



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2024-0097

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** RAVI KONDAPALLI
Address 50 COMMODORE DR, BRAMPTON, ON L6X 0S7

Phone # 437.995.9924 **Fax #** _____
Email cmravi24@gmail.com

2. **Name of Agent** ARSHAD SIDDIQUI
Address 202 - 3485 REBECCA ST, OAKVILLE, ON L6L 0H4

Phone # 647.741.5917 **Fax #** _____
Email arshad@c-archi.com

3. **Nature and extent of relief applied for (variances requested):**
MINOR VARIANCE REQUEST IN REQUIRED SETBACK FOR PROPOSED BELOW GRADE STAIRS AS PRIMARY MEANS OF ENTRANCE AND EXIT FOR PROPSOED SECOND UNIT

REQUIRED SETBACK IS 0.3M PER ZONING BY-LAW. PROPOSED SETBACK OF 0.18 REQUIRES MINOR VARIANCE APPROVAL OF 0.12M.

4. **Why is it not possible to comply with the provisions of the by-law?**
EXISTING SIDEYARD ENTRANCE REQUIRED BELOW GRADE STEPS DUE TO SITE CONDITION

5. **Legal Description of the subject land:**
Lot Number 234L
Plan Number/Concession Number PLAN M1751
Municipal Address 50 COMMODORE DR, BRAMPTON, ON L6X 0S7

6. **Dimension of subject land (in metric units)**
Frontage 8.40 M
Depth 27.00 M
Area 226.80 SM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 183.21 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.50 M
 Rear yard setback 7.40 M
 Side yard setback 1.27 M
 Side yard setback 0.00 M

PROPOSED

Front yard setback 3.50 M
 Rear yard setback 7.40 M
 Side yard setback 0.18 M
 Side yard setback 0.00 M

- 10. Date of Acquisition of subject land: 2007
- 11. Existing uses of subject property: RESIDENTIAL
- 12. Proposed uses of subject property: RESIDENTIAL
- 13. Existing uses of abutting properties: RESIDENTIAL
- 14. Date of construction of all buildings & structures on subject land: 2007
- 15. Length of time the existing uses of the subject property have been continued: 17 YEARS

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) NA
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) NA
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) NA
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # NA Decision NA Relief NA
File # NA Decision NA Relief NA
File # NA Decision NA Relief NA

MS Fashed

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 22ND DAY OF MARCH, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF OAKVILLE

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 24TH DAY OF
FEBRUARY, 2023

MS Fashed

Signature of Applicant or Authorized Agent

Clara Vani

Clara Vani
a Commissioner, etc.,
Province of Ontario
A Commissioner etc. the Corporation of the
City of Brampton
Expires September 20, 2028

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R2A-1301

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2024/03/01
Date

DATE RECEIVED MARCH 22, 2024

Date Application Deemed Complete by the Municipality VZ

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 50 COMMODORE DR, BRAMPTON, ON L6X 0S7

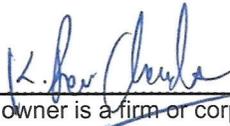
I/We, RAVI KONDAPALLI
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

ARSHAD SIDDIQUI
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 24TH day of FEBRUARY, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

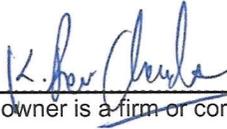
LOCATION OF THE SUBJECT LAND: 50 COMMODORE DR, BRAMPTON, ON L6X 0S7

I/We, RAVI KONDAPALLI

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 24TH day of FEBRUARY, 2024.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

PLAN OF SURVEY OF
 LOTS 229, 230, 231, 232, 233, 234, 235, 236,
 239, 240, 241, 242, 243 AND 244 AND
 PART OF LOTS 237 AND 238
 PLAN 43M-1751

CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
 0m 5m 10m 20m 30 metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

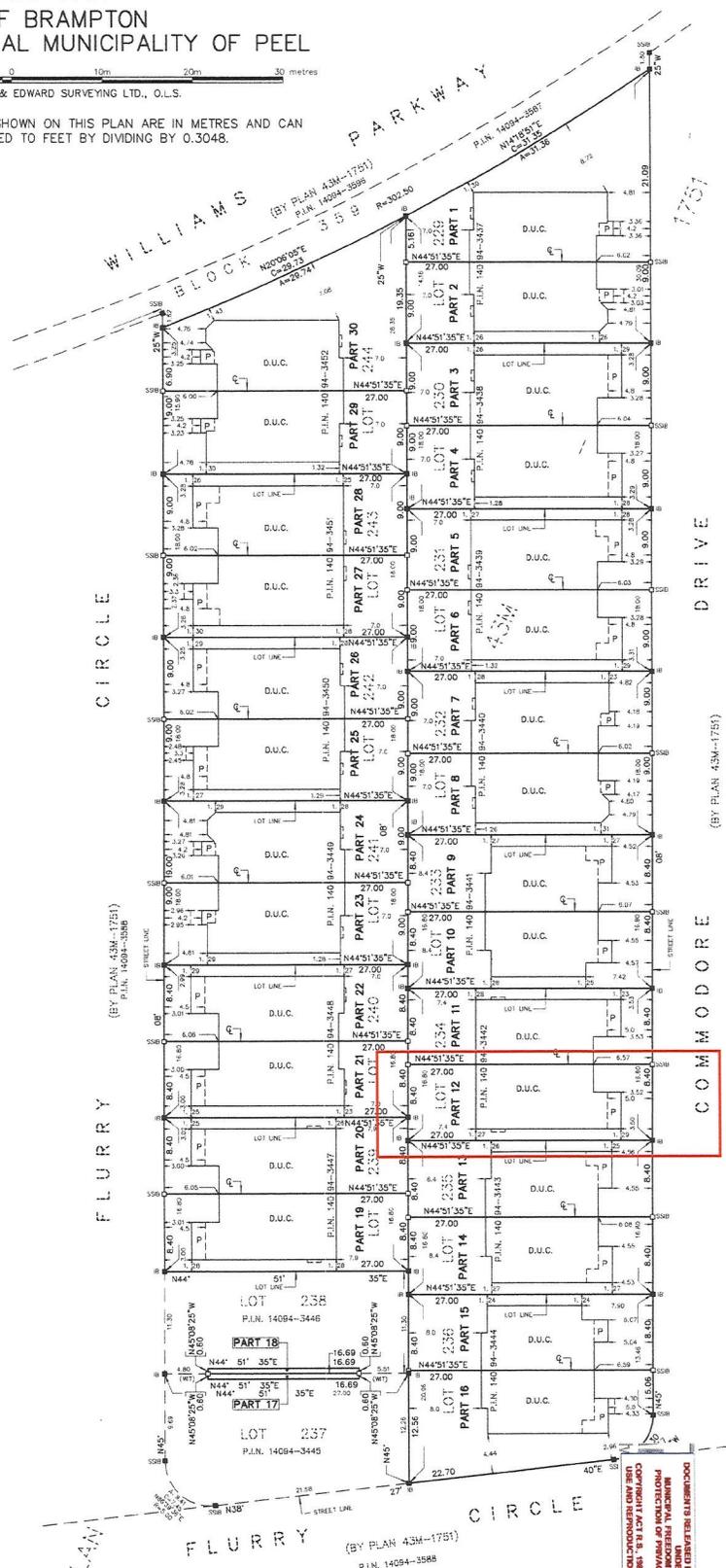
I REQUIRE THIS PLAN TO BE DEPOSITED
 UNDER THE LAND TITLES ACT.
 DATE June 11, 2008
 JOSEPH RADY-PENTEK O.L.S.

