

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0355

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) FARZANA BAGAM
Address 72 CIRCUS CRES, BRAMPTON, ON L7A 0H1
Phone # 416.830.8457 Fax #
Email mortgagewithmustafa@outlook.com

2. Name of Agent ARSHAD SIDDIQUI
Address 202 - 3485 REBECCA ST, OAKVILLE, ON L6L 0H4
Phone # 947.741.5917 Fax #
Email arshad@c-archi.com

3. Nature and extent of relief applied for (variances requested):
MINOR VARIANCE REQUEST IN REQUIRED SETBACK FOR PROPOSED BELOW GRADE STAIRS AS PRIMARY MEANS OF ENTRANCE AND EXIT FOR PROPOSED SECOND UNIT
REQUIRED SETBACK IS 0.3M PER ZONING BY-LAW. PROPOSED SETBACK OF 0.12 REQUIRES MINOR VARIANCE APPROVAL OF 0.18M.

4. Why is it not possible to comply with the provisions of the by-law?
EXISTING SIDEYARD ENTRANCE REQUIRED BELOW GRADE STEPS DUE TO SITE CONDITION

5. Legal Description of the subject land:
Lot Number 5
Plan Number/Concession Number PLAN 43M-2074
Municipal Address 72 CIRCUS CRES, BRAMPTON, ON L7A 0H1

6. Dimension of subject land (in metric units)
Frontage 9.150 M
Depth 27.50 M
Area 251.67 SM

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>

M/S Jaswal
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 10th DAY OF NOVEMBER, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF OAKVILLE

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF I HAD SIGNED THE OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 10th DAY OF
NOVEMBER 20 23

[Signature]
A Commissioner etc.

M/S Jaswal
Signature of Applicant or Authorized Agent

Submit by Email

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification: R1F-2888

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

John C. Cabral
Zoning Officer

2023-10-12
Date

DATE RECEIVED Nov 10, 2023

Date Application Deemed Complete by the Municipality ✓

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 214.07 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.63 M
Rear yard setback	15.53 M
Side yard setback	1.48 M
Side yard setback	4.24 M

PROPOSED

Front yard setback	2.35 M
Rear yard setback	7.60 M
Side yard setback	0.00 M
Side yard setback	1.24 M

10. Date of Acquisition of subject land: 2022
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2022
15. Length of time the existing uses of the subject property have been continued: 2 YEARS

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) NA
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) NA
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) NA
Ditches ☐
Swales ☐

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 72 CIRCUS CRES. BRAMPTON, ON L7A 0H1

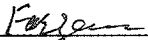
I/We, FARZANA BAGAM
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

M. ARSHAD SIDDIQUI
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 3RD day of AUGUST, 2023.


(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

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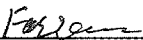
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please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 3RD day of AUGUST, 20²³.



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NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

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PROPOSED BASEMENT RENOVATIONS

72 CIRCUS CRES, BRAMPTON

FARZANA BAGAM

ISSUED FOR: BASEMENT APARTMENT PERMIT APPLICATION

ISSUE DATE: JANUARY 11, 2023

NAME OF PROJECT										PROPOSED BASEMENT RENOVATION										
LOCATION										72 CIRCUS CRES, BRAMPTON										
ITEM	ONTARIO BUILDING CODE DATA MATRIX										OBC REFERENCE									
1	PROJECT DESCRIPTION:										PART 9									
	<input type="checkbox"/> NEW										1.1.1 TO 11.4									
	<input type="checkbox"/> ADDITION										2.1.1									
	<input type="checkbox"/> CHANGE OF USE										<input checked="" type="checkbox"/> ALTERATION									
2	MAJOR OCCUPANCY(S) C										9.10.2									
3	BUILDING AREA (m ²) EXISTING 106.98 NEW 0 TOTAL 106.98										1.1.3.2									
4	GROSS AREA (m ²) EXISTING 301.03 NEW 0 TOTAL 301.03										1.1.3.2									
4a	AREA OF WORK (m ²) 86.96																			
5	NUMBER OF STOREYS ABOVE GRADE: 2 BELOW GRADE: 1										2.1.1.3									
6	NUMBER OF STREET/ACCESS ROUTES 1										9.10.19									
7	BUILDING CLASSIFICATION										9.10.4									
8	SPRINKLER SYSTEM PROPOSED										9.10.8									
	<input type="checkbox"/> ENTIRE BUILDING																			
	<input type="checkbox"/> BASEMENT ONLY																			
	<input type="checkbox"/> IN LIEU OF ROOF RATING																			
	<input checked="" type="checkbox"/> NOT REQUIRED																			
9	STANDPIPE REQUIRED										9.10.17.2									
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																			
10	FIRE ALARM REQUIRED																			
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																			
11	WATER SERVICE/SUPPLY IS ADEQUATE										N/A									
	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO																			
12	HIGH BUILDING										N/A									
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																			
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH										9.10.6									
	ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH																			
14	MEZZANINE(S) AREA (M ²) N/A										9.10.4.1									
15	OCCUPANT LOAD BASED ON										9.9.1.3									
	<input type="checkbox"/> m ² / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING																			
	BASEMENT: OCCUPANCY _____ LOAD _____ PERSON																			
	1 ST. FLOOR OCCUPANCY _____ LOAD _____ PERSON																			
	2 ST. FLOOR OCCUPANCY _____ LOAD _____ PERSON																			
	3 ST. FLOOR OCCUPANCY _____ LOAD _____ PERSON																			
16	BARRIER-FREE DESIGN										9.5.2									
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) _____ N/A _____																			
17	HAZARDOUS SUBSTANCES										9.10.1.3									
	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO																			
18	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)		9.10.8													
			FLOORS N/A HOURS				9.10.9													
			ROOF _____ HOURS																	
			MEZZANINE _____ HOURS																	
	FRR OF SUPPORTING MEMBERS		FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SG-2)															
			FLOORS N/A HOURS																	
			ROOF _____ HOURS																	
			MEZZANINE _____ HOURS																	

LIST OF ARCHITECTURAL DRAWINGS

- A-000 COVER SHEET & OBC MATRIX
- A-001 SITE PLAN
- A-002 GENERAL NOTES
- A-101 BASEMENT - EXISTING LAYOUT
- A-102 BASEMENT - PROPOSED LAYOUT
- A-103 MAIN FLOOR - EXISTING LAYOUT
- A-104 SECOND FLOOR - EXISTING LAYOUT
- A-201 NORTH ELEVATION
- A-401 EGRESS WINDOW DETAIL
- A-402 TYPICAL DETAILS
- A-403 FIRE BLOCKING DETAILS
- A-404 WALKOUT DETAILS
- A-405 WALKOUT DETAILS
- E-101 BASEMENT - ELECTRICAL LAYOUT
- M-101 BASEMENT - MECHANICAL LAYOUT

NOTES:

- PROVIDE INTERCONNECTED SMOKE ALARMS IN BOTH DWELLING UNITS. (THROUGHOUT THE ENTIRE BUILDING)
- HORIZONTAL FIRE SEPARATION BETWEEN TWO DWELLING UNITS SHALL COMPLY WITH O.B.C. REQUIREMENTS REFER SECTION 11.5.1.1.C (C152) WHICH PRESCRIBES IT TO BE 15 MINUTES

FIRE SEPARATION
O.B.C 9.10.9.14
9.10.8.1
9.10.8.3
9.10.9.15

C152 9.10.9.14.(1) AND (3); 9.10.9.15.(1) (B) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE,

(I) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS IN CONFORMANCE WITH SUBSECTION 9.10.19., AND

(II) SMOKE ALARMS ARE INTERCONNECTED.

(C) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, THE FIRE-RESISTANCE RATING OF THE FIRE SEPARATION IS WAIVED WHERE BUILDING IS SPRINKLERED.

C147 9.10.8.1; 9.10.8.3; 9.10.8.8. (B) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE,

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(II) SMOKE ALARMS ARE INTERCONNECTED.

NUMBER OF EXITS:
(O.B.C 9.9.8)

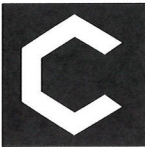
C136 9.9.9. IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, EXIT REQUIREMENTS ARE ACCEPTABLE IF AT LEAST ONE OF THE FOLLOWING CONDITIONS EXISTS:

BEDROOM WINDOWS:
(O.B.C 9.9.10.1)

(A) A DOOR, INCLUDING A SLIDING DOOR, THAT OPENS DIRECTLY TO THE EXTERIOR FROM A DWELLING UNIT, SERVES ONLY THAT DWELLING UNIT AND HAS REASONABLE ACCESS TO GROUND LEVEL, AND THE DWELLING UNITS ARE EQUIPPED WITH SMOKE ALARMS INSTALLED IN CONFORMANCE WITH SUBSECTION 9.10.19.,

C137 9.9.10.1. IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, EXISTING ACCEPTABLE, WHERE THERE IS DIRECT ACCESS TO THE EXTERIOR.

C108 9.7 EXISTING ACCEPTABLE.



C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
647.741.5917 | WWW.C-ARCHI.COM

Project #: 22-176

PROJECT TEAM:

ARCHITECT

C-ARCHITECTURE LTD.
M. ARSHAD SIDDIQUI, OAA
C: 647.741.5917
E: arshad@c-archi.com

WINDOW SIZES:
(O.B.C 9.7)

04

DIV. B.
O.B.C 9.10.19
9.9.10.1
9.33.4.2

DIV. B.
O.B.C 11.5.1.1
C98

DIV. B.
O.B.C 9.33.1.1.(1)

DIV. B.
O.B.C 7.6.5.1.(1)

DIV. B.
O.B.C 9.10.16.1
9.6.3.1.(1)

C107 9.7.2.3. (A) WHERE WINDOWS ARE NOT USED AS A MEANS OF EGRESS AND WHERE THEY DO NOT CONFLICT WITH VENTILATION REQUIREMENTS, THE MINIMUM GLASS AREAS AS SHOWN IN TABLE 9.7.2.3. MAY BE REDUCED BY 50%

EGRESS WINDOW
TO BE OPERABLE FORM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 SM / 3.8 SFT WITH NO DIMENSION LESS THAN 1'-3" 380MM)

ALL WORK SHOULD COMPLY WITH ONTARIO BUILDING CODE 2012.

