



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0329

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Joann Sookram and Arnold Mohammed
Address 35 Haley Court Brampton Ontario L6S1N6

Phone # 647-989-5992 **Fax #** _____
Email joannprso@hotmail.com

2. **Name of Agent** Atallah Kassis A&J Construction Consultancy Limited
Address 1030 Vickerman Way Milton Ontario L9T0B9

Phone # 647-292-4266 **Fax #** _____
Email kassis.2010@hotmail.com

3. **Nature and extent of relief applied for (variances requested):**
The nature of the variance is extra livable space in the home.
a) The boundaries of the lands which are subject of this application are marked in colour in the drawings attached.
b) The location, size and type of all existing and proposed buildings and structures are indicated in the drawings attached.
c) There is no natural and artificial features on the subject land natural and artificial features on the adjacent to the subject land that may affect the application, see attached drawings.

4. **Why is it not possible to comply with the provisions of the by-law?**
We are exceeding the footprint of the house.

5. **Legal Description of the subject land:**
Lot Number 10-09-0-024-73300-0000
Plan Number/Concession Number 14173-1536 LT
Municipal Address 35 Haley Court Brampton Ontario L6S1N6

6. **Dimension of subject land (in metric units)**
Frontage 41.49
Depth 74.87
Area 3106

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

The existing 2 storey detached dwelling gross floor area is 48.66 square meters. See attached drawings.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

The proposed addition is two storey gross floor area 28.64 square meters. See attached drawings.

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.5m	_____
Rear yard setback	12.5m	_____
Side yard setback	4.5m	_____
Side yard setback	1.5m	_____

PROPOSED

Front yard setback	4.5m	_____
Rear yard setback	3.9	_____
Side yard setback	4.5	_____
Side yard setback	1.5	_____

- 10. Date of Acquisition of subject land: 2018
- 11. Existing uses of subject property: Residential
- 12. Proposed uses of subject property: Residential
- 13. Existing uses of abutting properties: Residential
- 14. Date of construction of all buildings & structures on subject land: 1977
- 15. Length of time the existing uses of the subject property have been continued: 46 years

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # 73365-BPO-2022108 Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Atallah Kassis - A&J Construction Consultancy LTD.
Signature of Applicant(s) or Authorized Agent

DATED AT THE Residence OF Joann Sookram

THIS 16 DAY OF July, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Atallah Salem Kassis

I, ~~Joann Sookram and Arnold Mohammed~~, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 13 DAY OF

October, 2023.


A Commissioner etc.

Mercelyn Osayamen Osaze
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires June 20, 2025.

Atallah Salem Kassis

Joann Sookram

Signature of Applicant or Authorized Agent


Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R3A(4)-126

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

Sept 29, 2023
Date

DATE RECEIVED Oct 13, 2023 VL

Date Application Deemed Complete by the Municipality _____

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 35 Haley Court


I/We, Joann Sookran and Arnold Mohammed
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Atallah Kassis
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 16 day of July, 2023.

Joann Sookran and Arnold Mohammed 
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

ATALLAH KASSIS
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 35 Haley Court

I/We, Joann Sookram and Arnold Mohammed
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

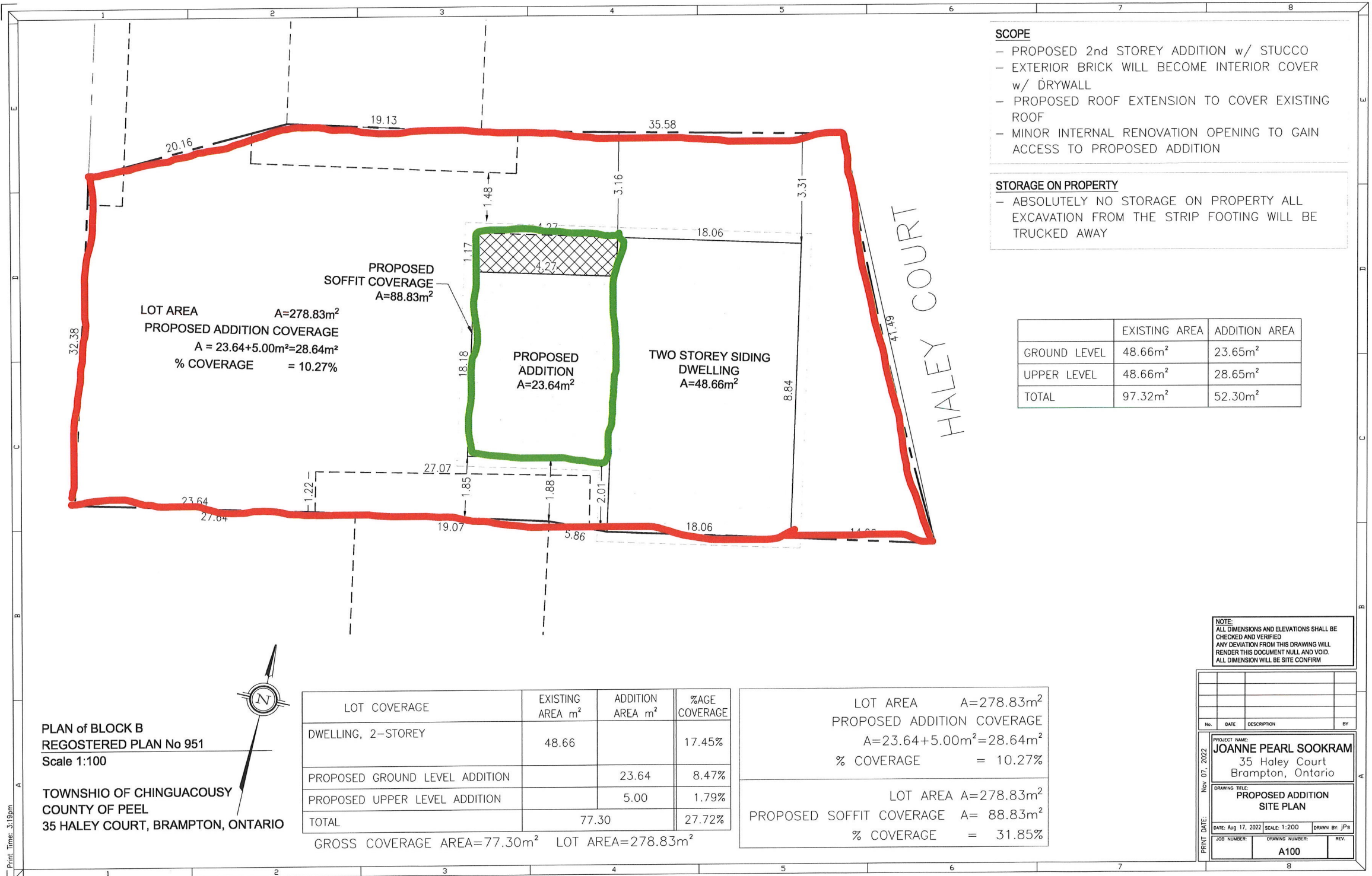
Dated this 16 day of July, 2023.

~~Joann Sookram and Arnold Mohammed~~ 
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

ATALLAH KASSIS
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



SCOPE

- PROPOSED 2nd STOREY ADDITION w/ STUCCO
- EXTERIOR BRICK WILL BECOME INTERIOR COVER w/ DRYWALL
- PROPOSED ROOF EXTENSION TO COVER EXISTING ROOF
- MINOR INTERNAL RENOVATION OPENING TO GAIN ACCESS TO PROPOSED ADDITION

STORAGE ON PROPERTY

- ABSOLUTELY NO STORAGE ON PROPERTY ALL EXCAVATION FROM THE STRIP FOOTING WILL BE TRUCKED AWAY

	EXISTING AREA	ADDITION AREA
GROUND LEVEL	48.66m ²	23.65m ²
UPPER LEVEL	48.66m ²	28.65m ²
TOTAL	97.32m ²	52.30m ²

PLAN of BLOCK B
 REGOSTERED PLAN No 951
 Scale 1:100

TOWNSHIO OF CHINGUACOUSY
 COUNTY OF PEEL
 35 HALEY COURT, BRAMPTON, ONTARIO



LOT COVERAGE	EXISTING AREA m ²	ADDITION AREA m ²	%AGE COVERAGE
DWELLING, 2-STOREY	48.66		17.45%
PROPOSED GROUND LEVEL ADDITION		23.64	8.47%
PROPOSED UPPER LEVEL ADDITION		5.00	1.79%
TOTAL		77.30	27.72%

GROSS COVERAGE AREA=77.30m² LOT AREA=278.83m²

LOT AREA A=278.83m²
 PROPOSED ADDITION COVERAGE
 A=23.64+5.00m²=28.64m²
 % COVERAGE = 10.27%

LOT AREA A=278.83m²
 PROPOSED SOFFIT COVERAGE A= 88.83m²
 % COVERAGE = 31.85%

NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED
 ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID.
 ALL DIMENSION WILL BE SITE CONFIRM