PLAN 43R-32309

RECEIVED AND DEPOSITED
 DATE June 24, 2008

Diane Nean
 ASSISTANT DEPUTY LAND REGISTRAR FOR THE
 LAND TITLES DIVISION OF PEEL (No.43)

SCHEDULE				
PART	ALL OF LOT	PART OF LOT	PLAN	PART OF P.I.N.
1 & 2	228			14094-3437
3 & 4	230			14094-3438
5 & 5	231			14094-3439
7 & 9	232			14094-3440
9 & 10	233			14094-3441
11 & 12	234			14094-3442
13 & 14	235		43M-1751	14094-3443
15 & 16	236			14094-3444
17		237		14094-3445
18		238		14094-3446
19 & 20	239			14094-3447
21 & 22	240			14094-3448
23 & 24	241			14094-3449
25 & 26	242			14094-3450
27 & 28	243			14094-3451
29 & 30	244			14094-3452



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 3RD DAY OF JUNE, 2008

DATE June 11, 2008
 JOSEPH RADY-PENTEK
 ONTARIO LAND SURVEYOR

NOTES

- DENOTES MONUMENT FOUND
 - DENOTES MONUMENT SET
 - ▣ DENOTES IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
 - D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
 - P DENOTES PORCH
 - ⊕ DENOTES CENTRELINE OF WALL
 - (WT) DENOTES WITNESS
- ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
 ALL SET MONUMENTS ARE IRON BARS.
 ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE
 NORTHEAST LIMIT OF FLURRY CIRCLE AS SHOWN ON
 PLAN 43M-1751 HAVING A BEARING OF N45°08'25\"

rpe RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 Christie Road, Suite 7
 Woodbridge, Ontario L4L 8A3
 Tel: (416) 335-5000 Fax: (416) 335-5001
 Tel: (905) 264-0881 Fax: (905) 264-2099
 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: J.R-P
 CAD FILE No.08-230R07A JOB No. 06-230

DOCUMENTS RELATED HERETO ARE AVAILABLE TO ANY REQUESTOR
 UNDER THE ACCESS TO INFORMATION ACT AND THE PROTECTION OF
 PERSONAL INFORMATION ACT (R.S.O. 1990, c.13 & R.S.O. 1990, c.66)
 AND THE PROVISIONS OF THESE DOCUMENTS

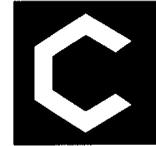
ALTERATIONS, SECOND UNIT

50 COMMODORE DR, BRAMPTON

RAVI KONDAPALLI

ISSUED FOR: BUILDING PERMIT APPLICATION

ISSUE DATE: FEBRUARY 14, 2024



C-Architecture Ltd

202 3486 RIVERCOCK ST. OAKVILLE
ON L6L 0H4
905.847.7177 | WWW.C-ARCHI.COM

Project #: 24-514

PROJECT TEAM:

ARCHITECT

C-ARCHITECTURE LTD.
M. ARSHAD SIDDIQUI, OAA
C: 647.741.5917
E: arshad@c-archi.com