AN EGRESS WINDOW FROM THE BASEMENT FLOOR AREA WITH A MINIMUM OPEN AREA 3.8 FT² AND NO DIMENSION LESS THAN 15", HARDWIRED AND INTERCONNECTED SMOKE ALARMS IN EACH BEDROOM, AND A HARDWIRED AND INTERCONNECTED CO DETECTOR.

MINIMUM CEILING HEIGHTS FOR BASEMENT SPACES 5 YEARS OR GREATER IN AGE IS 6'-5" OVER THE BASEMENT AREA INCLUDING UNDER BEAMS AND DUCTS.

SUPPLY AIR OUTLETS ARE REQUIRED IN EACH FINISHED ROOM OR SPACE. PROVIDE AT LEAST ONE RETURN OUTLET PER FLOOR LEVEL. UNDERCUT DOORS TO ROOMS WHERE RETURN AIR IS NOT PROVIDED. LOW WALL SUPPLY AND RETURN OUTLETS ARE RECOMMENDED.

EACH NEW PLUMBING FIXTURE REQUIRES A MIXING VALVE TO ENSURE THAT THE MAXIMUM TEMPERATURE OF HOT WATER SUPPLIED BY FITTINGS TO THE FIXTURE DOES NOT EXCEED 49°C. ALTERNATIVELY PROVIDE A MIXING VALVE ON THE HOT WATER HEATER TO ENSURE THAT THE WATER SUPPLIED TO ALL FIXTURES DOES NOT EXCEED 49°C.

INSULATION IS REQUIRED IN THE FLOOR JOISTS ABOVE WALLS SEPARATING FINISHED AND UNFINISHED PORTIONS. ENSURE THE DOOR TO THE UTILITY ROOM IS MINIMUM 32" WIDE.

SURVEYOR'S REAL PROPERTY REPORT

PART 1

PLAN OF LOTS 2, 3, 4, 5,
6, 7 AND 8

PLAN 43M-2074

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- IB DENOTES IRON BAR
- PB DENOTES PLASTIC BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- (WIT) DENOTES WITNESS
- PL DENOTES PLAN 43M-2074
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P DENOTES PORCH
- TOW DENOTES TOP OF WALL ELEVATION

ALL FOUND MONUMENTS BY SCHAEFFER DZALDOV
BENNETT LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE GRID AND ARE REFERRED TO THE
NORTHWEST LIMIT OF CIRCUS CRESCENT AS SHOWN ON
PLAN 43M-2074 HAVING A BEARING OF N38°22'25"E.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 24th DAY OF SEPTEMBER, 2019.

DATE Nov. 8, 2019.

T. SINGH
ONTARIO LAND SURVEYOR

CALLANDAR ROAD

(BY PLAN 43M-2022)

P.I.N. 14251-4131

BLOCK 431

(0.30 RESERVE)

P.I.N. 14251-4127

CALLANDAR ROAD
(BY PLAN 43M-2074)

P.I.N. 14251-4961

PLAN

PLAN

LOT 397

P.I.N. 14251-4093

LOT 398

P.I.N. 14251-4094

LOT 399

P.I.N. 14251-4095

LOT 400

P.I.N. 14251-4096

LOT 401

P.I.N. 14251-4097

LOT 402

P.I.N. 14251-4098

LOT 403

P.I.N. 14251-4099

LOT 404

P.I.N. 14251-4100

LOT 2

P.I.N. 14251-4615

LOT 3

P.I.N. 14251-4616

LOT 4

P.I.N. 14251-4617

LOT 5

P.I.N. 14251-4618

LOT 6

P.I.N. 14251-4619

LOT 7

P.I.N. 14251-4620

LOT 8

P.I.N. 14251-4621

LOT 9

P.I.N. 14251-4622

LOT 10

P.I.N. 14251-4623

LOT 11

P.I.N. 14251-4624

LOT 12

P.I.N. 14251-4625

LOT 13

P.I.N. 14251-4626

LOT 14

P.I.N. 14251-4627

LOT 15

P.I.N. 14251-4628

LOT 16

P.I.N. 14251-4629

LOT 17

P.I.N. 14251-4630

LOT 18

P.I.N. 14251-4631

LOT 19

P.I.N. 14251-4632

LOT 20

P.I.N. 14251-4633

CIRCUS

CRESCENT

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS

R-PE

R-PE SURVEYING LTD.

ONTARIO LAND SURVEYORS

645 Chrislea Road, Suite 7, Woodbridge, Ontario, L4L 8A3

TEL: (416) 635-5000 FAX: (416) 635-5001

TEL: (905) 264-4000 FAX: (905) 264-2099

Website: www.r-pe.com

DRAWN: V.K.

CAD FILE No. 2074-2

REVIEWED DRAWINGS

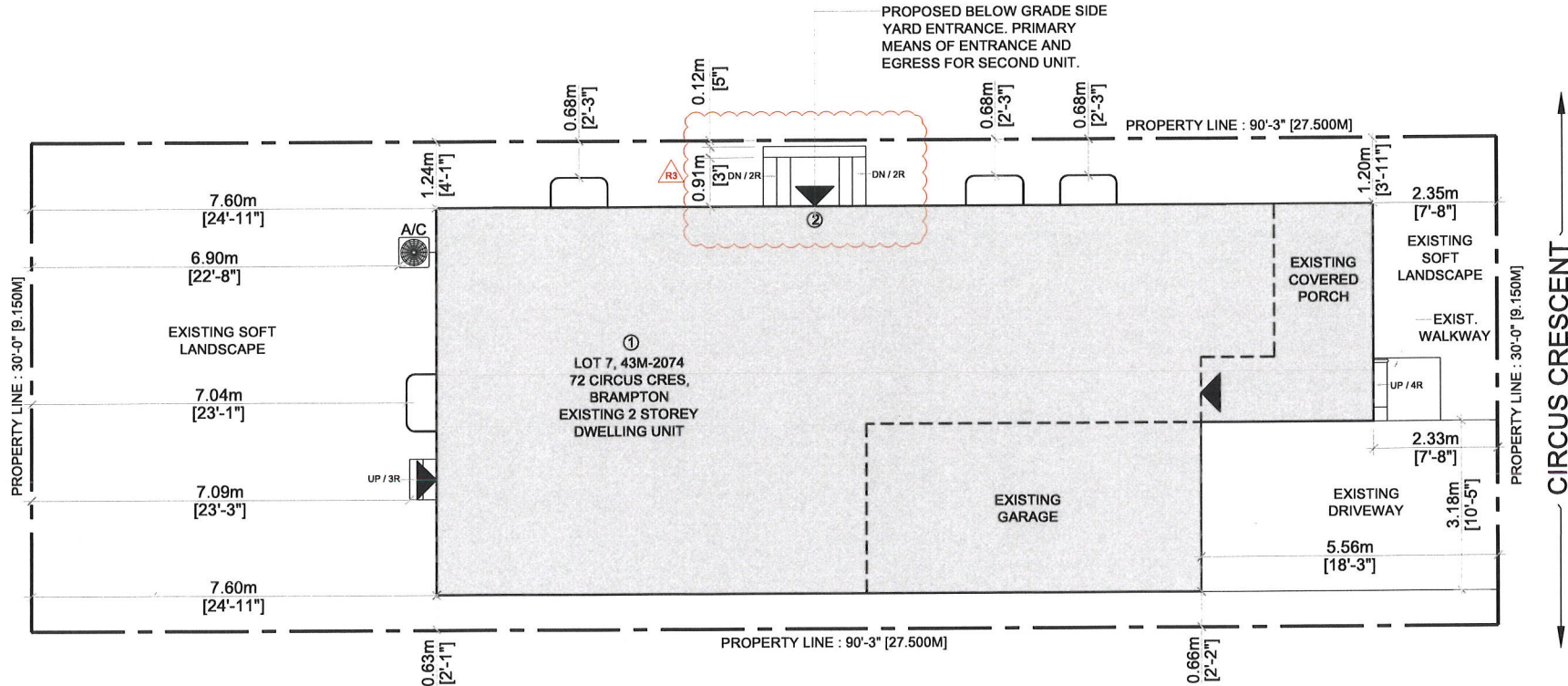
CHECKED: G.Y./T.S.

JOB No. 19-157

THIS REPORT WAS PREPARED FOR
MATTAMY HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

© R-PE SURVEYING LTD., O.L.S., 2019.