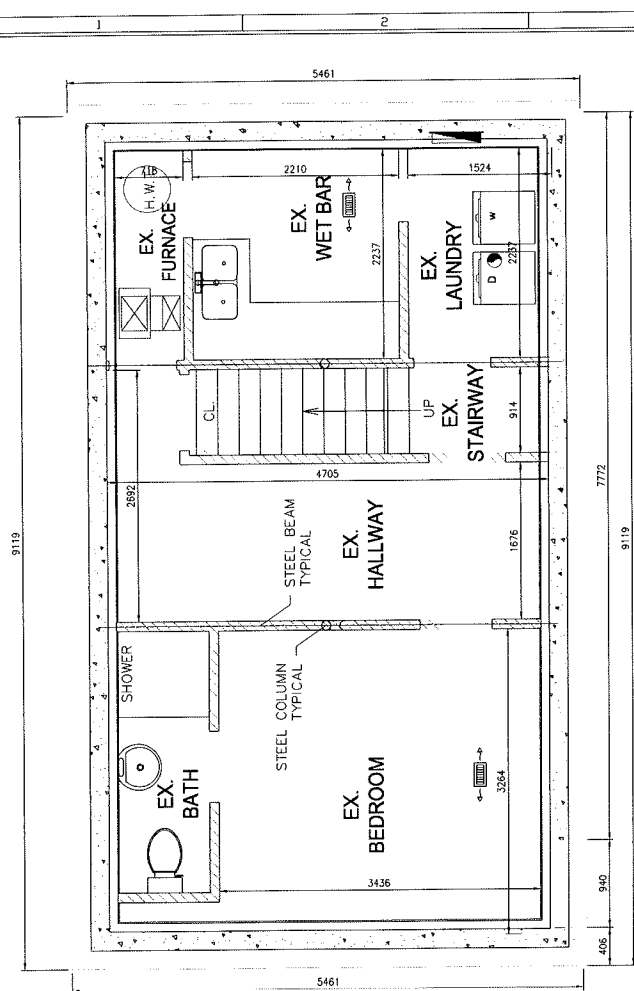
No.	DATE	DESCRIPTION	BY

PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

DRAWING TITLE:
PROPOSED ADDITION SITE PLAN

DATE: Aug 17, 2022 SCALE: 1:200 DRAWN BY: jP's
 JOB NUMBER: DRAWING NUMBER: REV:
A100

Print Time: 3:19pm



EXISTING BASEMENT LEVEL

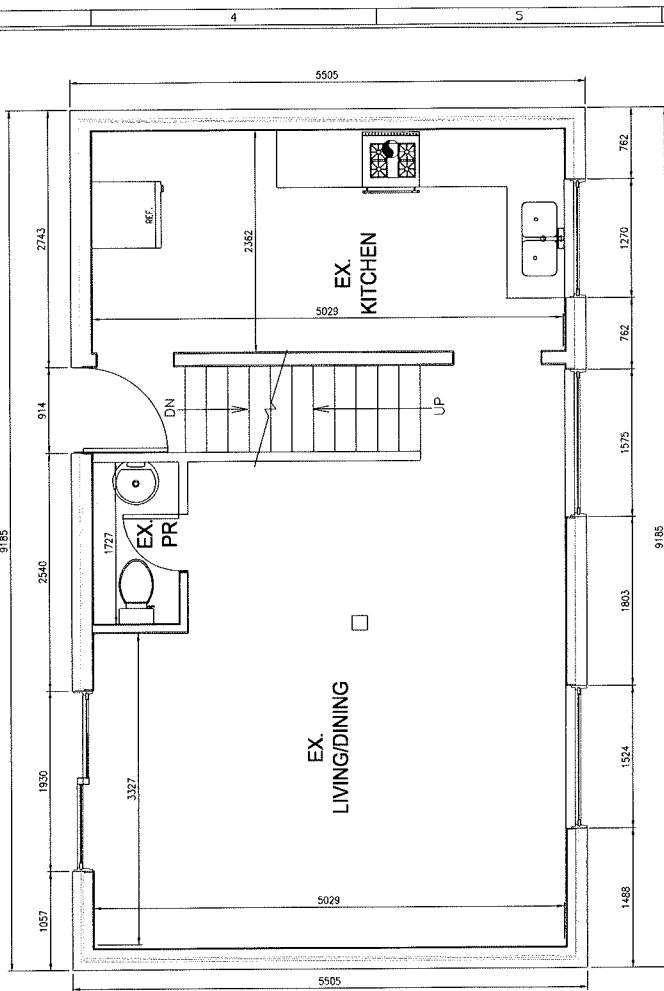
NOTE:

DIMENSIONS ARE FROM THE FACE OF STUDS TO STUDS

TOTAL FINISH BASEMENT AREA - 440.36 SQ.FT

OVERALL CEILING HEIGHT - 86"

- DENOTES EXHAUST FAN
- AIR SUPPLY GRILL
- 34"x80" CLEAR OPENING PLAIN DOOR
- 30"x80" CLEAR OPENING PLAIN DOOR
- 24"x80" CLEAR OPENING PLAIN DOOR
- EX. WATER SERVICE PIPE
- EX. ELECTRICITY PANEL



EXISTING GROUND LEVEL

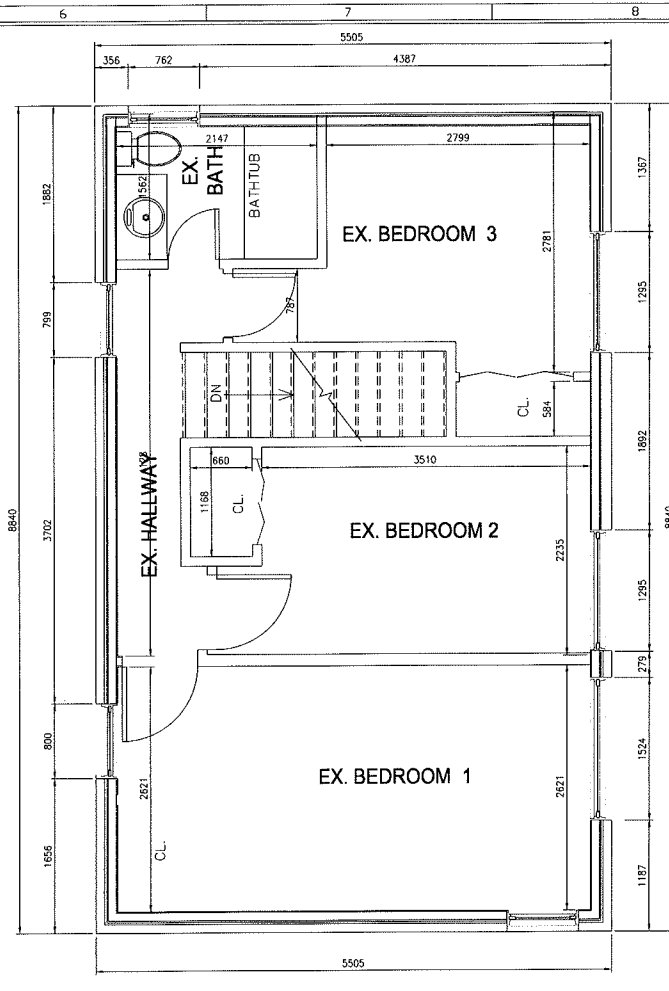
NOTE:

DIMENSIONS ARE FROM THE FACE OF STUDS TO STUDS

TOTAL MAIN FLOOR AREA - 470.25 SQ.FT

OVERALL CEILING HEIGHT - 99"

- EXISTING BASEMENT EXT. WALL FINISH FOUNDATION WALL BUILDERS INSULATION CONTINUOUS VAPOR BARRIER CONTINUOUS 2"x4" @ 16"O.C. 1/2" GYPSUM BOARD FINISH
- EXISTING EXT. WALL FINISH BRICK VENEER WALL BUILDERS INSULATION CONTINUOUS VAPOR BARRIER CONTINUOUS 2"x4" @ 16"O.C. WITH R17 BATT INSULATION 1/2" GYPSUM BOARD FINISH
- EXISTING PARTITION WALL 2"x4" STUDS @16" O.C. WITH 1/2" GYPSUM BOARD BOTH SIDES



EXISTING UPPER LEVEL

NOTE:

DIMENSIONS ARE FROM THE FACE OF STUDS TO STUDS

OVERALL CEILING HEIGHT - 91"

NOTE:

TOTAL SECOND FLOOR AREA - 512.3 SQ.FT

NOTE:
ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED
ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID.
ALL DIMENSION WILL BE SITE CONFIRM

No.	DATE	DESCRIPTION	BY

PROJECT NAME:
JOANNE PEARL SOOKRAM
35 Haley Court
Brampton, Ontario

DRAWING TITLE:
**PROPOSED ADDITION
EXISTING PLANS**

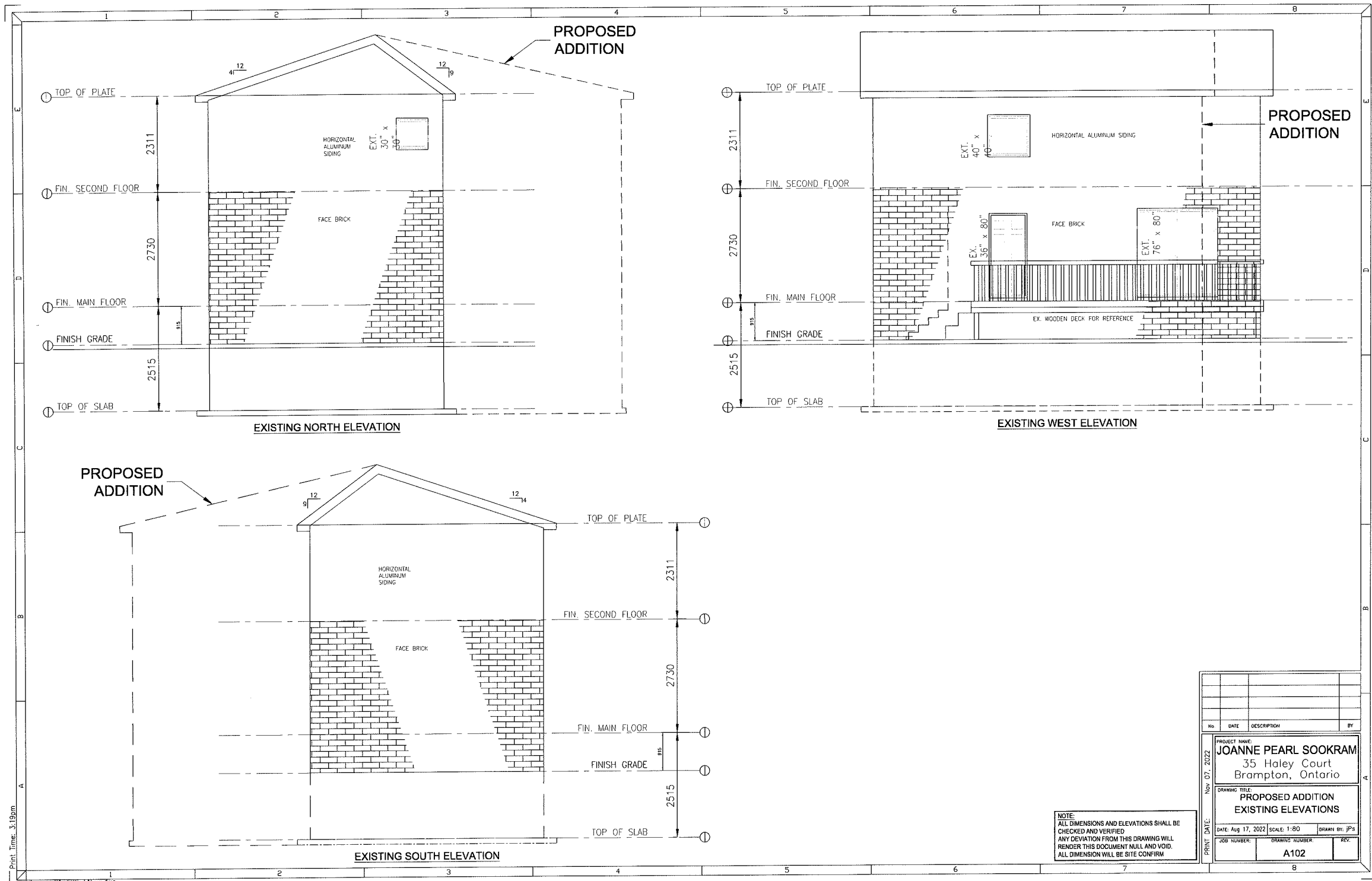
PRINT DATE: Nov 07, 2022

DATE: Aug 17, 2022 SCALE: 1:50 DRAWN BY: JPS

JOB NUMBER: DRAWING NUMBER: REV.