NAME OF PROJECT		ALTERATIONS, SECOND UNIT			
LOCATION		50 COMMODORE DR, BRAMPTON			
ITEM	ONTARIO BUILDING CODE DATA MATRIX	OBC REFERENCE			
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 9 <input type="checkbox"/> ADDITION 1.1.1 TO 11.4 2.1.1 <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION 9.10.1.3				
2	MAJOR OCCUPANCY(S) C	9.10.2			
3	BUILDING AREA (m ²) EXISTING 139.20 NEW 0 TOTAL 139.20	1.1.3.2			
4	GROSS AREA (m ²) EXISTING 183.21 NEW 82.71 TOTAL 265.92	1.1.3.2			
4a	AREA OF WORK (m ²) 82.71				
5	NUMBER OF STOREYS ABOVE GRADE: 2 BELOW GRADE: 1	2.1.1.3			
6	NUMBER OF STREET/ACCESS ROUTES 1	9.10.19			
7	BUILDING CLASSIFICATION	9.10.4			
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	9.10.8			
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.17.2			
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
11	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	N/A			
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	N/A			
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	9.10.6			
14	ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH				
14	MEZZANINE(S) AREA (M ²) N/A	9.10.4.1			
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING BASEMENT: OCCUPANCY _____ LOAD _____ PERSON 1 ST. FLOOR OCCUPANCY _____ LOAD _____ PERSON 2 ST. FLOOR OCCUPANCY _____ LOAD _____ PERSON 3 ST. FLOOR OCCUPANCY _____ LOAD _____ PERSON	9.9.1.3			
16	BARRIER-FREE DESIGN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) N/A	9.5.2			
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.1.3			
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)	LISTED DESIGN NO. OR DESCRIPTION (SG-2)	9.10.8	
		FLOORS N/A HOURS		9.10.9	
		ROOF _____ HOURS			
		MEZZANINE _____ HOURS			
		FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SG-2)		
		FLOORS N/A HOURS			
	ROOF _____ HOURS				
	MEZZANINE _____ HOURS				

LIST OF ARCHITECTURAL DRAWINGS

- A-000 COVER SHEET & OBC MATRIX
- A-001 SITE PLAN
- A-002 GENERAL NOTES
- A-101 BASEMENT - EXISTING LAYOUT
- A-102 BASEMENT - PROPOSED LAYOUT
- A-103 MAIN FLOOR - EXISTING LAYOUT
- A-104 SECOND FLOOR - EXISTING LAYOUT
- A-201 SOUTH ELEVATION
- A-202 WEST ELEVATION
- A-301 EGRESS WINDOW DETAIL
- A-302 TYPICAL DETAILS
- A-303 FIRE BLOCKING DETAILS
- A-304 WALKOUT DETAILS
- A-305 WALKOUT DETAILS
- E-101 BASEMENT - ELECTRICAL LAYOUT
- M-101 BASEMENT - MECHANICAL LAYOUT

NOTES:

- PROVIDE INTERCONNECTED SMOKE ALARMS IN BOTH DWELLING UNITS. (THROUGHOUT THE ENTIRE BUILDING)
- HORIZONTAL FIRE SEPARATION BETWEEN TWO DWELLING UNITS SHALL COMPLY WITH O.B.C. REQUIREMENTS REFER SECTION 11.5.1.1.C (C152) WHICH PRESCRIBES IT TO BE 15 MINUTES

FIRE SEPARATION O.B.C 9.10.9.14
9.10.8.1
9.10.8.3
9.10.9.15

C152 9.10.9.14.(1) AND (3); 9.10.9.15.(1) (B) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE,

(I) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS IN CONFORMANCE WITH SUBSECTION 9.10.19., AND

(II) SMOKE ALARMS ARE INTERCONNECTED.

(C) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, THE FIRE-RESISTANCE RATING OF THE FIRE SEPARATION IS WAIVED WHERE BUILDING IS SPRINKLERED.

C147 9.10.8.1.; 9.10.8.3.; 9.10.8.8. (B) IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE,

(I) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREAS IN CONFORMANCE WITH SUBSECTION 9.10.19., AND

(II) SMOKE ALARMS ARE INTERCONNECTED.

NUMBER OF EXITS: (O.B.C 9.9.8)

C136 9.9.9. IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, EXIT REQUIREMENTS ARE ACCEPTABLE IF AT LEAST ONE OF THE FOLLOWING CONDITIONS EXISTS:

BEDROOM WINDOWS: (O.B.C 9.9.10.1)

(A) A DOOR, INCLUDING A SLIDING DOOR, THAT OPENS DIRECTLY TO THE EXTERIOR FROM A DWELLING UNIT, SERVES ONLY THAT DWELLING UNIT AND HAS REASONABLE ACCESS TO GROUND LEVEL, AND THE DWELLING UNITS ARE EQUIPPED WITH SMOKE ALARMS INSTALLED IN CONFORMANCE WITH SUBSECTION 9.10.19.,

C137 9.9.10.1. IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING UNITS, EXISTING ACCEPTABLE, WHERE THERE IS DIRECT ACCESS TO THE EXTERIOR.

C108 9.7 EXISTING ACCEPTABLE.

WINDOW SIZES: (O.B.C 9.7)



Div. B. 9.9.10.19
9.9.10.1
9.33.4.2

Div. B. 9.8.C 11.5.1.1
C98

Div. B. 9.8.C 9.33.1.1.(1)

Div. B. 9.8.C 7.6.5.1.(1)

Div. B. 9.8.C 9.10.16.1
9.8.3.1.(1)

C107 9.7.2.3. (A) WHERE WINDOWS ARE NOT USED AS A MEANS OF EGRESS AND WHERE THEY DO NOT CONFLICT WITH VENTILATION REQUIREMENTS, THE MINIMUM GLASS AREAS AS SHOWN IN TABLE 9.7.2.3. MAY BE REDUCED BY 50%

EGRESS WINDOW TO BE OPERABLE FORM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 SM / 3.8 SFT WITH NO DIMENSION LESS THAN 1'-3" (380MM)

ALL WORK SHOULD COMPLY WITH ONTARIO BUILDING CODE 2012. AN EGRESS WINDOW FROM THE BASEMENT FLOOR AREA WITH A MINIMUM OPEN AREA 3.8 FT² AND NO DIMENSION LESS THAN 15", HARDWIRED AND INTERCONNECTED SMOKE ALARMS IN EACH BEDROOM, AND A HARDWIRED AND INTERCONNECTED CO DETECTOR. MINIMUM CEILING HEIGHTS FOR BASEMENT SPACES 5 YEARS OR GREATER IN AGE IS 6'-9" OVER THE BASEMENT AREA INCLUDING UNDER BEAMS AND DUCTS.