19-157 *43M-2074 L2-8*



1
A-001

SITE PLAN

SCALE : $\frac{1}{8}" = 1'-0"$

LEGEND

--- PROPERTY LINE

▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED

TWO PARKING SPACES PROVIDED
(ONE OUTSIDE & ONE INSIDE THE GARAGE)

AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A - EXISTING PRINCIPAL RESIDENCE = 935.77 SFT / 86.96 SM

EXISTING MAIN FLOOR AREA = 214.40 SFT / 19.92 SM

GARAGE AREA = 1152.22 SFT / 107.08 SM

EXISTING SECOND FLOOR AREA = 2,303.4 SFT / 214.07 SM

TOTAL ABOVE GRADE GFA

B - EXISTING BASEMENT

BASEMENT AREA PART OF PRICIPAL RESIDENCE = 00.00 SFT / 00.00 SM

NEW BASEMENT APARTMENT GFA = 880 SFT / 81.78 SM

FURNACE AREA = 55.80 SFT / 5.18 SM

TOTAL BASEMENT GFA = 935.77 SFT / 86.96 SM

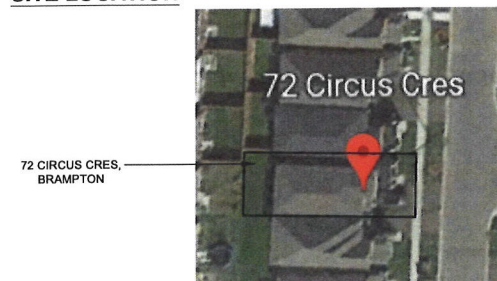
BASEMENT APARTMENT GFA IS 37.29 % OF PRINCIPAL RESIDENCE GFA

TOTAL LOT AREA : 2708 SFT / 251.67 SM

SCOPE OF WORK

- ① BASEMENT APARTMENT
- ② PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT

SITE LOCATION



RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION.
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NO	DATE	REVISION / ISSUED
00	2022.12.28	SCHEMATIC LAYOUT
01	2023.01.06	PERMIT APPLICATION
01	2023.01.11	CITY COMMENTS
02	2023.02.03	CITY COMMENTS
03	2023.02.06	PERMIT REVISION



OWNER

FARZANA BAGAM

ARCHITECT



C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com
SEAL



ALTERATIONS (SU)

72 CIRCUS CRES,
BRAMPTON

SITE PLAN

SCALE: $\frac{1}{8}" = 1'-0"$

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-001

REVISION: 03

SPECIFICATION:

1 FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., ½" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED.

1A NOT USED

DATE
RECEIVED: 2023/02/15

2 INTERNAL WALLS
½" DRY WALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH JOINTS TAPED AND SEALED. **SB-3: W1** (WATER RESISTANT GWB ON BATHROOMS' WALLS).

2A INTERNAL WALLS
½" TYPE X DRYWALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W1b. FIRE RESISTANCE : 45 MIN, STC: 34**

2B NOT USED

3 CEILING
½" DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **SB-3: F3a**

3A NOT USED

3B 5⁄8" TYPE X DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE . **SB-3: F3b. FIRE RESISTANCE : 31 MIN, STC : 30.**

3C NOT USED

4 20 MIN. RATED DOOR FOR FURNACE ROOM AND BETWEEN BASEMENT APARTMENT AND BASEMENT AREA WHICH IS PART OF PRINCIPAL RESIDENCE

5 EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR

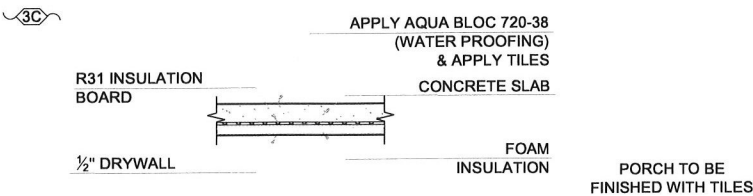
6 MECHANICAL VENTILATION
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L.S FOR PRINCIPAL EXHAUST

7 INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT THROUGH ENTIRE HOUSE ALARM - AS PER OBC 9.10.19.

8 PERMANENTLY CONNECTED TO ELECTRICAL CIRCUIT CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3.

9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

10 SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, *EMERGENCY LIGHTING EQUIPMENT* - AS PER OBC 9.9.12



SCHEDULES

ROOM FINISH SCHEDULE

RM. NO	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	LIVING / DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
2	KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
3	BEDROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
4	STORAGE	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
5	CLOSET	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-8"	
6	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-3"	

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE OR SLIDING DOORS. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80".
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND AHJ BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

\$ 3
4

3 OR 4 WAY SWITCH
E EXISTING
N NEW

INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE, WITH
WHITE COVER PLATE
4 DENOTES 4-WAY
SWITCH
SHALL BE INSTALLED AT
THE ENDS OF EACH STAIRWAYS

C GFI
WP

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE, WHITE
CW WHITE COVER PLATE
GFI- GROUND FAULT TYPE
WP- WEATHERPROOF COVER
C - ABOVE COUNTER

INSTALL DUCT TYPE SMOKE
DETECTOR IN FURNACE.

A

RECEPTACLE 50A, 208V,
STOVE OR DRYER OUTLET.

EXHAUST FAN

FD: FLOOR DRAIN

SPRINKLER

EMERGENCY LIGHT

SD: SMOKE ALARM W/
STROBE LIGHT

CO: CARBON MONOXIDE
ALARM

LIGHT

POT LIGHT

City of Brampton
Building Division
Building Reviewed
2023/02/21
L.Orquin

PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS

NEW CEILING TO BE 45 MIN. FIRE
RATED WITH ABSORPTIVE MATERIAL
IN CAVITY. RESILIENT METAL
CHANNELS @ 610MM O.C. WITH 2
LAYERS OF 12.7 MM TYPE X GYP. BD.
ON CEILING SIDE AS PER "TABLE 2,
FLOORS & CEILINGS F9h OF SB-3"

2/ 2x10 SPR WOOD LINTEL.

ESCAPE WINDOW:
TO BE OPERABLE FROM INSIDE
WITHOUT USE OF ANY TOOLS
UNOBSTRUCTED OPEN PORTION
HAVING A MINIMUM AREA OF
0.35M²/3.76 Sq.Ft WITH NO DIMENSION
LESS THAN 1'-3" 380MM)

BULKHEAD / STAIR CEILING 45 MIN.
FIRE SEPARATION, 2 LAYERS 1/2"
TYPE X GYPSUM (NOTE: NO
OPENINGS PERMITTED THIS
MEMBRANE ONLY FIRE SEPARATION.

RELEASED FOR BUILDING PERMIT

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NO	DATE	REVISION / ISSUED
05	2023-12-28	SCHEMATIC LAYOUT
06	2023-01-06	PERMIT APPLICATION
01	2023-01-11	CITY COMMENTS
02	2023-02-03	CITY COMMENTS

OWNER

FARZANA BAGAM

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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

GENERAL NOTES

SCALE: N.T.S

DATE: 2023.01.11

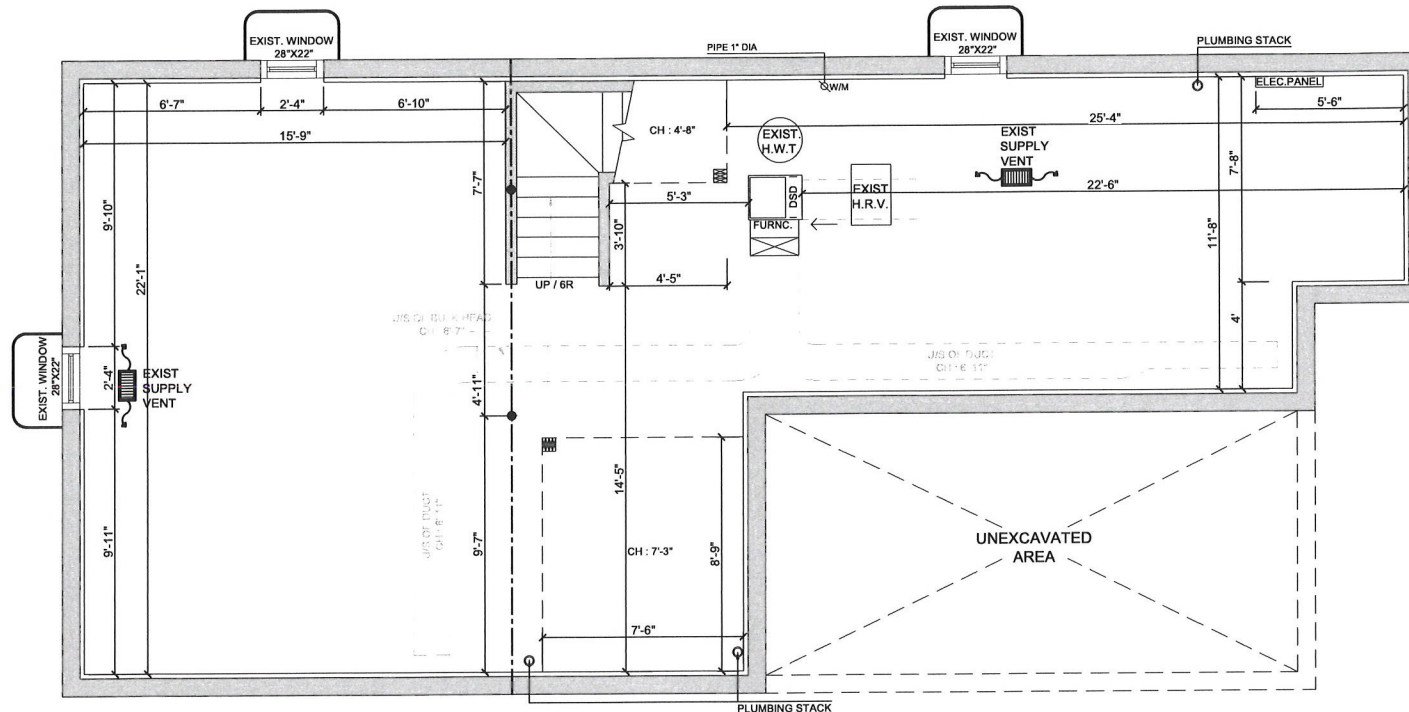
PROJECT: 22-176

DRAWING NO:









A-002

REVISION: 01

**PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS**



LEGEND :

- | | |
|---|--|
|  | EXHAUST FAN |
|  | EXISTING WALLS |
|  | NEW WALLS |
|  | FIRE RATED WALLS. REFER TO A-403 FOR DETAILS |
|  | EXISTING TO BE REMOVED |
|  | EXISTING STEEL & WOODEN POSTS |
|  | HARD WIRED SMOKE DETECTOR (INTERCONNECTED) |
|  | CARBON MONOXIDE ALARM |

BASEMENT AREA = 935.77 SFT / 86.96 SM
U/S OF DUCT CEILING HEIGHT = 6'-11"
U/S OF BULK HEAD CEILING HEIGHT = 6'-7"
CEILING HEIGHT = 7'-8"

RELEASED FOR BUILDING PERMIT

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NO	DATE	REVISION / ISSUED
00	2022 12 28	SCHEMATIC LAYOUT
00	2023 01 06	PERMIT APPLICATION
01	2023 01 11	CITY COMMENTS
02	2023 02 03	CITY COMMENTS