A101

Print Time: 3:19pm



EXISTING NORTH ELEVATION

EXISTING WEST ELEVATION

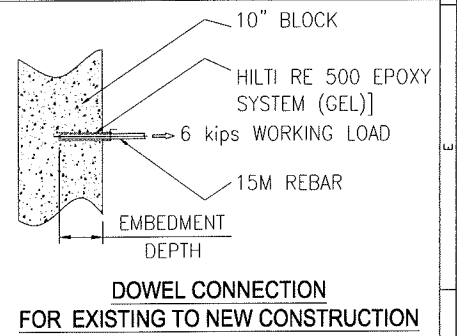
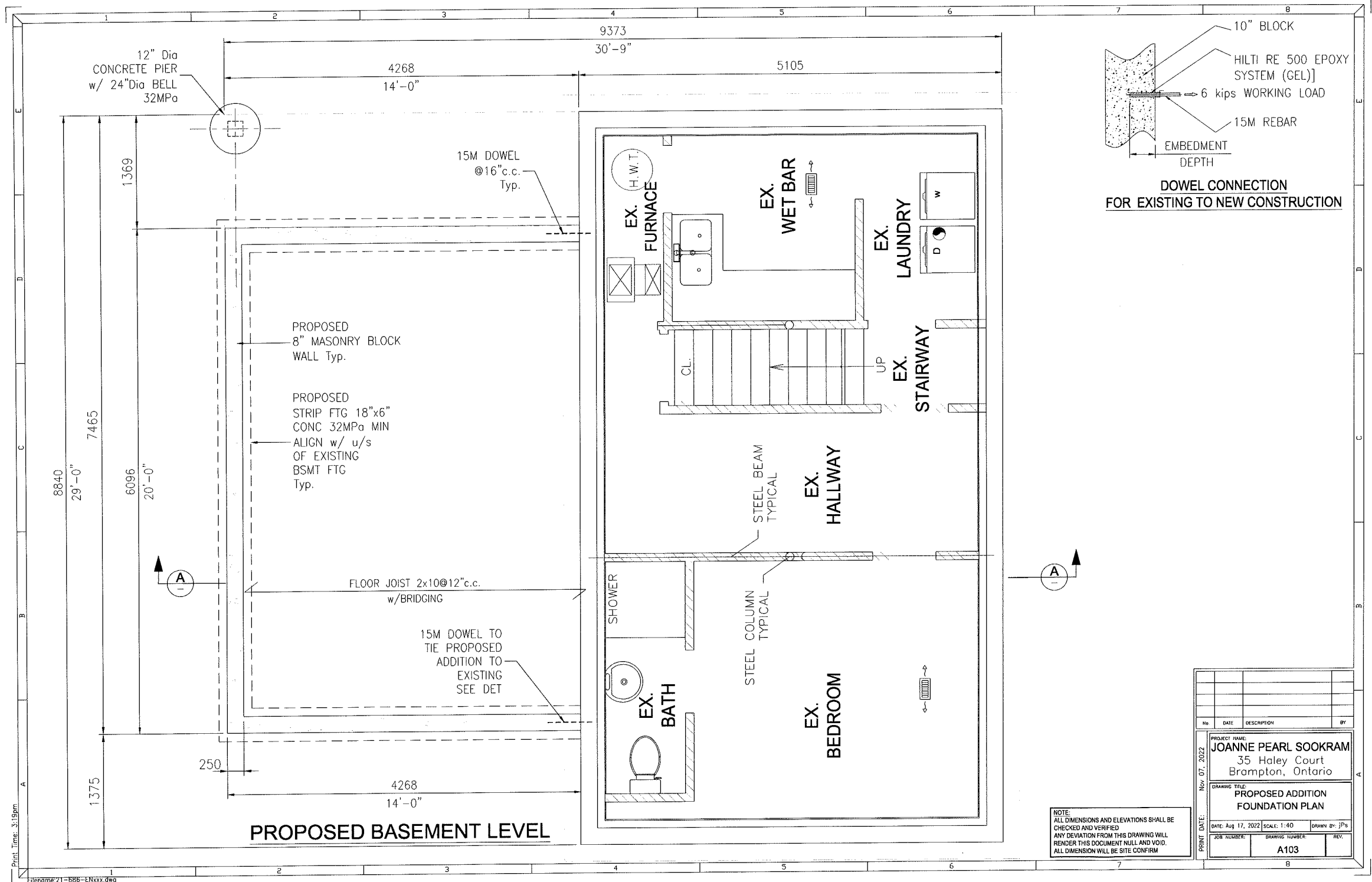
EXISTING SOUTH ELEVATION

NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED. ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID. ALL DIMENSION WILL BE SITE CONFIRM

No.	DATE	DESCRIPTION	BY

PROJECT NAME:	
JOANNE PEARL SOOKRAM	
35 Haley Court	
Brampton, Ontario	
DRAWING TITLE:	
PROPOSED ADDITION	
EXISTING ELEVATIONS	
DATE: Aug 17, 2022	SCALE: 1:80
DRAWN BY: JPS	
JOB NUMBER:	DRAWING NUMBER:
	A102

Print Time: 3:19pm

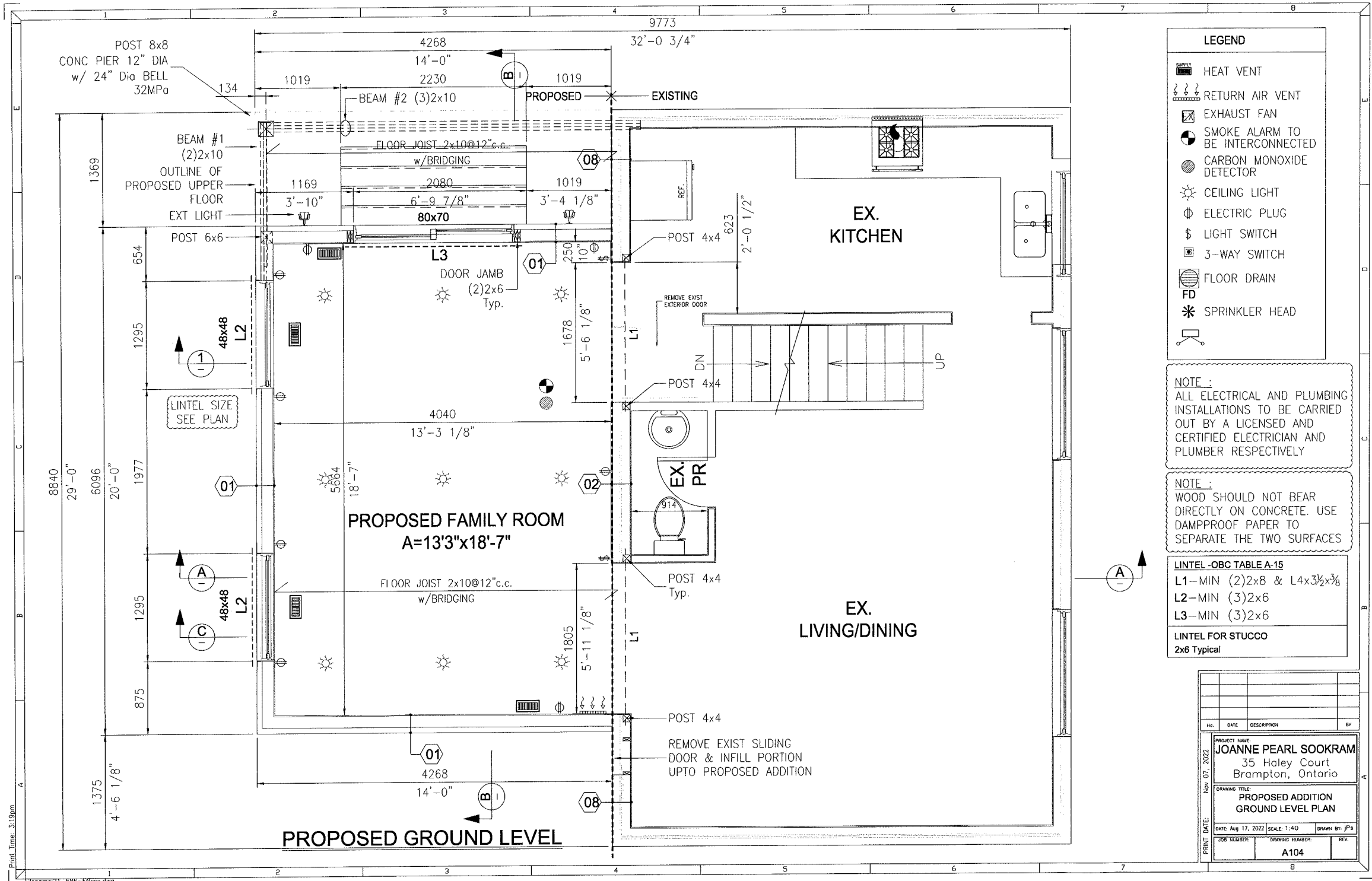


NOTE:
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 ALL DIMENSION WILL BE SITE CONFIRM

No	DATE	DESCRIPTION	BY

PROJECT NAME: JOANNE PEARL SOOKRAM 35 Haley Court Brampton, Ontario	
DRAWING TITLE: PROPOSED ADDITION FOUNDATION PLAN	
DATE: Aug 17, 2022	SCALE: 1:40
JOB NUMBER:	DRAWING NUMBER: A103
PRINT DATE: Nov 07, 2022	DRAWN BY: JPS

Print Times: 3:19pm



LEGEND

- HEAT VENT
- RETURN AIR VENT
- EXHAUST FAN
- SMOKE ALARM TO BE INTERCONNECTED
- CARBON MONOXIDE DETECTOR
- CEILING LIGHT
- ELECTRIC PLUG
- LIGHT SWITCH
- 3-WAY SWITCH
- FLOOR DRAIN
- SPRINKLER HEAD

NOTE :
ALL ELECTRICAL AND PLUMBING INSTALLATIONS TO BE CARRIED OUT BY A LICENSED AND CERTIFIED ELECTRICIAN AND PLUMBER RESPECTIVELY