SUPPLY AIR OUTLETS ARE REQUIRED IN EACH FINISHED ROOM OR SPACE. PROVIDE AT LEAST ONE RETURN OUTLET PER FLOOR LEVEL. UNDERCUT DOORS TO ROOMS WHERE RETURN AIR IS NOT PROVIDED. LOW WALL SUPPLY AND RETURN OUTLETS ARE RECOMMENDED.

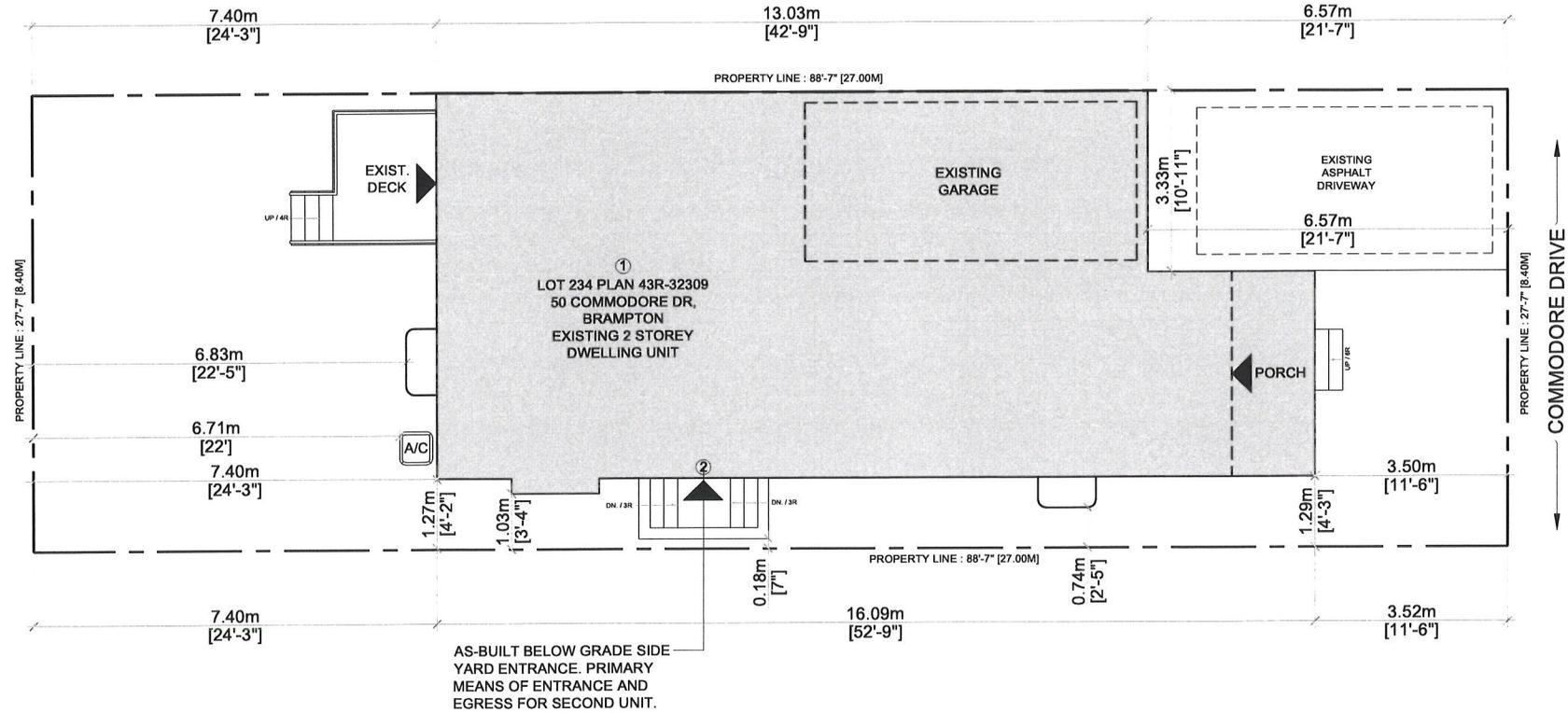
EACH NEW PLUMBING FIXTURE REQUIRES A MIXING VALVE TO ENSURE THAT THE MAXIMUM TEMPERATURE OF HOT WATER SUPPLIED BY FITTINGS TO THE FIXTURE DOES NOT EXCEED 49°C. ALTERNATIVELY PROVIDE A MIXING VALVE ON THE HOT WATER HEATER TO ENSURE THAT THE WATER SUPPLIED TO ALL FIXTURES DOES NOT EXCEED 49°C.

INSULATION IS REQUIRED IN THE FLOOR JOISTS ABOVE WALLS SEPARATING FINISHED AND UNFINISHED PORTIONS. ENSURE THE DOOR TO THE UTILITY ROOM IS MINIMUM 32" WIDE.

RELEASED FOR BUILDING PERMIT
 CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT / P.E.
 IF THIS SHEET IS NOT 11" x 17" IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

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 THE COPYRIGHTS TO ALL DESIGN AND DRAWINGS ARE THE PROPERTY OF ARCHITECT. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS CONSIDERED.