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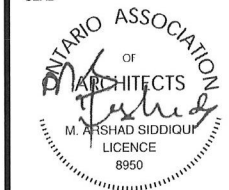
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SEAL

ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
EXISTING
LAYOUT

SCALE: $\frac{3}{16}"=1'-0"$

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-101

REVISION: 01

DATE
RECEIVED: 2023/02/15

City of Brampton
Building Division
Building Reviewed

2023/02/21
L.Orquin

ALL WORK SHALL CONFORM TO THE ONTARIO
BUILDING CODE (O.B.C.) 332/12 AS AMENDED

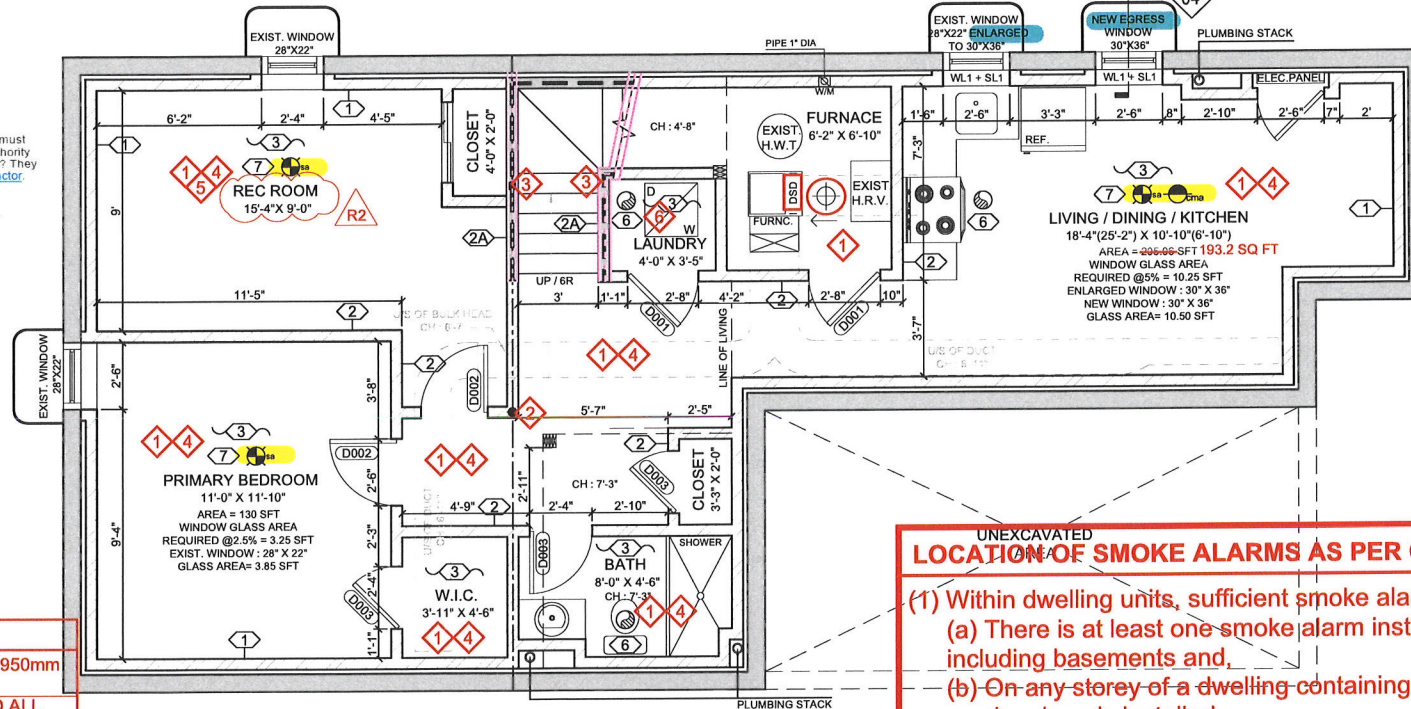
PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS



Doing electrical work? A notification must
be filed with the Electrical Safety Authority
Hiring someone to do electrical work? They
must be a **Licensed Electrical Contractor**.
It's the law.
For more information go to
esasafe.com or call 1-877-372-7233.

The fire sprinkler system shall be a flow
through system with a minimum 3/4"
copper pipe connected to the supply to
the hot water tank (OR 3/4" PEX)

TO BE DESIGNED FOR RESIDENTIAL USE.



NOTES

- MINIMUM CEILING HEIGHT OF 1950mm (6'-5") THROUGHOUT.
- MINIMUM 15min. F.R.R. AROUND ALL STRUCTURAL BEAMS AND COLUMNS.
- MINIMUM 30min. VERTICAL FIRE SEPARATION.
- MINIMUM 15min. HORIZONTAL FIRE SEPARATION.
- ROOM HAS NOT BEEN REVIEWED FOR SLEEPING/BEDROOM PURPOSES
- DRYER EXHAUST AS PER OBC 2012 6.2.4.11.

City of Brampton
Building Division
Plumbing Reviewed

2023/02/21
A.Sturino

ALL PLUMBING SHALL CONFORM TO THE
ONTARIO BUILDING CODE O.B.C. 332/12,
AS AMENDED, DIVISION B, PART 7

PRESSURE-BALANCED OR THERMOSTATIC
MIXING VALVE REQUIRED ON SHOWER AS
PER OBC DIVISION B, 7.6.5.2.(1)

LOCATION OF SMOKE ALARMS AS PER O.B.C.DIV B. SEC 9.10.19.3

- (1) Within dwelling units, sufficient smoke alarms shall be installed so that,
- (a) There is at least one smoke alarm installed on each storey, including basements and,
- (b) On any storey of a dwelling containing sleeping rooms, a smoke alarm is installed,
- (i) In each sleeping room and,
- (ii) In a location between the sleeping room and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm should be located in the hallway.

SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE A VISUAL SIGNAL

1 A-102 BASEMENT - SCHEMATIC LAYOUT SCALE: 3/16" = 1'-0"

LEGEND:

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

BASEMENT - SCHEMATIC LAYOUT

BASEMENT AREA PART OF PRINCIPAL RESIDENCE = 0.0 SFT / 0.0 SM

NEW BASEMENT APARTMENT GFA = 880 SFT / 81.78 SM

FURNACE AREA = 55.80 SFT / 5.18 SM

TOTAL BASEMENT GFA = 935.77 SFT / 86.96 SM

U/S OF DUCT CEILING HEIGHT = 6'-11"

U/S OF BULK HEAD CEILING HEIGHT = 6'-7"

CEILING HEIGHT = 7'-8"

04 EGRESS WINDOW

TO BE OPERABLE FROM INSIDE WITHOUT USE OF ANY TOOLS
UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF
0.35 SM / 3.8 SFT WITH NO DIMENSION LESS THAN 1'-5" (460MM)

ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE
O.B.C. 332/12 AS MENTIONED

SL1: STEEL LINTEL 31/2" X 31/2" X 3/8"
WL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2

DOOR SCHEDULE

- (EXIST) EXISTING DOOR & WINDOW TO REMAIN.REPAINT
IF REQUIRED
- (D001) NEW 2'-8" X 6'-8" WOOD DOOR & FRAME
- (D002) NEW 2'-6" X 6'-8" WOOD DOOR & FRAME
- (D003) NEW 2'-4" X 6'-8" WOOD DOOR & FRAME
- (D004) NEW DOUBLE DOOR
- (D005) NEW 2'-8" X 6'-8", 20 MIN. FIRE RATED DOOR

RELEASED FOR BUILDING PERMIT

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
REPORT DISCREPANCIES (IF ANY) TO THE CONSULTANT
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NO	DATE	REVISION / ISSUED
00	2022.12.28	SCHEMATIC LAYOUT
00	2023.01.06	PERMIT APPLICATION
01	2023.01.11	CITY COMMENTS
02	2023.02.01	CITY COMMENTS



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ALTERATIONS
(SU)