NOTE :
WOOD SHOULD NOT BEAR DIRECTLY ON CONCRETE. USE DAMPPROOF PAPER TO SEPARATE THE TWO SURFACES

LINTEL - OBC TABLE A-15

- L1 - MIN (2)2x8 & L4x3 1/2 x 3/8
- L2 - MIN (3)2x6
- L3 - MIN (3)2x6

LINTEL FOR STUCCO
2x6 Typical

NO.	DATE	DESCRIPTION	BY

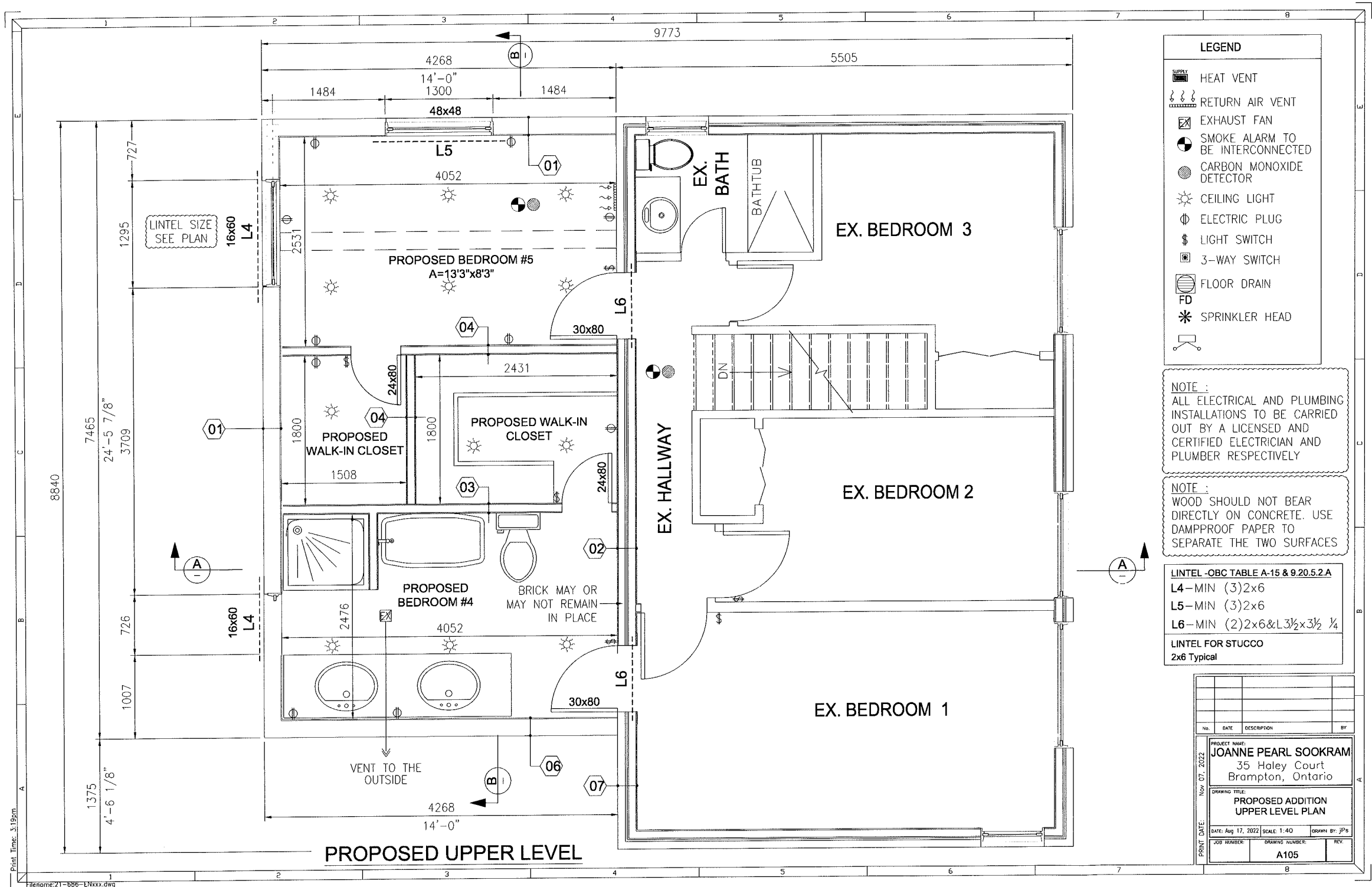
PROJECT NAME:
JOANNE PEARL SOOKRAM
35 Haley Court
Brampton, Ontario

DRAWING TITLE:
**PROPOSED ADDITION
GROUND LEVEL PLAN**

DATE: Aug 17, 2022 | SCALE: 1:40 | DRAWN BY: JPS

JOB NUMBER: | DRAWING NUMBER: **A104** | REV: |

Print Time: 3:19pm



- LEGEND**
- SUPPLY HEAT VENT
 - RETURN AIR VENT
 - EXHAUST FAN
 - SMOKE ALARM TO BE INTERCONNECTED
 - CARBON MONOXIDE DETECTOR
 - CEILING LIGHT
 - ELECTRIC PLUG
 - LIGHT SWITCH
 - 3-WAY SWITCH
 - FLOOR DRAIN
 - SPRINKLER HEAD

NOTE :
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NOTE :
 WOOD SHOULD NOT BEAR DIRECTLY ON CONCRETE. USE DAMPPROOF PAPER TO SEPARATE THE TWO SURFACES

LINTEL -OBC TABLE A-15 & 9.20.5.2.A
 L4-MIN (3)2x6
 L5-MIN (3)2x6
 L6-MIN (2)2x6&L.3½x3½ ¼
LINTEL FOR STUCCO
 2x6 Typical

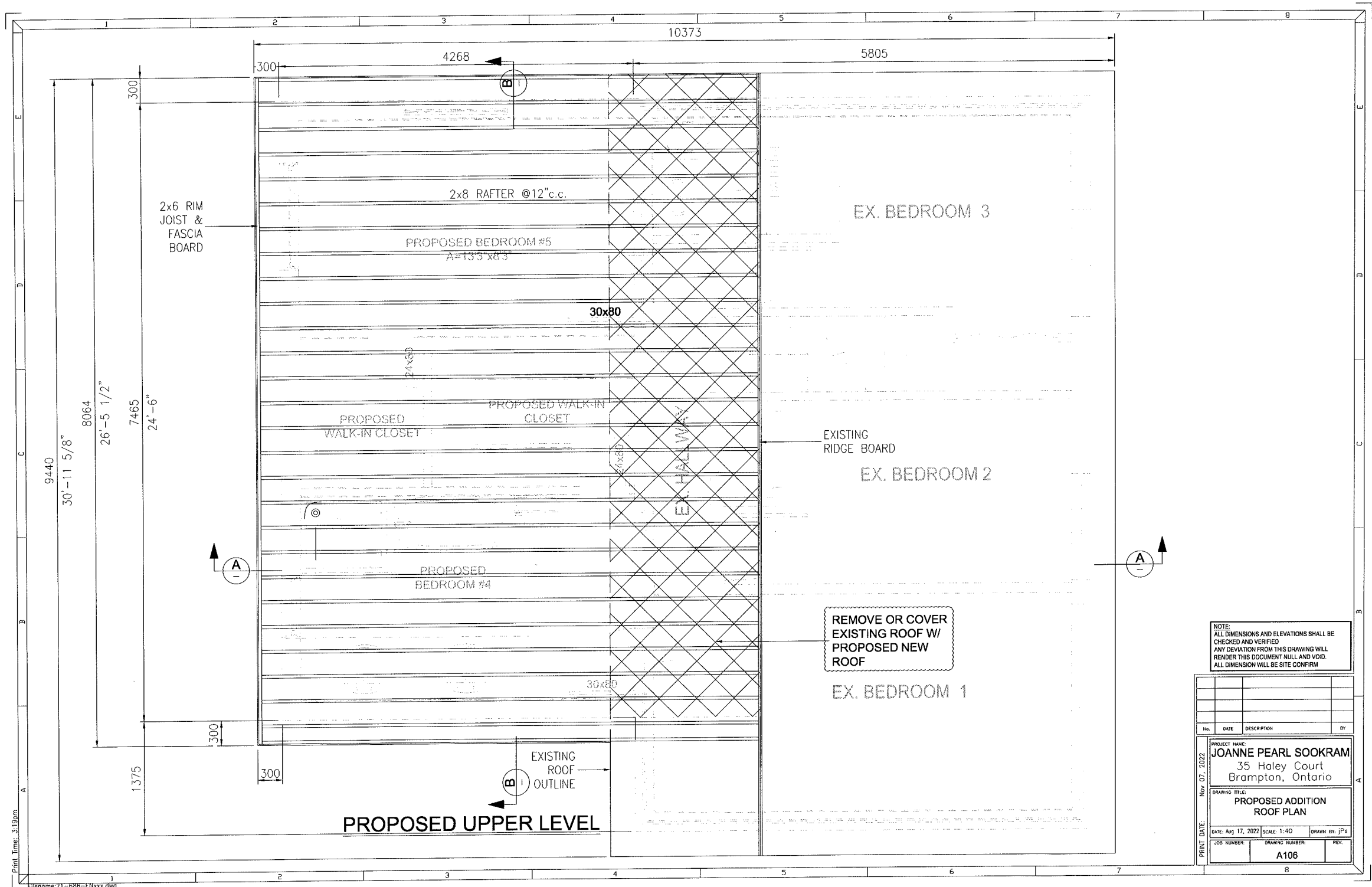
No.	DATE	DESCRIPTION	BY

PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

DRAWING TITLE:
**PROPOSED ADDITION
 UPPER LEVEL PLAN**

DATE: Aug 17, 2022 SCALE: 1:40 DRAWN BY: JP'S
 JOB NUMBER: DRAWING NUMBER: REV.
A105

Print Time: 3:19pm



NOTE:
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No.	DATE	DESCRIPTION	BY

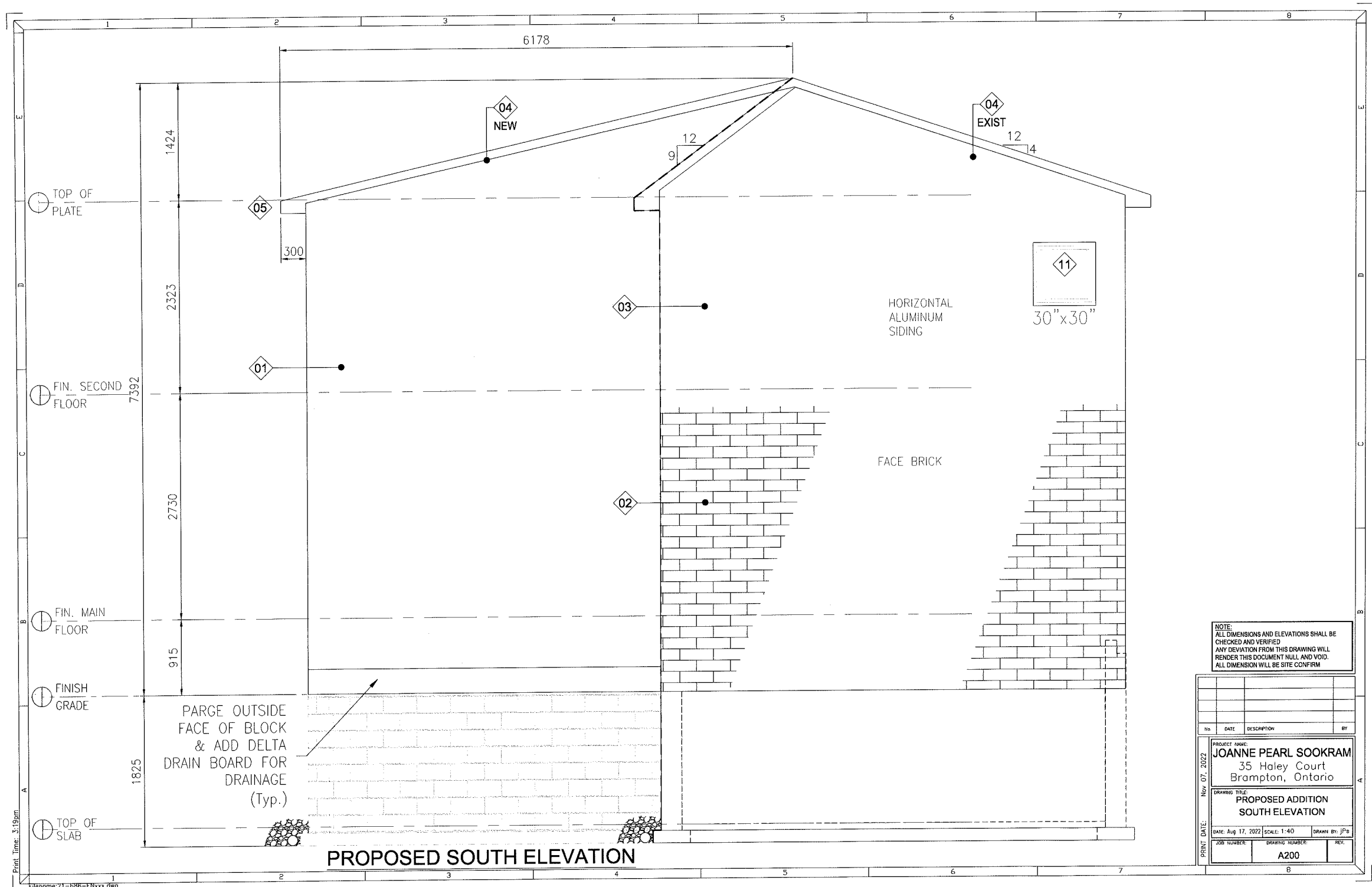
PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