NO	DATE	REVISION / ISSUED
00	2024-01-28	SCHEMATIC DESIGN
00	2024-02-01	PERMIT APPLICATION



AS-BUILT BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

1 SITE PLAN
 A-001 SCALE : 1/8" = 1'-0"

- LEGEND**
- PROPERTY LINE
 - ▲ ENTRANCE & EGRESS

AREA STATISTICS

MAIN FLOOR AREA	= 890.01 SFT / 82.71 SM
SECOND FLOOR AREA	= 1081.38 SFT / 100.5 SM
TOTAL ABOVE GRADE GFA	= 1971.33 SFT / 183.21 SM
PORCH	= 61.86 SFT / 5.74 SM
GARAGE	= 2223.79 SFT / 56.49 SM
BASEMENT	
- NEW BASEMENT APARTMENT GFA	= 761.27 SFT / 70.75 SM
- FURNACE AREA	= 128.73 SFT / 11.96 SM
- PRINCIPAL RESIDENCE AREA	= 00.00 SFT / 00.0 SM
TOTAL BASEMENT GFA	= 890.01 SFT / 82.71 SM
BASEMENT APARTMENTS GFA IS	28.11 % OF TOTAL PRINCIPAL RESIDENCE GFA
TOTAL LOT AREA	: 2441.49 SFT / 226.90 SM

- SCOPE OF WORK**
- BASEMENT APARTMENT
 - AS-BUILT BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.

PARKING SPACES PROVIDED

TWO PARKING SPACES PROVIDED (ONE OUTSIDE & ONE INSIDE THE GARAGE)

SITE LOCATION



ALTERATIONS (SU)

50 COMMODORE DRIVE, BRAMPTON

SITE PLAN

SCALE: 1/8" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-001

REVISION: 00

OWNER

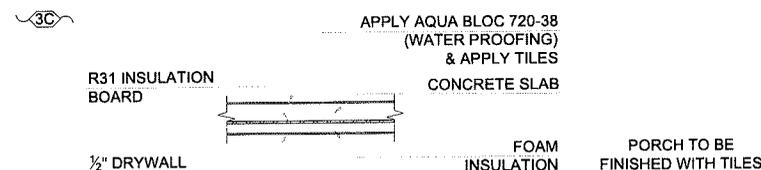
RAVI KONDAPALLI
 ARCHITECT

C-Architecture Ltd
 202 - 3485 REBECCA ST, OAKVILLE
 ON L6L 0H4
 905.847.7177, e: info@c-archi.com
 SEAL



SPECIFICATION:

- ① FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 4 STUDS @ 16" O.C., R12 INSULATION, 6 MIL POLYETHYLENE V.B., 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED.
- ①A FOUNDATION WALL INSULATION
EXISTING FOUNDATION WALL, MOISTURE BARRIER, 2 BY 6 STUDS WOODEN OR STEEL @ 16" O.C OR 24" O.C R22 INSULATION, 6 MIL POLYETHYLENE FOR WOOD STUDS VAPOUR BARRIER, 1/2" OR 5/8" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- ② INTERNAL WALLS
1/2" DRY WALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH JOINTS TAPED AND SEALED. **SB-3: W1** (WATER RESISTANT GWB ON BATHROOMS' WALLS).
- ②A INTERNAL WALLS
1/2" TYPE X DRYWALL ON BOTH SIDES OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W1b. FIRE RESISTANCE : 45 MIN, STC: 34**
- ②B INTERNAL WALLS
TWO 5/8" TYPE X DRYWALL ON ONE SIDE AND ONE 5/8" TYPE X DRYWALL ON RESILIENT CHANNEL ON THE OTHER SIDE OF NEW OR EXISTING FRAMED WALL CONSISTING OF 2 BY 4 WOOD STUDS @ 16" O.C. WITH ABSORPTIVE MATERIAL (INSULATION). **SB-3: W4a. FIRE RESISTANCE : 1 HOUR, STC: 51**
- ③ CEILING
1/2" DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **SB-3: F3e**
- ③A CEILING
5/8" TYPE X DRY WALL CEILING(WITH SONOPAN) ATTACHED TO RESILIENT CHANNELS WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY, TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. **FIRE RESISTANCE : 30 MIN WITHOUT INSULATION SB-3: F10c & 45 Min WITH INSULATION SB-3: F10c STC: 51**
- ③B CEILING
5/8" TYPE X DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE ABSORPTIVE MATERIAL IN CAVITY. **SB-3: F3b. FIRE RESISTANCE : 31 MIN, STC : 30.**
- ③C CEILING (FOR COLD ROOMS TO BE FINISHED)
DRY WALL CEILING ATTACHED TO BOTTOM OF JOISTS OF FLOOR ASSEMBLY ABOVE. 1/2" REGULAR GYPSUM BOARD WITH ABSORPTIVE MATERIAL IN CAVITY AND R31 INSULATION.
- ④ 20 MIN. RATED DOOR FOR FURNACE ROOM AND BETWEEN BASEMENT APARTMENT AND BASEMENT AREA WHICH IS PART OF PRINCIPAL RESIDENCE
- ⑤ EXISTING DUCT WORK LOCATED IN THE CEILING SHALL BE RELOCATED SO THAT THE DIRECTION OF THE HEAT FLOW IS TOWARDS THE FLOOR
- ⑥ MECHANICAL VENTILATION
5 L/S EXHAUST FANS IN KITCHEN AND WASHROOM AND 37.5 L/S FOR PRINCIPAL EXHAUST
- ⑦ INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT THROUGH ENTIRE HOUSE ALARM - AS PER OBC 9.10.19.
- ⑧ PERMANENTLY CONNECTED TO ELECTRICAL CIRCUIT CARBON MONOXIDE DETECTOR AS PER OBC 2012 B 9.33.4.3.
- ⑨ FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY
- ⑩ SELF CONTAINED EMERGENCY LIGHTING UNIT CONFORMING TO CSA C22.2 NO.141, "EMERGENCY LIGHTING EQUIPMENT" - AS PER OBC 9.9.12