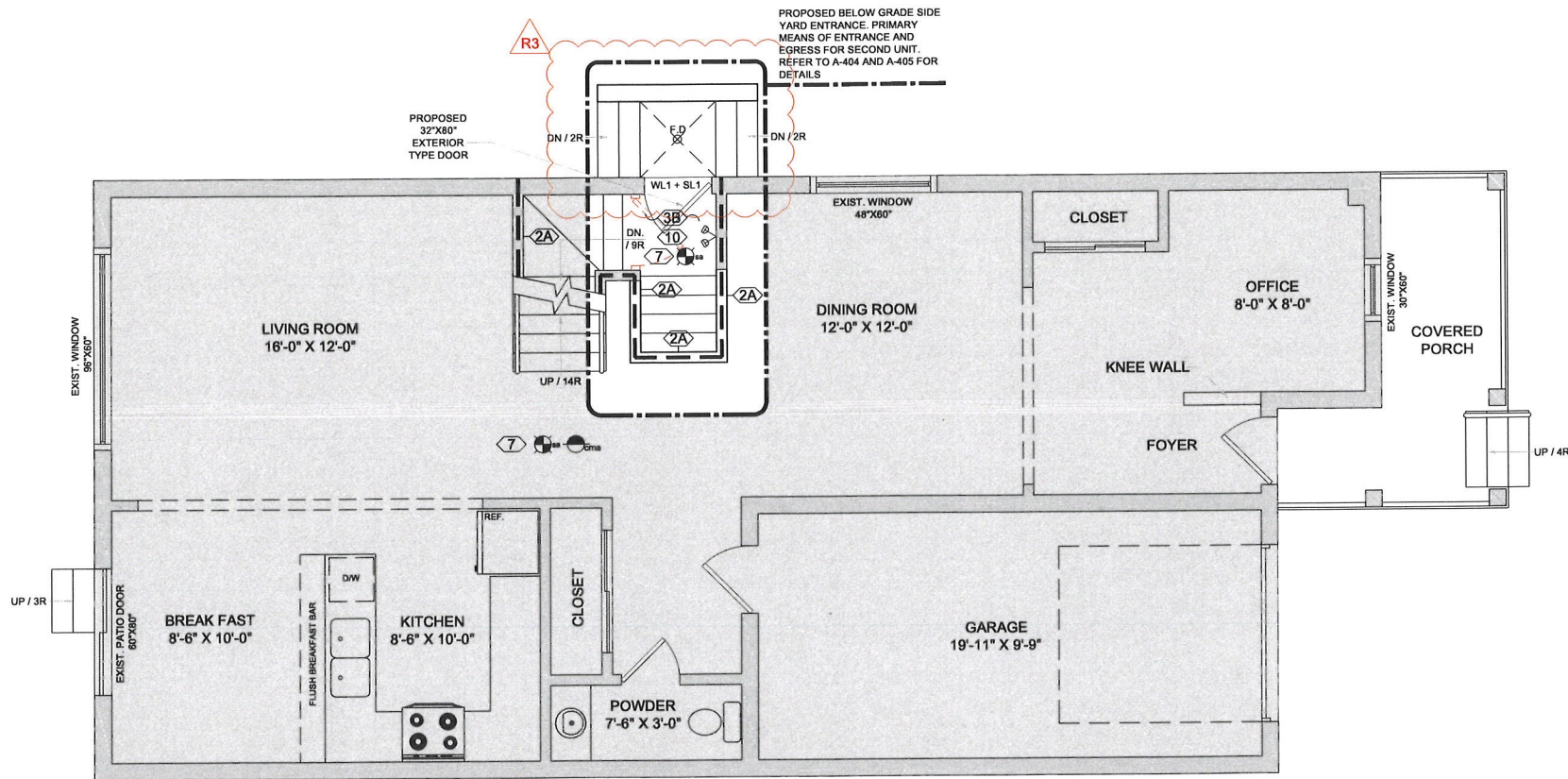
72 CIRCUS CRES,
BRAMPTON

BASEMENT -
SCHEMATIC
LAYOUT

SCALE: 3/16"=1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-102

REVISION: 01



1 MAIN FLOOR - EXISTING LAYOUT
A-103 SCALE : $\frac{3}{16}$ " = 1'-0"

LEGEND :

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

MAIN FLOOR - EXISTING LAYOUT

MAIN FLOOR AREA = 935.77 SFT / 86.96 SM
GARAGE AREA = 214.40 SFT / 19.92 SM
TOTAL MAIN FLOOR AREA = 1151.18 SFT / 106.98 SM
CEILING HEIGHT = 8'-0"

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND REPORTING DISCREPANCIES (IF ANY) TO THE CONSULTANTS BEFORE CONSTRUCTION.
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03	2023.02.03	CITY COMMENTS
04	2023.02.06	PERMIT REVISION



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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

MAIN FLOOR -
EXISTING LAYOUT

SCALE: $\frac{3}{16}$ "=1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-103

REVISION: 03

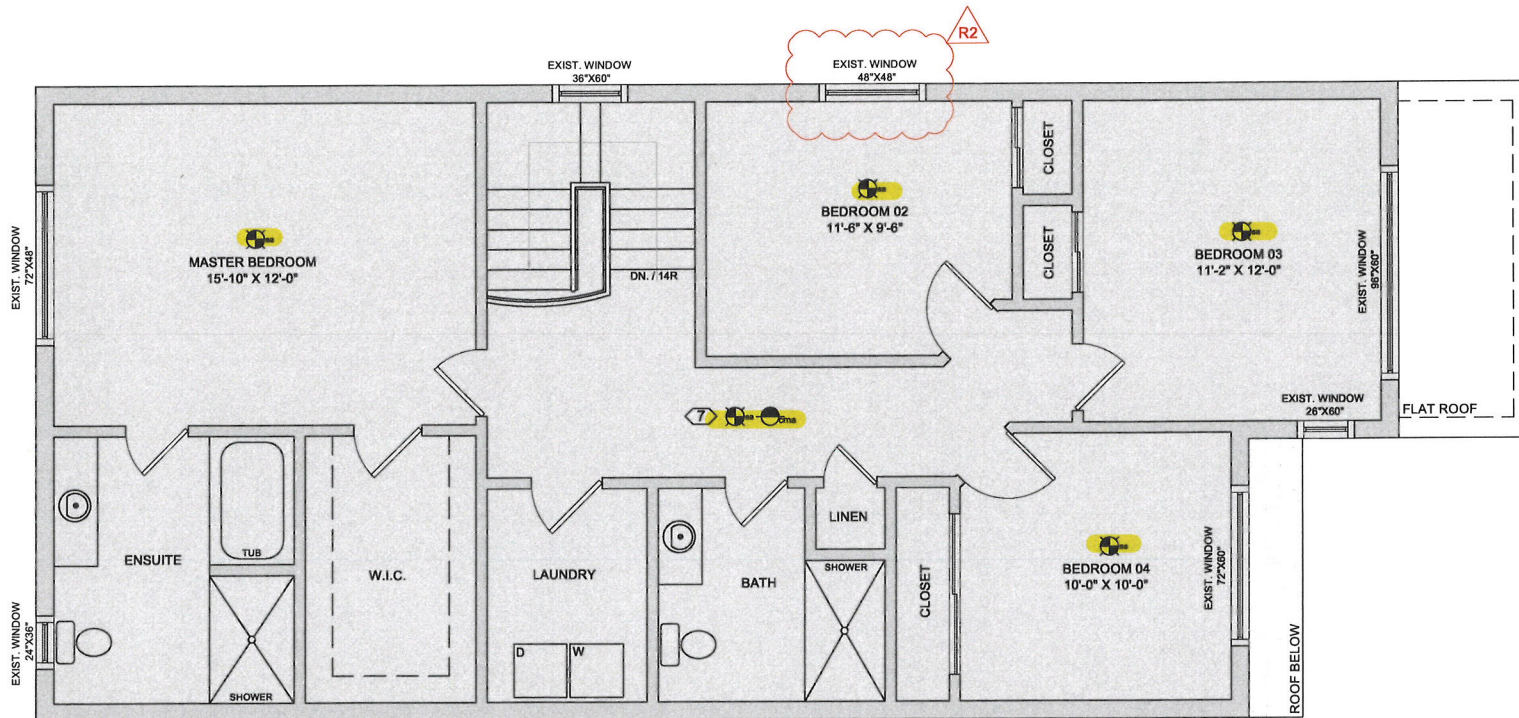
DATE
RECEIVED: 2023/02/15

City of Brampton
Building Division
Building Reviewed

2023/02/21
L.Orquin

ALL WORK SHALL CONFORM TO THE ONTARIO
BUILDING CODE (REG.33/12 AS AMENDED)

PLEASE SEE ATTACHED
NOTES AS THEY FORM
PART OF THE
REVIEWED DRAWINGS



1
A-104 SECOND FLOOR - EXISTING LAYOUT
SCALE: $\frac{3}{16}$ " = 1'-0"

LEGEND:

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

SECOND FLOOR - EXISTING LAYOUT

SECOND FLOOR AREA = 1152.22 SFT / 107.08 SM

CEILING HEIGHT = 8'-0"

LOCATION OF SMOKE ALARMS AS PER O.B.C.DIV B. SEC 9.10.19.3

- (1) Within dwelling units, sufficient smoke alarms shall be installed so that,
- (a) There is at least one smoke alarm installed on each storey, including basements and,
- (b) On any storey of a dwelling containing sleeping rooms, a smoke alarm is installed,
- (i) In each sleeping room and,
- (ii) In a location between the sleeping room and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm should be located in the hallway.

SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE A VISUAL SIGNAL

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND HEIGHTS, ELEVATIONS, ETC. IF ANY TO THE CONSTRUCTION BEFORE CONSTRUCTION.
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NO	DATE	REVISION / ISSUED
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01	2023.01.05	PERMIT APPLICATION
02	2023.01.11	CITY COMMENTS
03	2023.02.02	CITY COMMENTS



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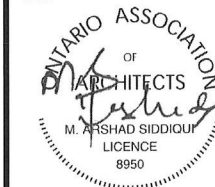
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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

SECOND FLOOR -
EXISTING LAYOUT

SCALE: $\frac{3}{16}$ " = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-104