DRAWING TITLE:
**PROPOSED ADDITION
 ROOF PLAN**

DATE: Aug 17, 2022 SCALE: 1:40 DRAWN BY: jP's
 JOB NUMBER: DRAWING NUMBER: A106 REV:

Print Time: 3:19pm

Filename: 21-686-ENxxx.dwg



PROPOSED SOUTH ELEVATION

NOTE:
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No.	DATE	DESCRIPTION	BY

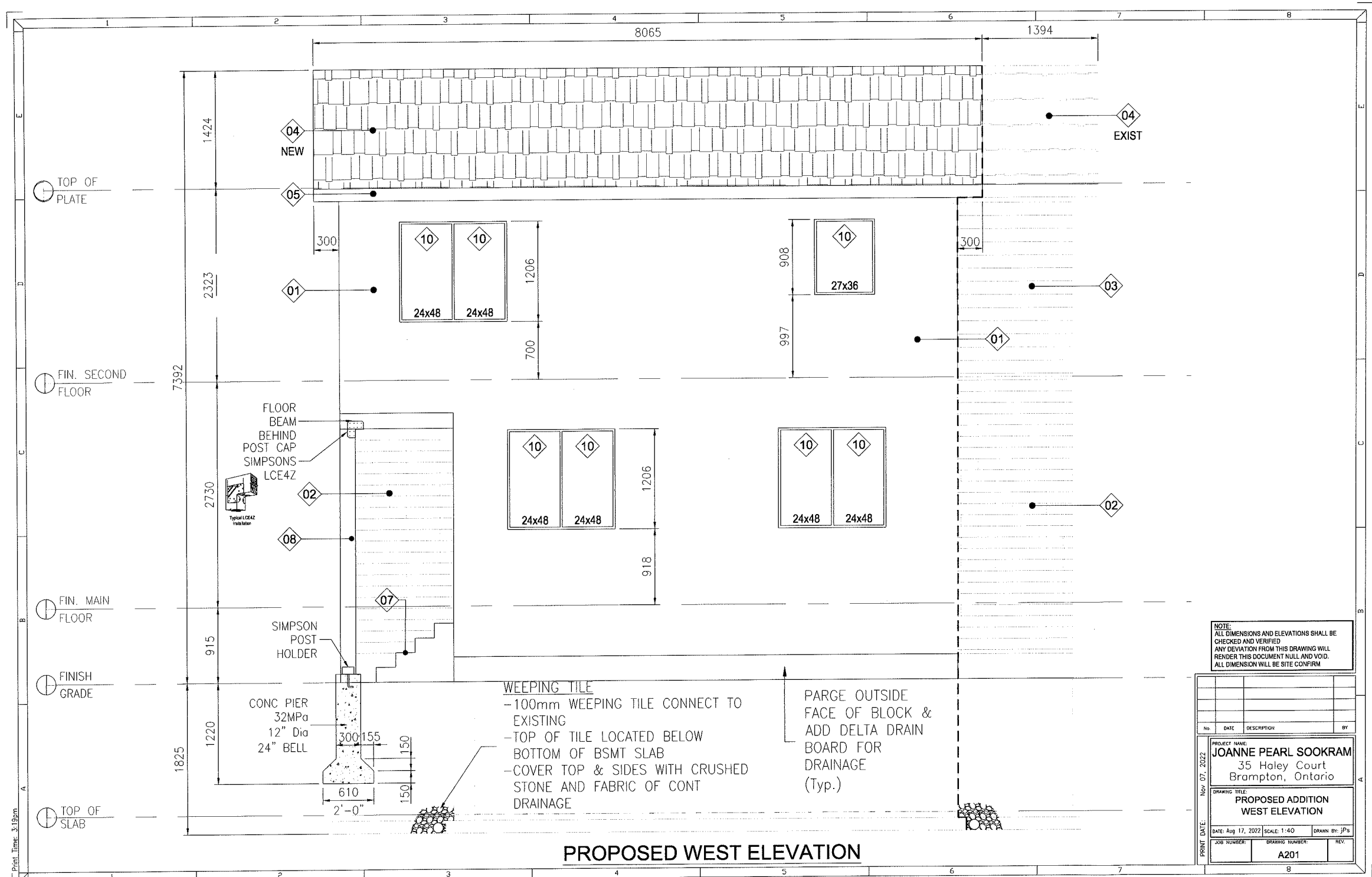
PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

Nov 07, 2022

DRAWING TITLE:
**PROPOSED ADDITION
 SOUTH ELEVATION**

DATE: Aug 17, 2022 | SCALE: 1:40 | DRAWN BY: JPS
 JOB NUMBER: | DRAWING NUMBER: | REV.
 A200

Print Time: 3:19pm



NOTE:
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No.	DATE	DESCRIPTION	BY

PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

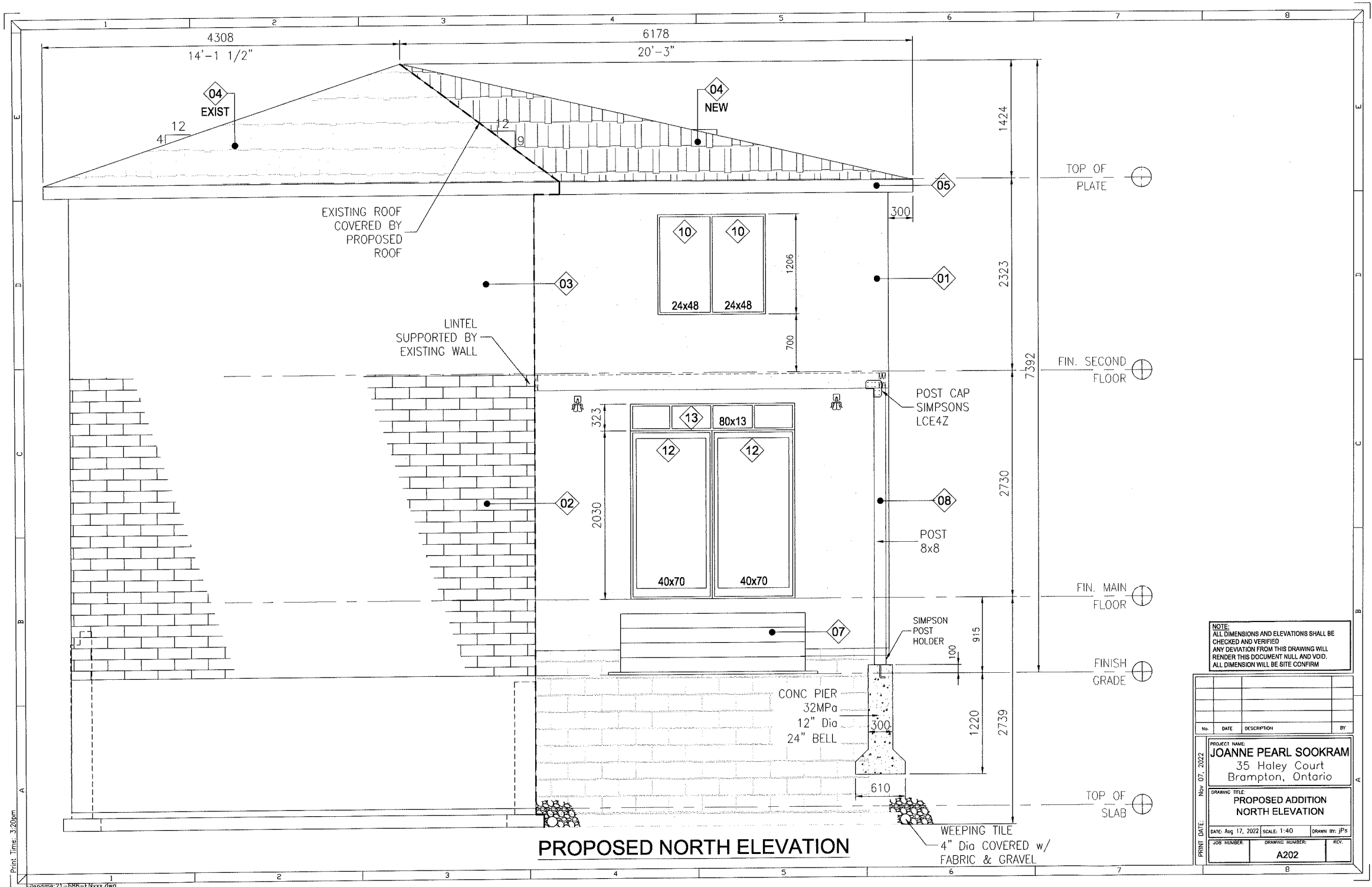
DRAWING TITLE:
**PROPOSED ADDITION
 WEST ELEVATION**