SCHEDULES

ROOM FINISH SCHEDULE

RM. NO	ROOM NAME	FLOOR		BASE		WALLS		CEILING		HEIGHT	REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
BASEMENT FLOOR											
1	LIVING / DINING	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
2	KITCHEN	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
3	BEDROOM	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-0"(6'-7")	
4	CLOSET	WOOD	STAIN	VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	
5	BATH	CERAMIC		VINYL		DRYWALL	PAINT	DRYWALL	PAINT	7'-6"	

DOOR SCHEDULE

- ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE OR SLIDING DOORS. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80".
- ALL FIRE RATED DOORS SHALL HAVE SELF-CLOSING DEVICES

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND AHJ BY-LAWS AND STANDARDS
- ALL DIMENSIONS AND LOCATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION

- 3 OR 4 WAY SWITCH INSTALL AT 3'-3" AFF
- E EXISTING 3 DENOTES 3-WAY SWITCH
- N NEW SWITCH COVER PLATE 4 DENOTES 4-WAY SWITCH SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS
- 15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE
- GF-I GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER
- RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.
- EXHAUST FAN
- FD: FLOOR DRAIN
- SPRINKLER
- EMERGENCY LIGHT
- SD: SMOKE ALARM W/ STROBE LIGHT
- CO: CARBON MONOXIDE ALARM
- LIGHT
- POT LIGHT
- INSTALL DUCT TYPE SMOKE DETECTOR IN FURNACE.
- NEW CEILING TO BE 45 MIN. FIRE RATED WITH ABSORPTIVE MATERIAL IN CAVITY. RESILIENT METAL CHANNELS @ 610MM O.C. WITH 2 LAYERS OF 12.7 MM TYPE X GYP. BD. ON CEILING SIDE AS PER "TABLE 2, FLOORS & CEILINGS F9h OF SB-3"
- 2/ 2x10 SPR WOOD LINTEL.
- EGRESS WINDOW: TO BE OPERABLE FROM INSIDE WITHOUT USE OF ANY TOOLS UNOBSERVED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M²/3.76 Sq.Ft WITH NO DIMENSION LESS THAN 1'-3" 380MM)
- BULKHEAD / STAIR CEILING 45 MIN. FIRE SEPARATION, 2 LAYERS 1/2" TYPE X GYPSUM (NOTE: NO OPENINGS PERMITTED THIS MEMBRANE ONLY FIRE SEPARATION.

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00	2024-02-01	PERMIT APPLICATION

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ARCHITECT



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SEAL



ALTERATIONS (SU)

50 COMMODORE DRIVE, BRAMPTON

GENERAL NOTES

SCALE: N.T.S
DATE: 2024.02.01
PROJECT: 24-514
DRAWING NO:

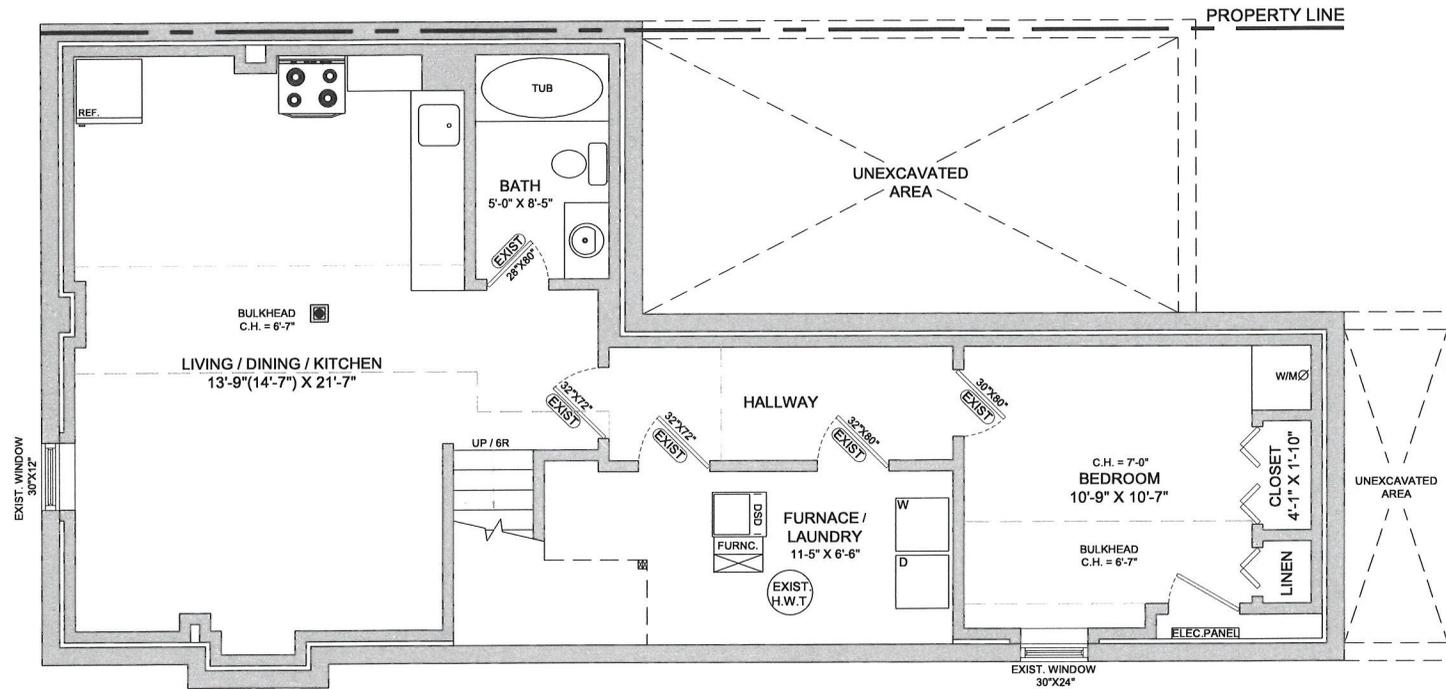
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1 BASEMENT - EXISTING LAYOUT
 A-101 SCALE: 3/16" = 1'-0"

