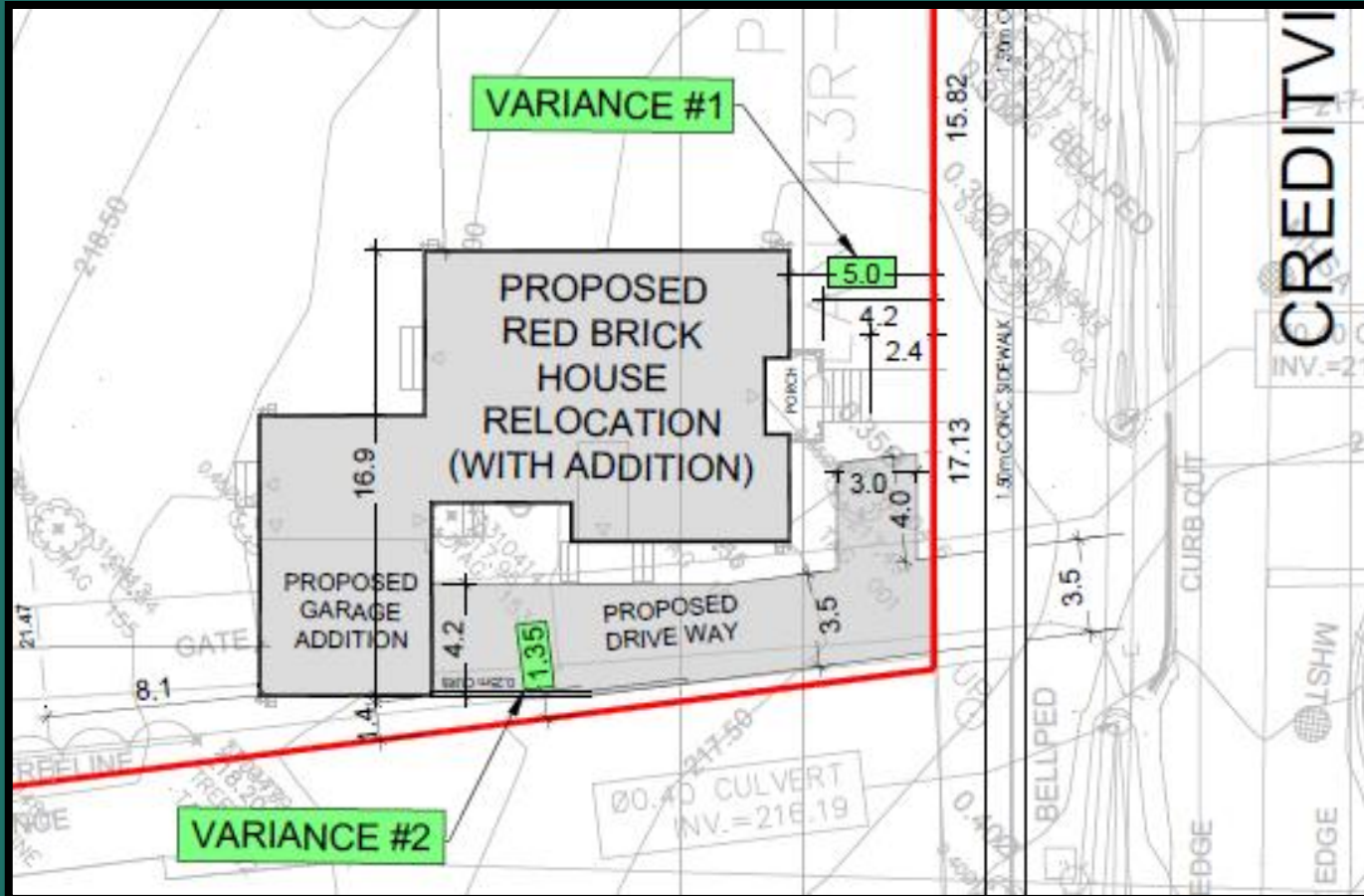
STREET VIEW OF EDWIN TRIMBLE HOUSE



RELOCATION PLAN



AREAS SUBJECT TO VARIANCE(S)



MINOR VARIANCES REQUIRED

1. That the lands subject to the 'Agricultural' (A) zone be permitted a minimum front yard setback of 5.0 meters; whereas the zoning by-law requires a minimum front yard setback of 12.0 metres.
2. That the lands subject to the 'Agricultural' (A) zone be permitted a minimum side yard setback of 1.35 meters; whereas the zoning by-law requires a minimum side yard setback of 7.5 meters.

THANK YOU