REVISION: 01

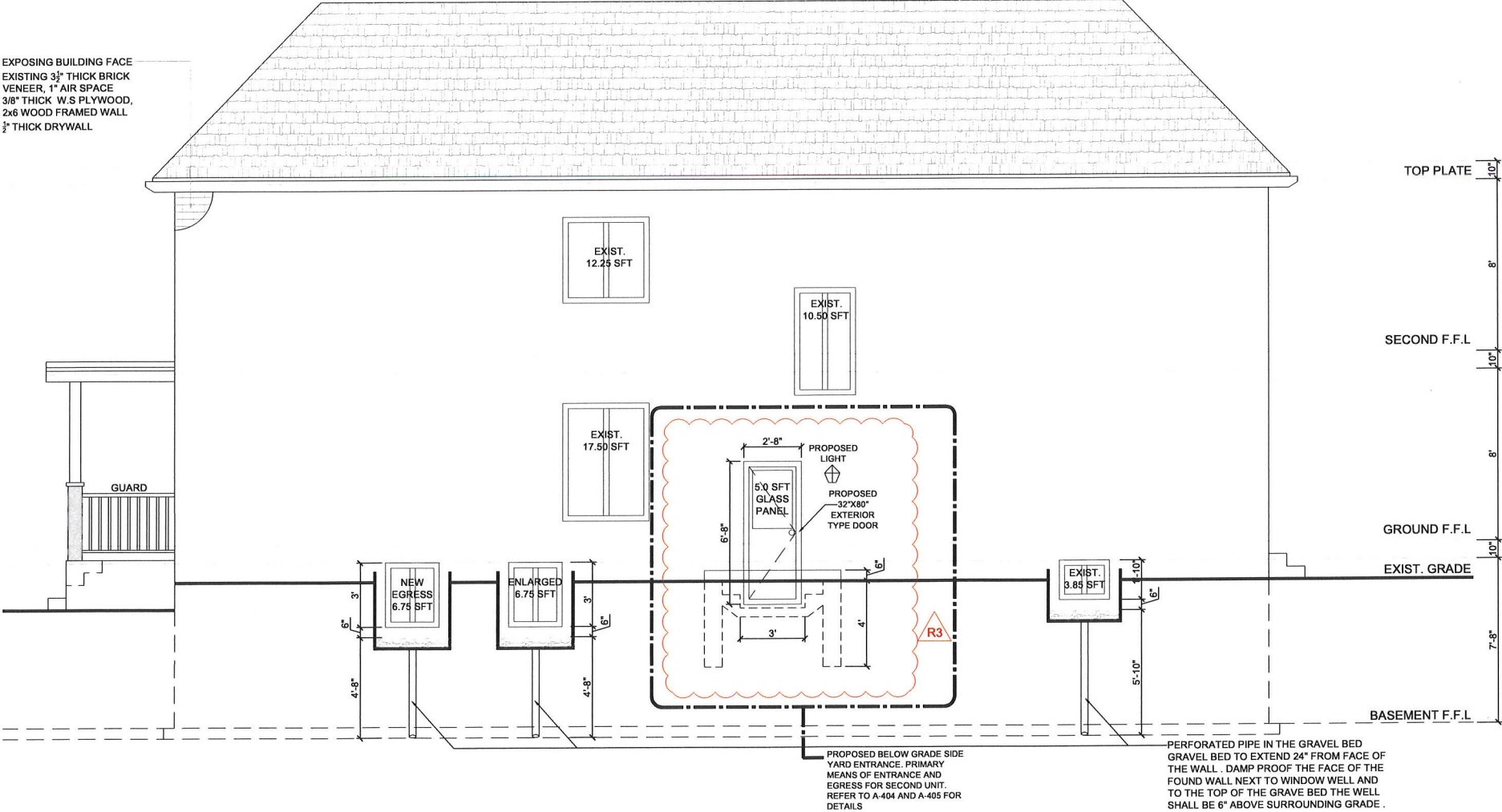
GLAZED OPENINGS:

WALL AREA: = 1016.84 SFT / 94.50

LIMITING DISTANCE: 1.31 M

WINDOW AREA PROVIDED: 62.6 SFT / 5.81 M² (6.15%)

WINDOW AREA ALLOWED: 7%



1 NORTH ELEVATION
A-201 SCALE : $\frac{3}{16}$ " = 1'-0"

RELEASED FOR BUILDING PERMIT

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01	2023-01-06	PERMIT APPLICATION
01	2023-01-11	CITY COMMENTS
02	2023-02-03	CITY COMMENTS
03	2023-02-06	PERMIT REVISION

OWNER

FARZANA BAGAM

ARCHITECT



C-Architecture Ltd.

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HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com

SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

NORTH ELEVATION

SCALE: $\frac{3}{16}$ " = 1'-0"

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-201

REVISION: 03

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200MM OF LATALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPA @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
SL1: STEEL LINTEL 3½" X 3½" X ¾"
SL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2

**PLEASE SEE ATTACHED
NOTES AS THEY FORM
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RIGIDLY FASTEN WINDOW

DATE RECEIVED: 2023/02/15

FLOOR

04

FIN. GRADE

WINDOW WELL.
DRAIN TO
WEEPING TILE

MIN. 48"

NO	DATE	REVISION / ISSUED
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SEAL

SCALE: $\frac{3}{8}" = 1'-0"$
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

REVISION: 01

1 EGRESS WINDOW DETAIL
A-401 SCALE : $\frac{3}{8}" = 1'-0"$

DATE
RECEIVED: 2023/02/15

City of Brampton
Building Division
Building Reviewed

2023/02/21
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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

TYPICAL DETAILS

SCALE: $\frac{3}{8}" = 1'-0"$

DATE: 2023.01.11

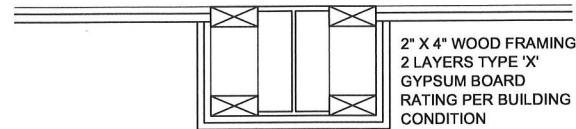
PROJECT: 22-176

DRAWING NO:

A-402

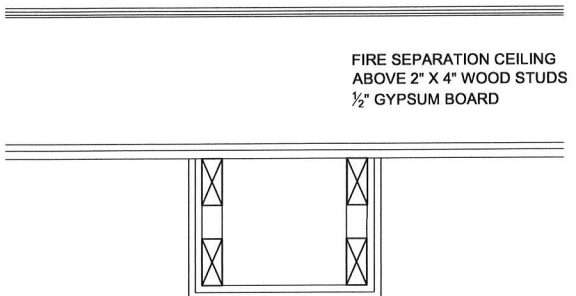
REVISION: 01

1 STEEL BEAM SEPERATION
A-402



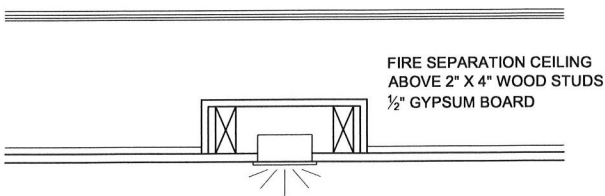
2" X 4" WOOD FRAMING
2 LAYERS TYPE 'X'
GYPSUM BOARD
RATING PER BUILDING
CONDITION

2 BULKHEAD BELOW FIRE SEPERATION
A-402



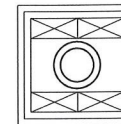
FIRE SEPERATION CEILING
ABOVE 2" X 4" WOOD STUDS
 $\frac{1}{2}"$ GYPSUM BOARD

3 POT LIGHT FIRE SEPERATION
A-402



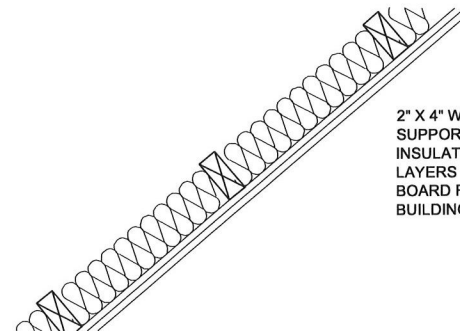
FIRE SEPERATION CEILING
ABOVE 2" X 4" WOOD STUDS
 $\frac{1}{2}"$ GYPSUM BOARD

4 STEEL COLUMN SEPERATION
A-402



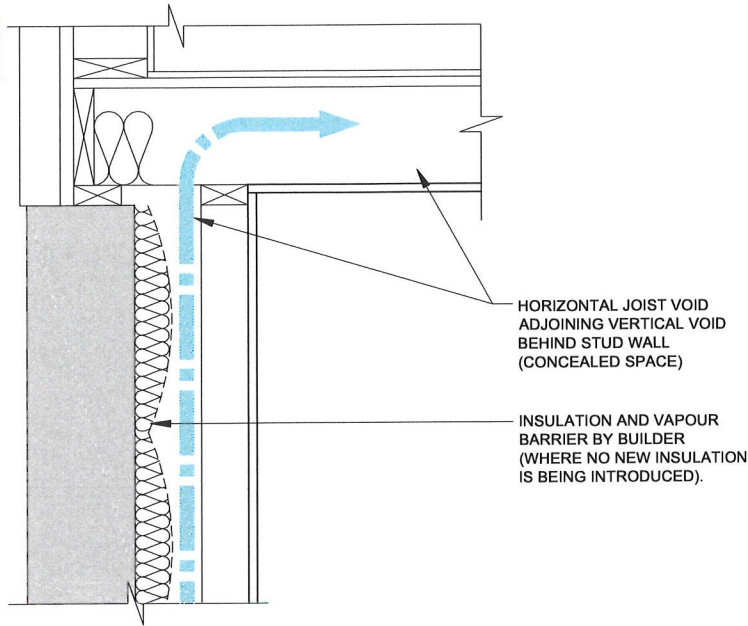
2" X 4" WOOD FRAMING
2 LAYERS TYPE 'X'
GYPSUM BOARD
RATING PER BUILDING
CONDITION

5 UNDERSIDE OF STAIR FIRE SEPERATION
A-402

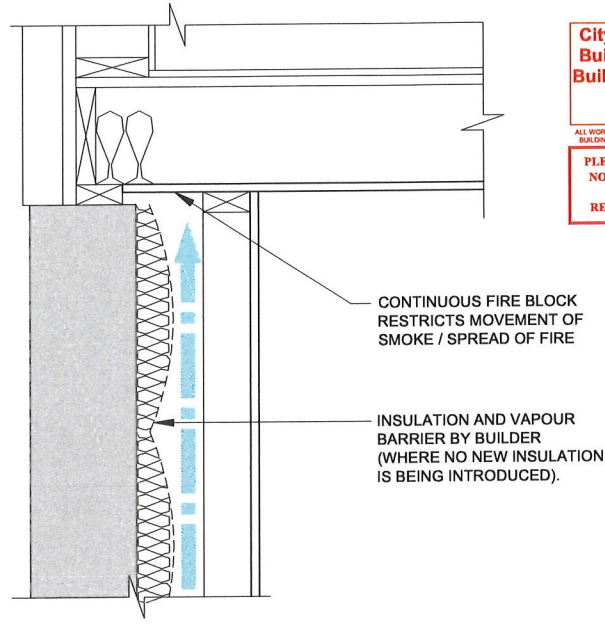


2" X 4" WOOD STUDS TO
SUPPORT CEILING SOUND
INSULATION (OPTIONAL) 2
LAYERS TYPE 'X' GYPSUM
BOARD RATING PER
BUILDING CONDITION