LEGEND :

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-303 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

BASEMENT - EXISTING LAYOUT

BASEMENT AREA = 890.01 SFT / 82.71 SM
 CEILING HEIGHT = 7'-6"

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SEAL



ALTERATIONS (SU)

50 COMMODORE DRIVE, BRAMPTON

BASEMENT - EXISTING LAYOUT

SCALE: 3/16" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

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SEAL



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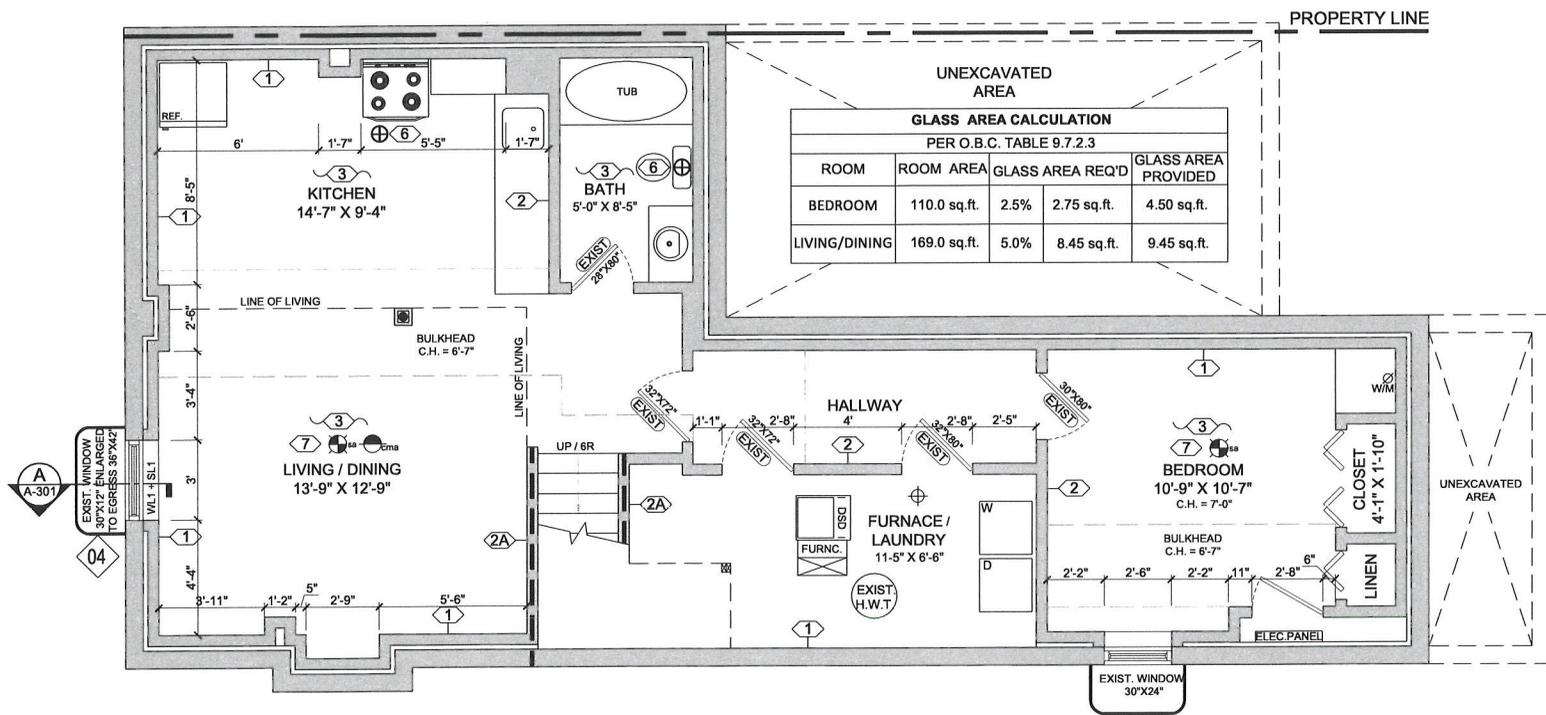
50 COMMODORE
 DRIVE, BRAMPTON

BASEMENT -
 PROPOSED
 LAYOUT

SCALE: 3/16"=1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-102

REVISION: 00



UNEXCAVATED AREA

GLASS AREA CALCULATION				
PER O.B.C. TABLE 9.7.2.3				
ROOM	ROOM AREA	GLASS AREA REQ'D	GLASS AREA PROVIDED	
BEDROOM	110.0 sq.ft.	2.5%	2.75 sq.ft.	4.50 sq.ft.
LIVING/DINING	169.0 sq.ft.	5.0%	8.45 sq.ft.	9.45 sq.ft.