PRINT DATE: Nov 07, 2022

DATE: Aug 17, 2022 SCALE: 1/40 DRAWN BY: JPS
 JOB NUMBER: DRAWING NUMBER: REV.
A201

PROPOSED WEST ELEVATION

Print Time: 3:19pm



PROPOSED NORTH ELEVATION

NOTE:
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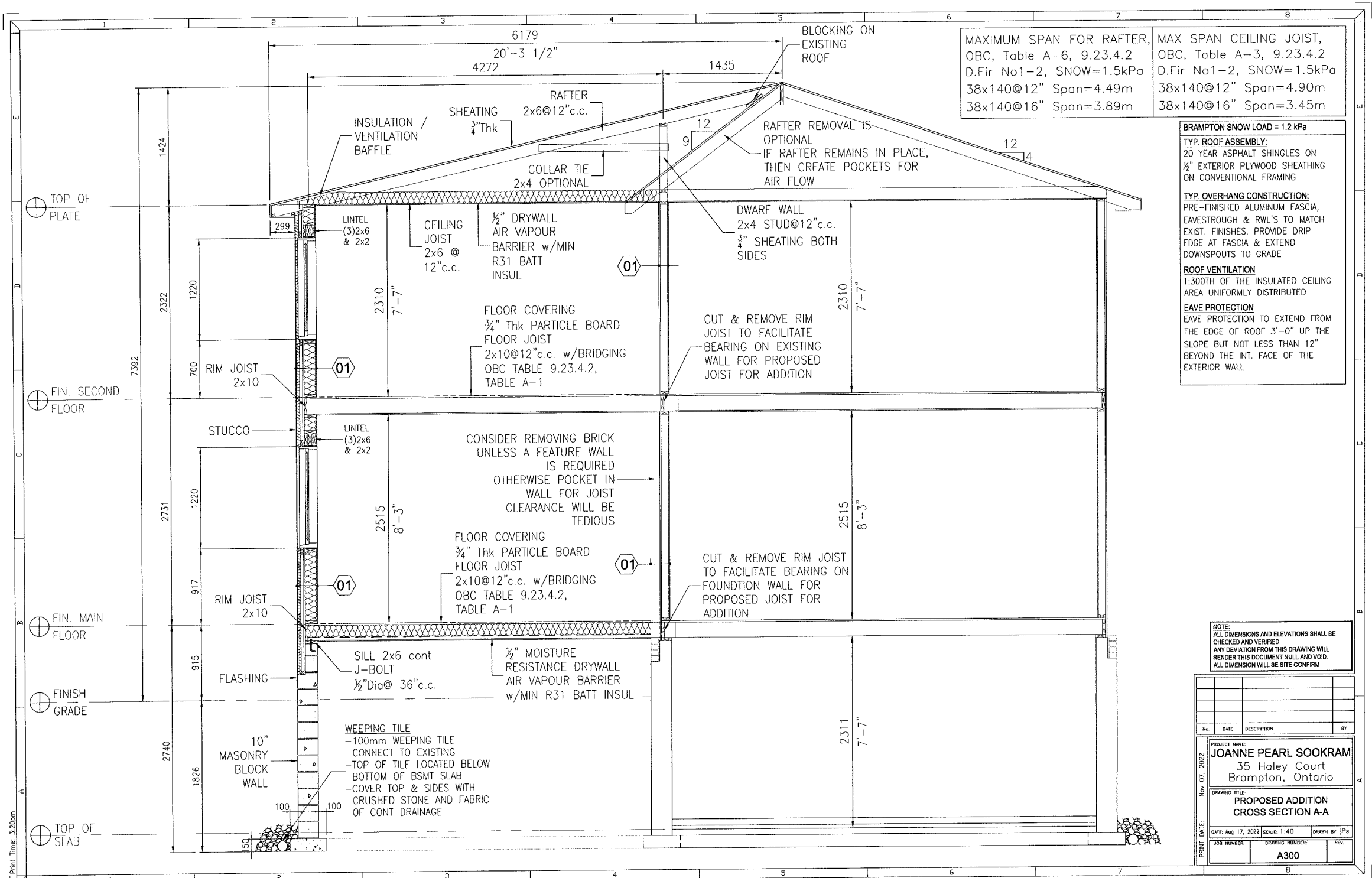
No.	DATE	DESCRIPTION	BY

PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

DRAWING TITLE:
PROPOSED ADDITION
NORTH ELEVATION

DATE: Aug 17, 2022 SCALE: 1:40 DRAWN BY: JPS
 JOB NUMBER: DRAWING NUMBER: REV.
A202

Print Time: 3:20am



MAXIMUM SPAN FOR RAFTER, OBC, Table A-6, 9.23.4.2 D.Fir No1-2, SNOW=1.5kPa
 38x140@12" Span=4.49m
 38x140@16" Span=3.89m

MAX SPAN CEILING JOIST, OBC, Table A-3, 9.23.4.2 D.Fir No1-2, SNOW=1.5kPa
 38x140@12" Span=4.90m
 38x140@16" Span=3.45m

BRAMPTON SNOW LOAD = 1.2 kPa

TYP. ROOF ASSEMBLY:
 20 YEAR ASPHALT SHINGLES ON 1/2" EXTERIOR PLYWOOD SHEATHING ON CONVENTIONAL FRAMING

TYP. OVERHANG CONSTRUCTION:
 PRE-FINISHED ALUMINUM FASCIA, EAVESTROUGH & RWL'S TO MATCH EXIST. FINISHES. PROVIDE DRIP EDGE AT FASCIA & EXTEND DOWNSPOUTS TO GRADE

ROOF VENTILATION
 1:300TH OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

EAVE PROTECTION
 EAVE PROTECTION TO EXTEND FROM THE EDGE OF ROOF 3'-0" UP THE SLOPE BUT NOT LESS THAN 12" BEYOND THE INT. FACE OF THE EXTERIOR WALL

NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED
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 ALL DIMENSION WILL BE SITE CONFIRM

No.	DATE	DESCRIPTION	BY

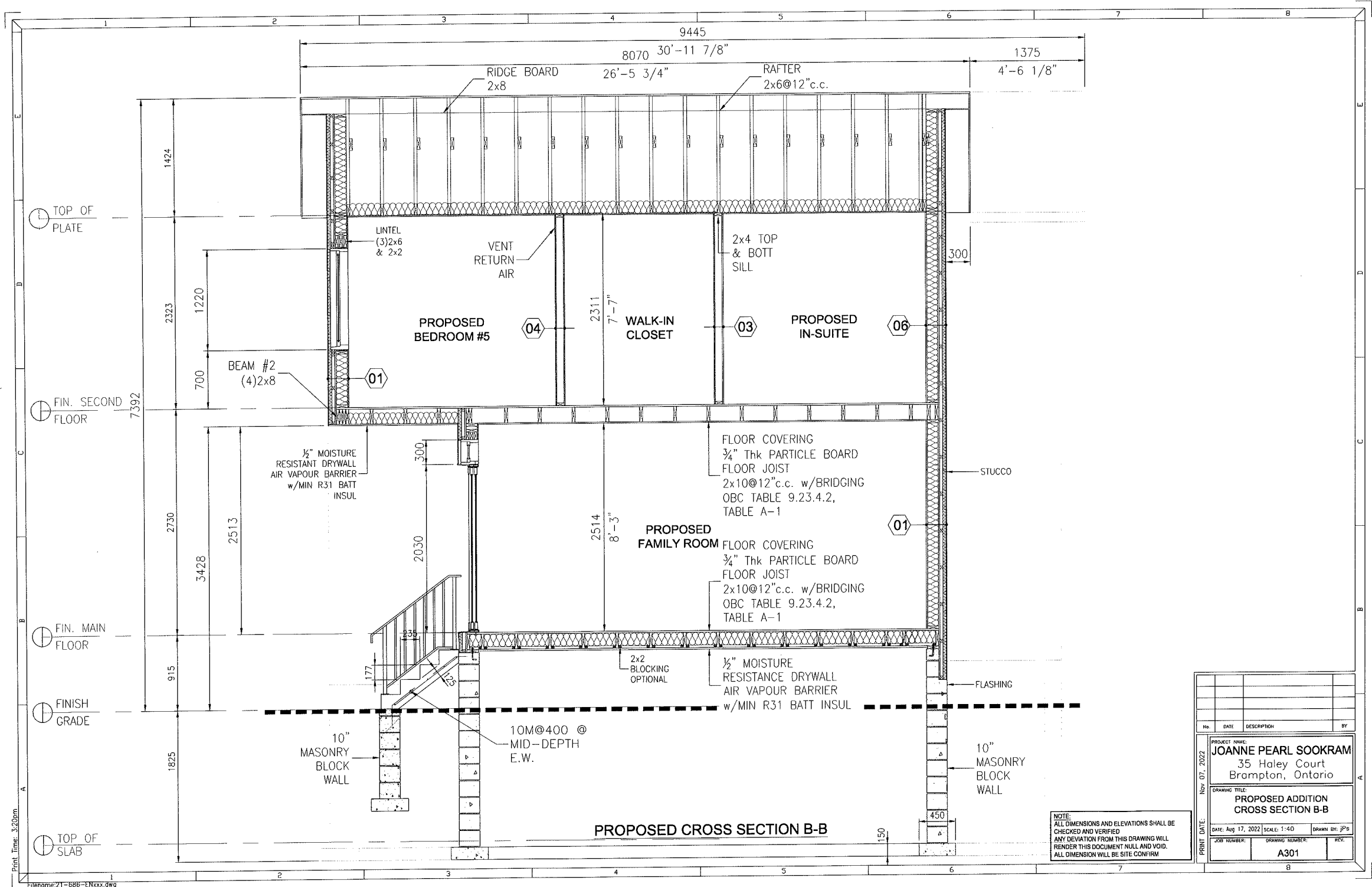
PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

Nov 07, 2022

DRAWING TITLE:
**PROPOSED ADDITION
 CROSS SECTION A-A**

DATE: Aug 17, 2022 SCALE: 1/40 DRAWN BY: JPS
 JOB NUMBER: DRAWING NUMBER: REV.
A300

Print Time: 3:20pm



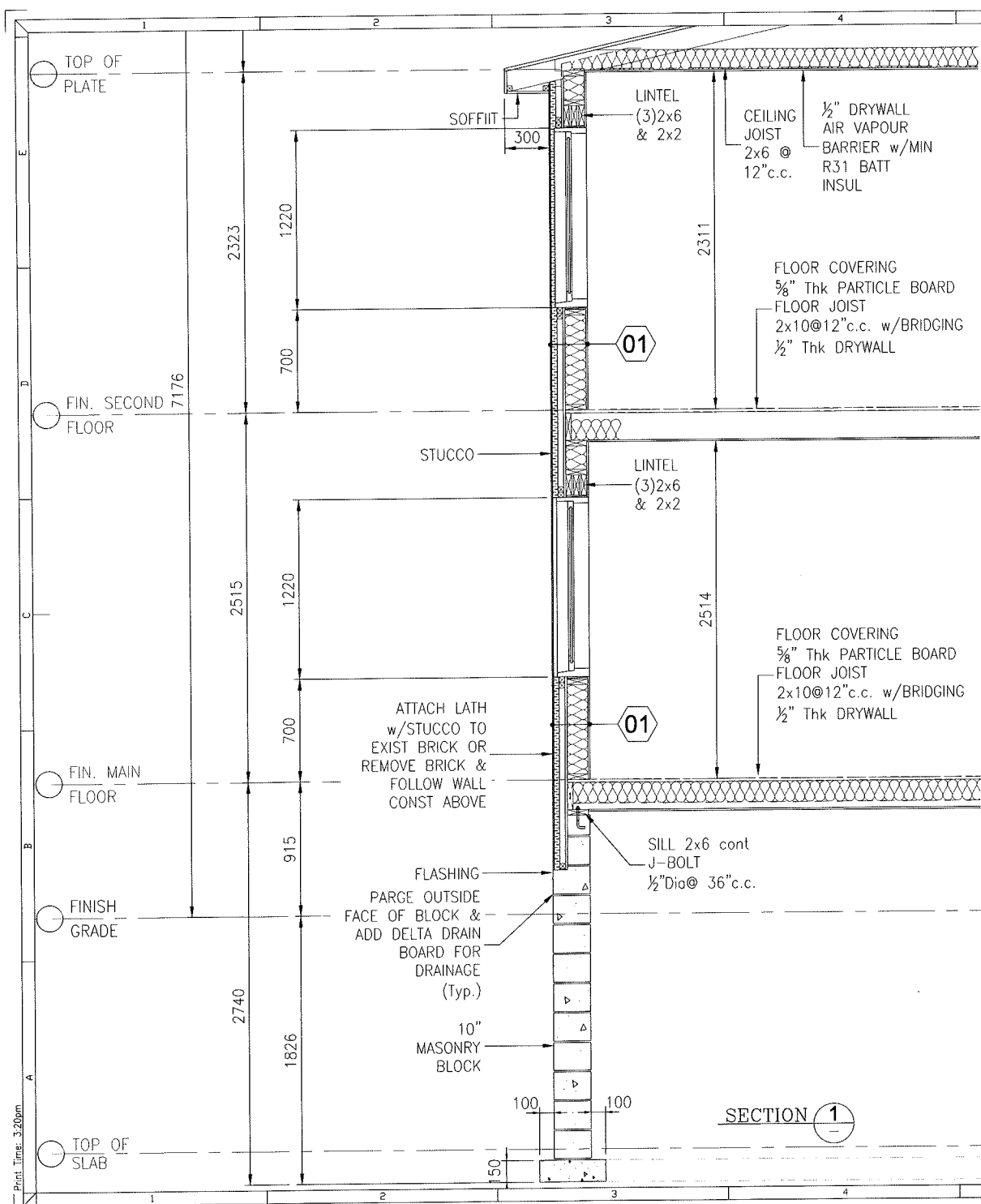
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No.	DATE	DESCRIPTION	BY