DATE RECEIVED: 2023/02/15



4 NON COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-403

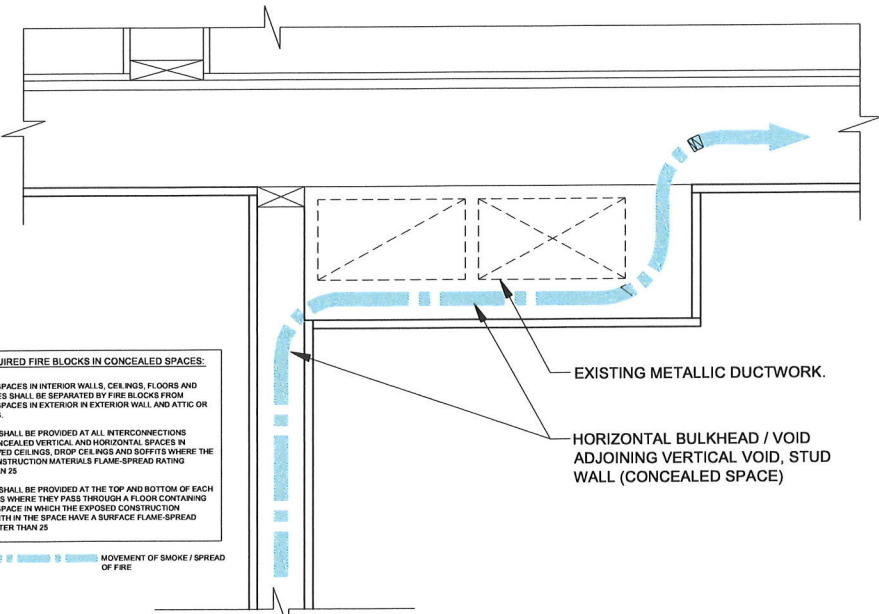


2 COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-403

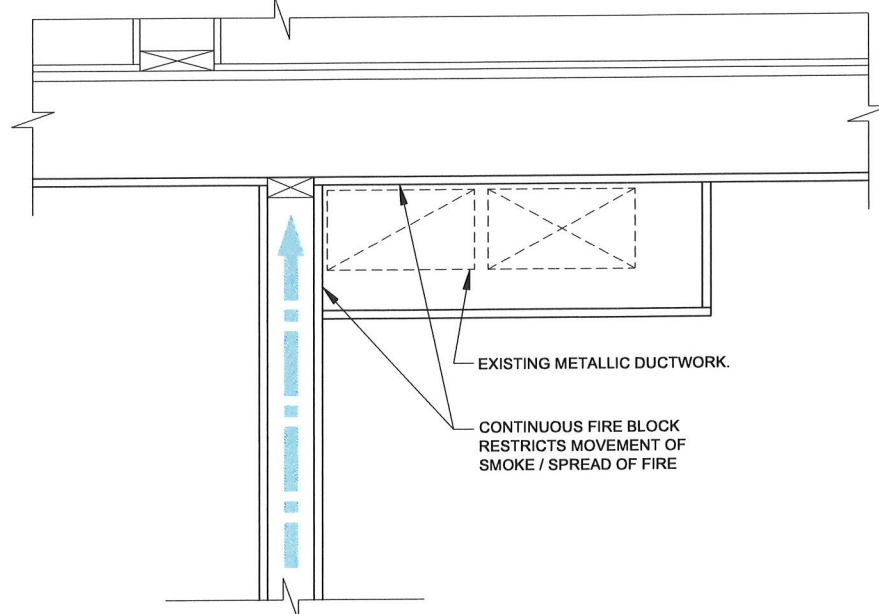
9.10.16.1. REQUIRED FIRE BLOCKS IN CONCEALED SPACES:

- 1) CONCEALED SPACES IN INTERIOR WALLS, CEILINGS, FLOORS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALL AND ATTIC OR ROOF SPACES.
- 2) FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS FLAME-SPREAD RATING GREATER THAN 25
- 3) FIRE BLOCKS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RUN OF STAIRS WHERE THEY PASS THROUGH A FLOOR CONTAINING CONCEALED SPACE IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITH IN THE SPACE HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25

MOVEMENT OF SMOKE / SPREAD OF FIRE



3 NON COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-403



1 COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-403

City of Brampton
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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

FIRE BLOCKING
DETAILS

SCALE: $\frac{3}{8}" = 1'-0"$

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-403

REVISION: 01

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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

WALKOUT
DETAILS

SCALE: $\frac{3}{8}" = 1'-0"$

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

A-404

REVISION: 03

GRADE

BOTTOM REINFORCEMENT: 10M
@ 8" O.C. DIAG. 10M @ 8" O.C.
HORIZ. MIN.2" CONC. COVER

BENT 10M 24"X24" REINF.BARS
@ 12" O.C.

4" RIGID INSULATION (TYP.)
R-20. SEE NOTE 8

4'-0" FROM GRADE

4" COMPACTED GRANULAR FILL

FLOOR DRAIN CONNECTS TO SUMP-PIT

1 SECTION - A
A-404 SCALE : $\frac{3}{8}" = 1'-0"$

NEW RETAINING WALL

CUT 32" OPENING FOR NEW
EXTERIOR TYPE DOOR AND
PROVIDE LINTEL

NEW WALL PINNED TO EXISTING
WALL W/1-10M ROD 8" LONG ANS
MIN.4" INTO WALL @ 16" O.C.

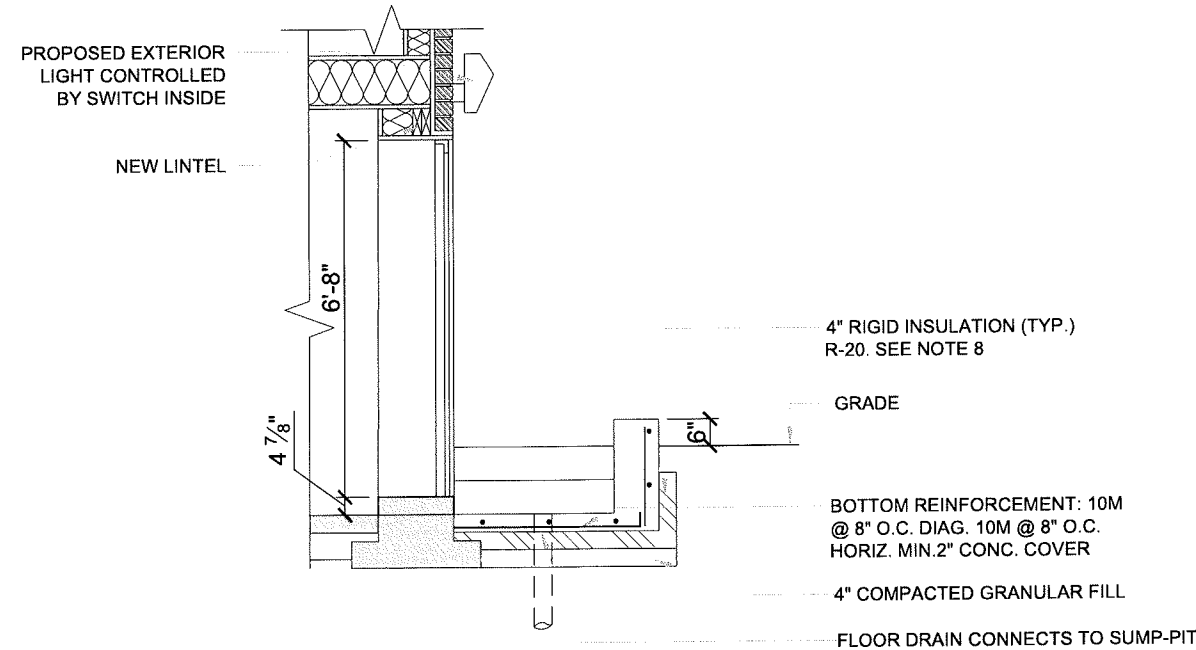
POURED CONC. SLABS AND STEPS
32MPa W/ 5%-8% AIR ENTRAINMENT

FLOOR DRAIN CONNECTS TO
SUMP-PIT

1 WALK-OUT PLAN
A-404 SCALE : $\frac{3}{8}" = 1'-0"$

GENERAL NOTES

1. **FOOTING**
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 KPa
2. **HANDRAILS**
HANDRAILS SHOULD BE BETWEEN 34 TO 38 ABOVE THE TREAD AT THE LEADING EDGE LINE 2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WINDER
3. **EXTERIOR**
7 7/8" RISER MAXIMUM 4 7/8" MINIMUM
10" RUN MINIMUM 14" MAXIMUM
10" TREAD MINIMUM 14" MAXIMUM
4. **RETAINING WALL**
10" POURED CONCRETE WALL DOES NOT REQUIRED REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @12" O.C. EACH WAY FIR BACKFILL HEIGHTS EXCEEDING 4'-7"
5. **GUARDS (PRE-ENGINEERED)**
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS, MAXIMUM 4" BETWEEN VERTICAL PICKETS
6. **LIGHT**
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT
7. **EXTERNAL DOOR**
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3 INSTALLATION OF MANUFACTURED AND PRE - ASSEMBLED DOOR SHALL CONFORM TO THE MANUFACTURERS INSTRUCTIONS
ALL UN FINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING
8. **INSULATION DETAILS**
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATION
 - STYROFOAM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
 - RSI VALUE 0.87/25MM [R-5 PER 1 INCH]
 - BOARD SIZE : AS INDICATED ON DRAWINGS]
 - COMPRESSIVE STRENGTH : 210 KPa
 - DRAINING CAPACITY > 0.72 M3/ HR/ M
9. **INSULATION FINISHING**
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4FT ABOVE FOOTING
INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTAL 21 1/2" GALVANIZED J TRACK ON SECURE AND PROTECT ALL EXPOSED EDGES ALL JOINTS TO THE EXISTING WALL NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



1 SECTION - B
A-405 SCALE : 3/8" = 1'-0"

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ALTERATIONS (SU)