PROJECT NAME:
JOANNE PEARL SOOKRAM
 35 Haley Court
 Brampton, Ontario

DRAWING TITLE:
**PROPOSED ADDITION
 CROSS SECTION B-B**

DATE: Aug 17, 2022 SCALE: 1/40 DRAWN BY: JPS
 JOB NUMBER: DRAWING NUMBER: REV:
A301



BRAMPTON SNOW LOAD = 1.2 kPa

TYP. ROOF ASSEMBLY:
 20 YEAR ASPHALT SHINGLES ON
 1/2" EXTERIOR PLYWOOD SHEATHING
 ON CONVENTIONAL FRAMING

TYP. OVERHANG CONSTRUCTION:
 PRE-FINISHED ALUMINUM FASCIA,
 EAVESTROUGH & RWL'S TO MATCH
 EXIST. FINISHES. PROVIDE DRIP
 EDGE AT FASCIA
 & EXTEND DOWNSPOUTS TO GRADE

ROOF VENTILATION
 1:300TH OF THE INSULATED CEILING
 AREA UNIFORMLY DISTRIBUTED

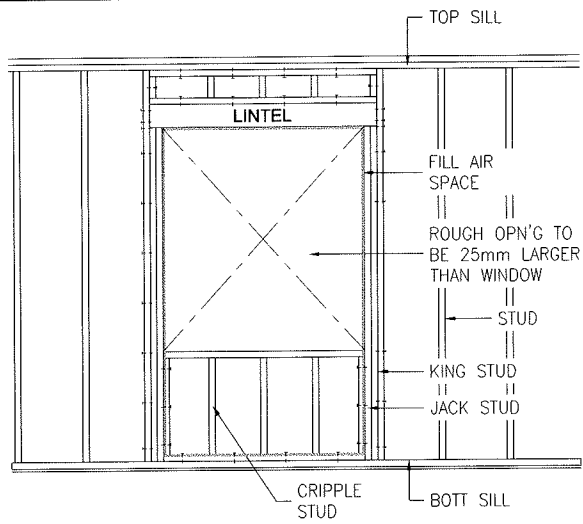
EAVE PROTECTION
 EAVE PROTECTION TO EXTEND FROM
 THE EDGE OF ROOF 3'-0" UP THE
 SLOPE BUT NOT LESS THAN 12"
 BEYOND THE INT. FACE OF THE
 EXTERIOR WALL

1. GENERAL
 - 1.1. THE MINIMUM REQUIREMENTS APPLICABLE TO STRUCTURAL LOAD BEARING MASONRY.
 - 1.2. MASONRY CONSTRUCTION TO CONFORM TO CSA STANDARD S304.1.
2. PRODUCTS
 - 2.1. CONCRETE BLOCKS TO BE MODULAR UNITS CSA A165.1
 - 2.2. FOR BELOW GRADE AND EXTERIOR EXPOSED WALLS USE NORMAL WEIGHT LOAD BEARING UNITS: - STANDARD HOLLOW TYPE H / 15 / A / M.
 - 2.3. MORTAR: - TO CONFORM TO CSA A179, FOR LAYING ALL LOAD BEARING CONCRETE BLOCKS, USE TYPE "S" MORTAR.
 - 2.4. MASONRY GROUT: - TO CONFORM TO CSA A179. THE SLUMP SHALL BE 200mm TO 250mm (8"TO10") AND THE MINIMUM 28 DAY COMPRESSIVE STRENGTH FOR "FINE" GROUT SHALL BE 10MPa.
 - 2.5. MASONRY CONNECTORS:- (ANCHORS, FASTENERS AND TIES) SHALL CONFORM TO CSA A370, AND BE INSTALLED TO COMPLY WITH CSA A371. SPACING, STRENGTH AND GALVANIZING OF STRIP TIES, DOVETAIL ANCHORS, BAR ANCHORS, ROD ANCHORS, STRAP ANCHORS, WALL AND PARTITION ANCHORS SHALL COMPLY WITH CSA A370.
 - 2.6. HORIZONTAL JOINT REINFORCEMENT FOR ALL MASONRY WALLS: THE FOLLOWING ARE MINIMUM REQUIREMENTS :-
 - a) CONFORM TO CSA STANDARDS A370 AND A371.
 - b) REINFORCEMENT SHALL BE AN APPROVED CONTINUOUS "LADDER" TYPE, PREFABRICATED WITH 3.66mm DIAMETER (9 GAUGE) LONGITUDINAL AND CROSS WIRES.
 - c) SPACING:- PROVIDE REINFORCING IN THE TOP COURSE IMMEDIATELY BELOW FLOOR & ROOF BEARING LEVELS AND THE FIRST TWO COURSES ABOVE AND BELOW EVERY WALL OPENING.THE REINFORCING SHALL EXTEND 600mm (24") BEYOND SUCH OPENINGS. FOR THE REMAINDER OF WALLS, THE VERTICAL SPACING SHALL NOT EXCEED 400mm (16").
 - d) OVERLAP SPLICES:- SHALL BE A MIN. OF 150mm (6") FOR KNURLED WIRE AND 300mm (12") FOR PLAIN WIRE. LAPS SHALL BE STAGGERED A MINIMUM OF 750mm (30") FROM COURSE TO COURSE. REINFORCING SHALL NOT PASS THROUGH A VERTICAL CONTROL JOINT UNLESS OTHERWISE SHOWN.
 - e) CORROSION RESISTANCE:- JOINT REINFORCING FOR ALL WALLS IN CONTACT WITH SOIL, EXTERIOR WALLS AND WALLS IN A MOIST ENVIRONMENT SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION TO ASTM A153,458 gm/sq.meter (1.5 oz. / sq. foot).
3. EXECUTION
 - 3.1. BEARING ON MASONRY:-
 - a) MINIMUM BEARING ON MASONRY:-
 STEEL BEAMS).....200mm (8") NOMINAL
 STEEL LINTELS).....150mm (6") NOMINAL
 - b) MASONRY BEARINGS SHALL BE OF SOLID BLOCKS (OR GROUTED SOLID) . ALL JOINTS ARE TO BE FULLY FILLED WITH TYPE 'S' MORTAR.
 - c) MIN. SIZE OF SOLID BEARINGS AT BEAMS AND LINTELS SHALL BE EQUAL TO TWICE THE BEARING / WALL PLATE (WP) LENGTH AND FOR A DEPTH EQUAL TO THE BEARING / WALL PLATE (WP) LENGTH, AND IN NO CASE LESS THAN 400 LONG x 200 DEEP (16" x 8"), SYMMETRICAL UNDER BEARING POINT.
 - c) PROVIDE A MINIMUM OF ONE CONTINUOUS COURSE 200mm (8") OF SOLID OR GROUTED VOID BLOCKS OR BRICKS LAID IN MORTAR AT THE TOP COURSE IMMEDIATELY BELOW ALL FLOOR AND ROOF BEARING LEVELS.

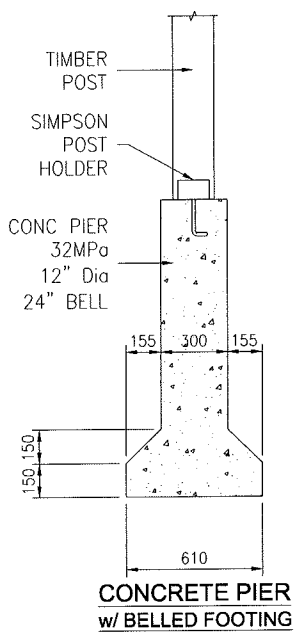
No.	DATE	DESCRIPTION	BY

PROJECT NAME:	
JOANNE PEARL SOOKRAM	
35 Haley Court	
Brampton, Ontario	
DRAWING TITLE:	
PROPOSED ADDITION	
SECTION 1	
DATE: Aug 17, 2022	SCALE: 1:40
JOB NUMBER:	DRAWING NUMBER:
	A400

Print Time: 3:20pm



TYPICAL WINDOW FRAMING

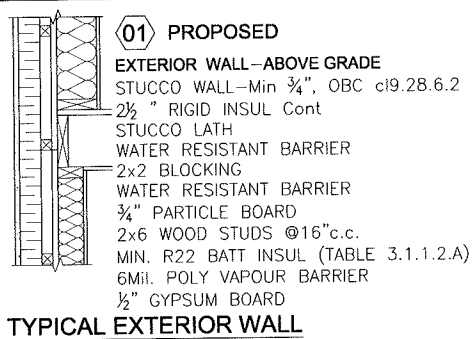


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NO.	DATE	DESCRIPTION	BY

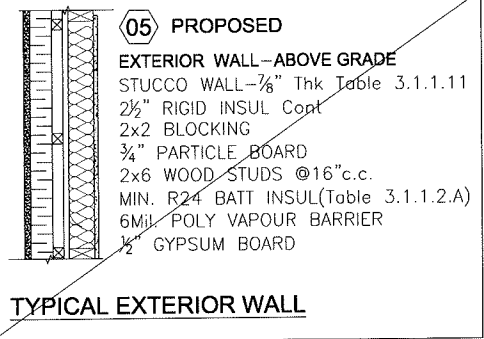
PROJECT NAME:	JOANNE PEARL SOOKRAM		
	35 Haley Court Brampton, Ontario		
DRAWING TITLE:	PROPOSED ADDITION NOTES & DETAIL		
DATE:	Aug 17, 2022	SCALE:	1:40
PRINT DATE:	Nov 07, 2022	DRAWN BY:	JPs
JOB NUMBER:		DRAWING NUMBER:	A401
		REV:	