72 CIRCUS CRES,
BRAMPTON

WALKOUT DETAILS

SCALE: 3/8" = 1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

A-405

REVISION: 03

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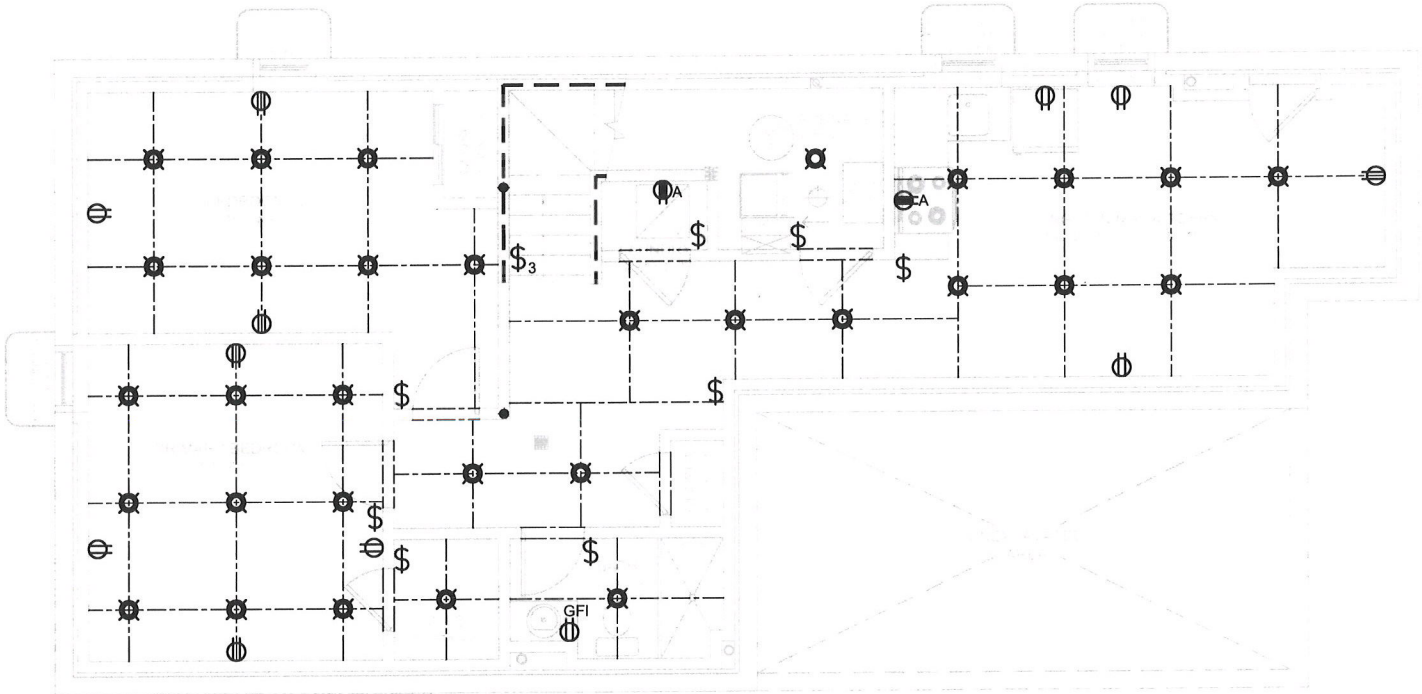
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1 BASEMENT - ELECTRICAL LAYOUT
E-101 SCALE : 3/16" = 1'-0"

ELECTRICAL SYMBOL :

- \$₃ 3 OR 4 WAY SWITCH
- E EXISTING
- 4 N NEW
- ⊖ 15A, 120V DUPLEX RECEPTACLE
- GFI SPECIFICATION GRADE, WHITE
- WP C/W WHITE COVER PLATE
- C GFI- GROUND FAULT TYPE
- WP- WEATHERPROOF COVER
- C - ABOVE COUNTER

ELECTRICAL SYMBOL :

- ⊖ A RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.
- ⊖ EXHAUST FAN
- ⊖ FD: FLOOR DRAIN
- ⊖ SPRINKLER
- ⊖ 10 EMERGENCY LIGHT
- ⊖ SD: SMOKE ALARM W/ STROBE LIGHT
- ⊖ CO: CARBON MONOXIDE ALARM
- ⊖ POT LIGHT

ELECTRICAL NOTES

LOCATIONS OF ELECTRICAL ITEMS ARE APPROXIMATE,
ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

WHERE PENETRATING FIRE SEPARATION FOR POT
LIGHT FIXTURES, USE FIRE RATED POT LIGHTS OR
PROVIDE FIRE RATED ENCLOSURE BEHIND LIGHT
FIXTURE TO ENSURE CONTINUITY OF FIRE SEPARATION

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SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
ELECTRICAL
LAYOUT

SCALE: 3/16" = 1'-0"
DATE: 2023.01.11
PROJECT: 22-176
DRAWING NO:

E-101

REVISION: 01

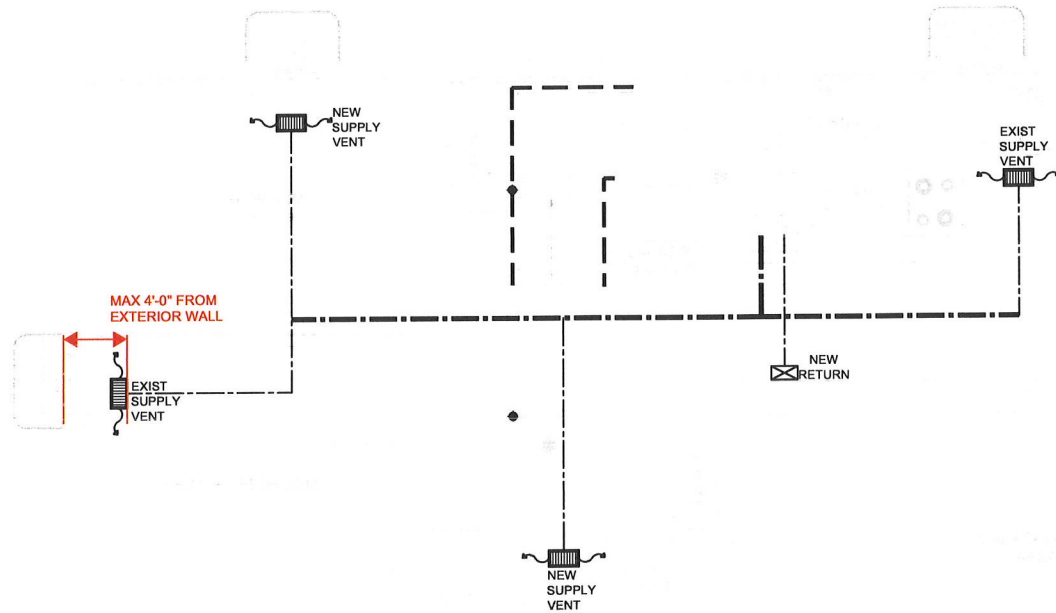
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1 BASEMENT - MECHANICAL LAYOUT
M-101 SCALE : $\frac{3}{16}" = 1'-0"$

MECHANICAL NOTES

LOCATIONS OF MECHANICAL ITEMS ARE APPROXIMATE, ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

LOCATION OF SMOKE ALARMS AS PER O.B.C.DIV B. SEC 9.10.19.3

- (1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT,
 - A. THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENT AND,
 - B. ON ANY STOREY OF A DWELLING CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED
 - i. IN EACH ROOM AND,
 - ii. IN A LOCATION BETWEEN THE SLEEPING ROOM AND THE REMINDER OF THE STOREY AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHOULD BE LOCATED IN THE HALLWAY.

- (1) PROVIDE SUPPLY AIR REGISTER (OBC DIV. B.9.33.1(1). REGISTER SHALL BE LOCATED WITHIN 4' OF OUTSIDE WALL (7.6 HRAI DIGEST REQUIREMENTS)
- (2) THE RETURN AIR GRILLE SHALL BE INSTALLED NEAR FLOOR LEVEL (7.7 HRAI DIGEST REQUIREMENTS). UNDERCUT BY MIN 1. THE DOOR TO ANY ROOM WITHOUT RETURN AIR GRILLE
- (3) CLOTHES DRYER EXHAUST SHALL COMPLY WITH OBC DIV. B.6.2.4.11 REQUIREMENTS
- (4) SEPARATE ANY INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES, ETC. BY MIN 900MM (2'11") . OBC DIV B.9.32.3.12. ENSURE ADEQUATE VENTILATION & COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTURER'S REQUIREMENTS.

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NO	DATE	REVISION / ISSUED
00	2022-12-28	SCHEMATIC LAYOUT
00	2023-01-06	PERMIT APPLICATION
01	2023-01-11	CITY COMMENTS
02	2023-02-03	CITY COMMENTS

OWNER

FARZANA BAGAM

ARCHITECT



C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com

SEAL



ALTERATIONS
(SU)

72 CIRCUS CRES,
BRAMPTON

BASEMENT -
MECHANICAL
LAYOUT

SCALE: $\frac{3}{16}" = 1'-0"$

DATE: 2023.01.11

PROJECT: 22-176

DRAWING NO:

M-101

REVISION: 01

Zoning Non-compliance Checklist

File No.
A-2023-0355

Applicant: FARZANA BAGAMV
Address: 72 CIRCUS CRES, BRAMPTON, ON L7A 0H1
Zoning: R1F-2888
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BELOW GRADE ENTRANCE	To permit a proposed exterior stairway leading to a below grade entrance in a required side yard	Whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard.	10.23.1
SETBACKS	To permit an interior side yard setback of 0.12m to a proposed exterior stairway leading to a below grade entrance	Whereas the by-law requires a minimum setback of 0.3m to an exterior stairway leading to a below grade entrance in the interior side yard provided that a continuous side yard width of no less than 1.2m (3.94 ft.) is provided on the opposite side of the dwelling.	10.23.2
BUILDING HEIGHT			
OUTSIDE STORAGE			
LOT COVERAGE			
DRIVEWAY			
FENCE HEIGHT			
ACCESSORY STRUCTURE HEIGHT			
ACCESSORY STRUCTURE SETBACK			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
GARAGE DOOR HEIGHT			

John C. Cabral
Reviewed by Zoning

2023-10-12
Date