Print Time: 3:20pm



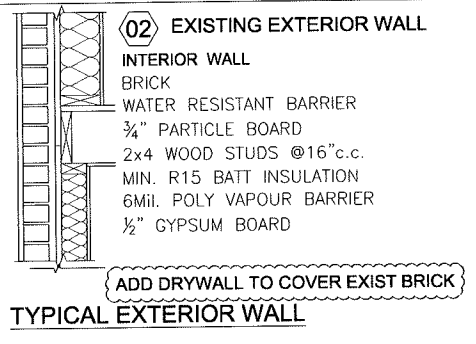
01 PROPOSED
EXTERIOR WALL—ABOVE GRADE
 STUCCO WALL—Min 3/4", OBC c19.28.6.2
 2 1/2" RIGID INSUL Cont
 STUCCO LATH
 WATER RESISTANT BARRIER
 2x2 BLOCKING
 WATER RESISTANT BARRIER
 3/4" PARTICLE BOARD
 2x6 WOOD STUDS @16"c.c.
 MIN. R22 BATT INSUL (TABLE 3.1.1.2.A)
 6Mil. POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

TYPICAL EXTERIOR WALL



05 PROPOSED
EXTERIOR WALL—ABOVE GRADE
 STUCCO WALL—7/8" Thk Table 3.1.1.11
 2 1/2" RIGID INSUL Cont
 2x2 BLOCKING
 3/4" PARTICLE BOARD
 2x6 WOOD STUDS @16"c.c.
 MIN. R24 BATT INSUL(Table 3.1.1.2.A)
 6Mil. POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

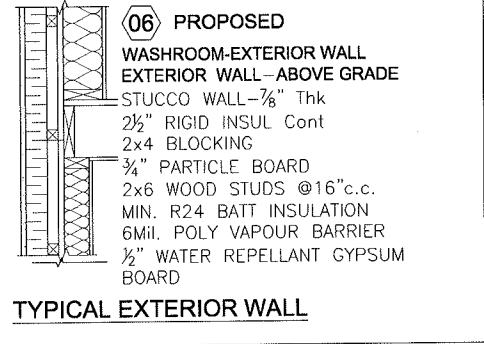
TYPICAL EXTERIOR WALL



02 EXISTING EXTERIOR WALL
INTERIOR WALL
 BRICK
 WATER RESISTANT BARRIER
 3/4" PARTICLE BOARD
 2x4 WOOD STUDS @16"c.c.
 MIN. R15 BATT INSULATION
 6Mil. POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

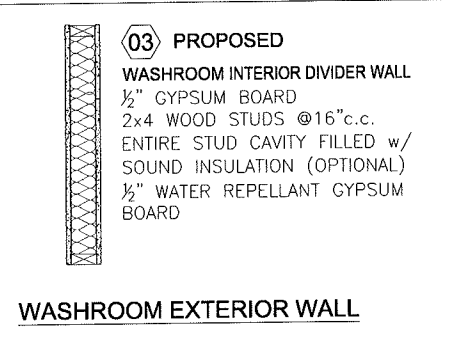
ADD DRYWALL TO COVER EXIST BRICK

TYPICAL EXTERIOR WALL



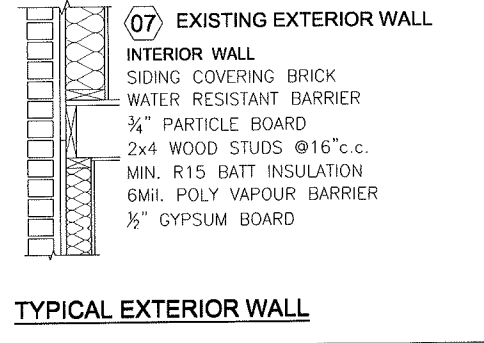
06 PROPOSED
WASHROOM-EXTERIOR WALL
EXTERIOR WALL—ABOVE GRADE
 STUCCO WALL—7/8" Thk
 2 1/2" RIGID INSUL Cont
 2x4 BLOCKING
 3/4" PARTICLE BOARD
 2x6 WOOD STUDS @16"c.c.
 MIN. R24 BATT INSULATION
 6Mil. POLY VAPOUR BARRIER
 1/2" WATER REPELLANT GYPSUM BOARD
 1/2" GYPSUM BOARD

TYPICAL EXTERIOR WALL



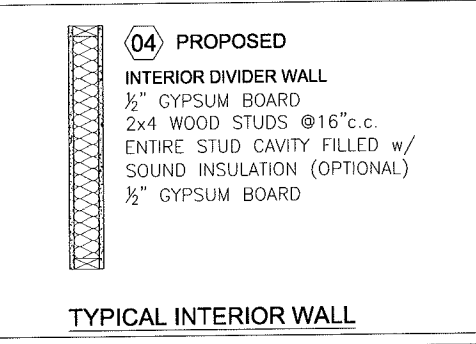
03 PROPOSED
WASHROOM INTERIOR DIVIDER WALL
 1/2" GYPSUM BOARD
 2x4 WOOD STUDS @16"c.c.
 ENTIRE STUD CAVITY FILLED w/
 SOUND INSULATION (OPTIONAL)
 1/2" WATER REPELLANT GYPSUM BOARD

WASHROOM EXTERIOR WALL



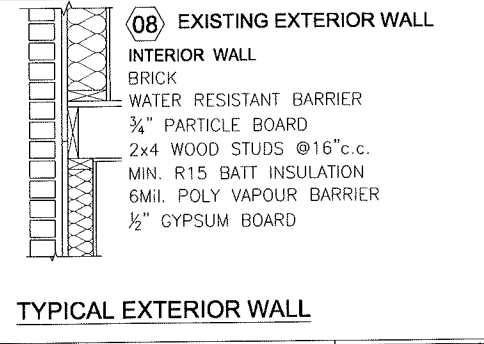
07 EXISTING EXTERIOR WALL
INTERIOR WALL
 SIDING COVERING BRICK
 WATER RESISTANT BARRIER
 3/4" PARTICLE BOARD
 2x4 WOOD STUDS @16"c.c.
 MIN. R15 BATT INSULATION
 6Mil. POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

TYPICAL EXTERIOR WALL



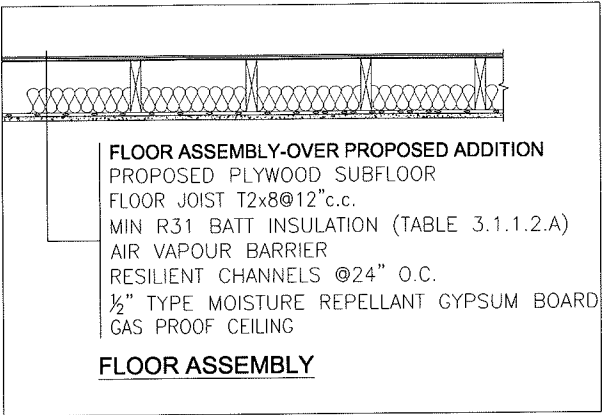
04 PROPOSED
INTERIOR DIVIDER WALL
 1/2" GYPSUM BOARD
 2x4 WOOD STUDS @16"c.c.
 ENTIRE STUD CAVITY FILLED w/
 SOUND INSULATION (OPTIONAL)
 1/2" GYPSUM BOARD

TYPICAL INTERIOR WALL



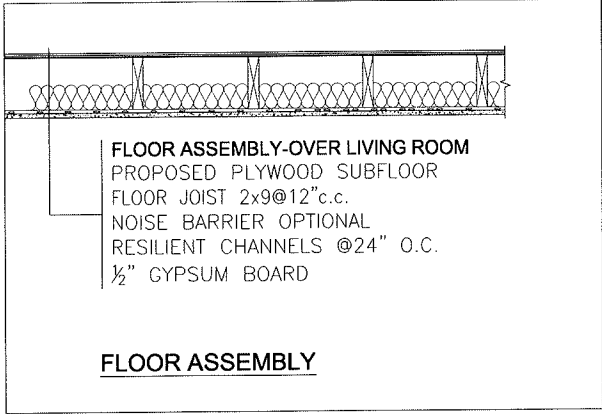
08 EXISTING EXTERIOR WALL
INTERIOR WALL
 BRICK
 WATER RESISTANT BARRIER
 3/4" PARTICLE BOARD
 2x4 WOOD STUDS @16"c.c.
 MIN. R15 BATT INSULATION
 6Mil. POLY VAPOUR BARRIER
 1/2" GYPSUM BOARD

TYPICAL EXTERIOR WALL



FLOOR ASSEMBLY-OVER PROPOSED ADDITION
 PROPOSED PLYWOOD SUBFLOOR
 FLOOR JOIST T2x8@12"c.c.
 MIN R31 BATT INSULATION (TABLE 3.1.1.2.A)
 AIR VAPOUR BARRIER
 RESILIENT CHANNELS @24" O.C.
 1/2" TYPE MOISTURE REPELLANT GYPSUM BOARD
 GAS PROOF CEILING

FLOOR ASSEMBLY



FLOOR ASSEMBLY-OVER LIVING ROOM
 PROPOSED PLYWOOD SUBFLOOR
 FLOOR JOIST 2x9@12"c.c.
 NOISE BARRIER OPTIONAL
 RESILIENT CHANNELS @24" O.C.
 1/2" GYPSUM BOARD

FLOOR ASSEMBLY

EXTERIOR MATERIAL & FINISH	
No.	DESCRIPTION
01	WHITE STUCCO
02	BRICK—EXISTING
03	ALUMINIUM SIDING—EXISTING
04	ASPHALT SHINGLE—MATCH EXISTING
05	PREFINISHED FASCIA BOARD—WHITE
06	EAVESTROUGH & DOWNSPOUT—WHITE
07	CONCRETE STAIR
08	POST OF PORTICO—WHITE
09	
10	WINDOW—NEW
11	WINDOW—EXISTING
12	SLIDING DOOR
13	TRANSOM WINDOW ABOVE DOOR
14	
15	

NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED
 ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID.
 ALL DIMENSION WILL BE SITE CONFIRM

PROJECT NAME:	JOANNE PEARL SOOKRAM 35 Haley Court Brampton, Ontario		
DRAWING TITLE:	PROPOSED ADDITION MATERIAL & WALL		
DATE:	Aug 17, 2022	SCALE:	N.T.S.
DRAWN BY:	JPS	CHECKED BY:	
JOB NUMBER:		DRAWING NUMBER:	A501
PRINT DATE:	Nov 07, 2022		

Print Time: 3:20am

Zoning Non-compliance Checklist

File No.
A-2023-0329

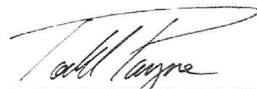
Applicant: Joann Sookram & Arnold Mohammed

Address: 35 Haley Court

Zoning: R3A(4)-126

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR	To permit a building addition outside of the allowable building envelope defined by Schedule C-126	Whereas the By-law prohibits any building area outside of the permitted building envelope	126.2
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
PARKING			
DRIVEWAY			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
OTHER –			



Reviewed by Zoning

Sept 29, 2023

Date