1 BASEMENT - PROPOSED LAYOUT
 A-102 SCALE: 3/16" = 1'-0"

- LEGEND :**
- EXHAUST FAN
 - EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS. REFER TO A-303 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING STEEL & WOODEN POSTS
 - HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
 - CARBON MONOXIDE ALARM

BASEMENT - PROPOSED LAYOUT

BASEMENT AREA PART OF PRINCIPAL RESIDENCE = 00.00 SFT / 00.00 SM

NEW BASEMENT APARTMENT GFA = 761.27 SFT / 70.75 SM

FURNACE AREA = 128.73 SFT / 11.96 SM

TOTAL BASEMENT GFA = 890.01 SFT / 82.71 SM

CEILING HEIGHT = 7'-6"

04 EGRESS WINDOW

TO BE OPERABLE FORM INSIDE WITHOUT USE OF ANY TOOLS UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 SM / 3.8 SFT WITH NO DIMENSION LESS THAN 1'-3" 380MM)

ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE O.REG. 332/12 AS MENTIONED

DOOR SCHEDULE

(EXIST) EXISTING DOOR & WINDOW TO REMAIN.REPAINT IF REQUIRED

SL1: STEEL LINTEL 31/2" X 31/2" X 3/8"
 WL1: WOOD LINTEL 2 - 2 X 8 SPF NO.1 OR 2

RELEASED FOR BUILDING PERMIT
 - CONSTRUCTION SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES (IF ANY) TO THE CONSULTANTS BEFORE CONSTRUCTION.
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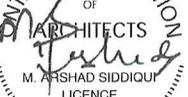
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**ALTERATIONS
 (SU)**

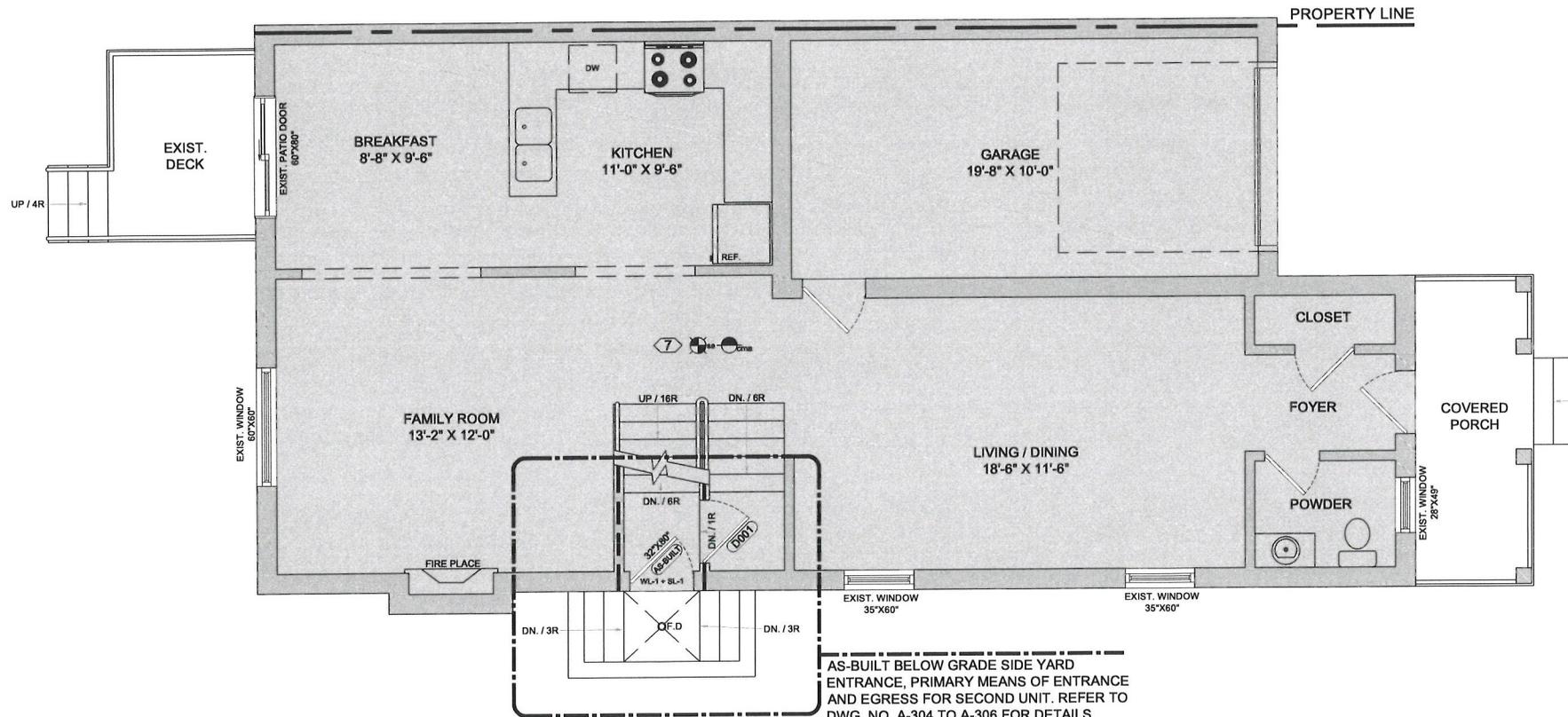
50 COMMODORE
 DRIVE, BRAMPTON

**MAIN FLOOR -
 EXISTING LAYOUT**

SCALE: 3/16" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-103

REVISION: 00



AS-BUILT BELOW GRADE SIDE YARD
 ENTRANCE, PRIMARY MEANS OF ENTRANCE
 AND EGRESS FOR SECOND UNIT. REFER TO
 DWG. NO. A-304 TO A-306 FOR DETAILS.

1 MAIN FLOOR - EXISTING LAYOUT
 A-103 SCALE: 3/16" = 1'-0"

- LEGEND :**
-  EXHAUST FAN
 -  EXISTING WALLS
 -  NEW WALLS
 -  FIRE RATED WALLS. REFER TO A-303 FOR DETAILS
 -  EXISTING TO BE REMOVED
 -  EXISTING STEEL & WOODEN POSTS
 -  HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
 -  CARBON MONOXIDE ALARM

MAIN FLOOR - EXISTING LAYOUT

MAIN FLOOR AREA = 890.01 SFT / 82.71 SM
 GARAGE AREA = 2223.79 SFT / 56.49 SM
 TOTAL MAIN FLOOR AREA = 1497.81 SFT / 139.20 SM
 CEILING HEIGHT = 9'-0"

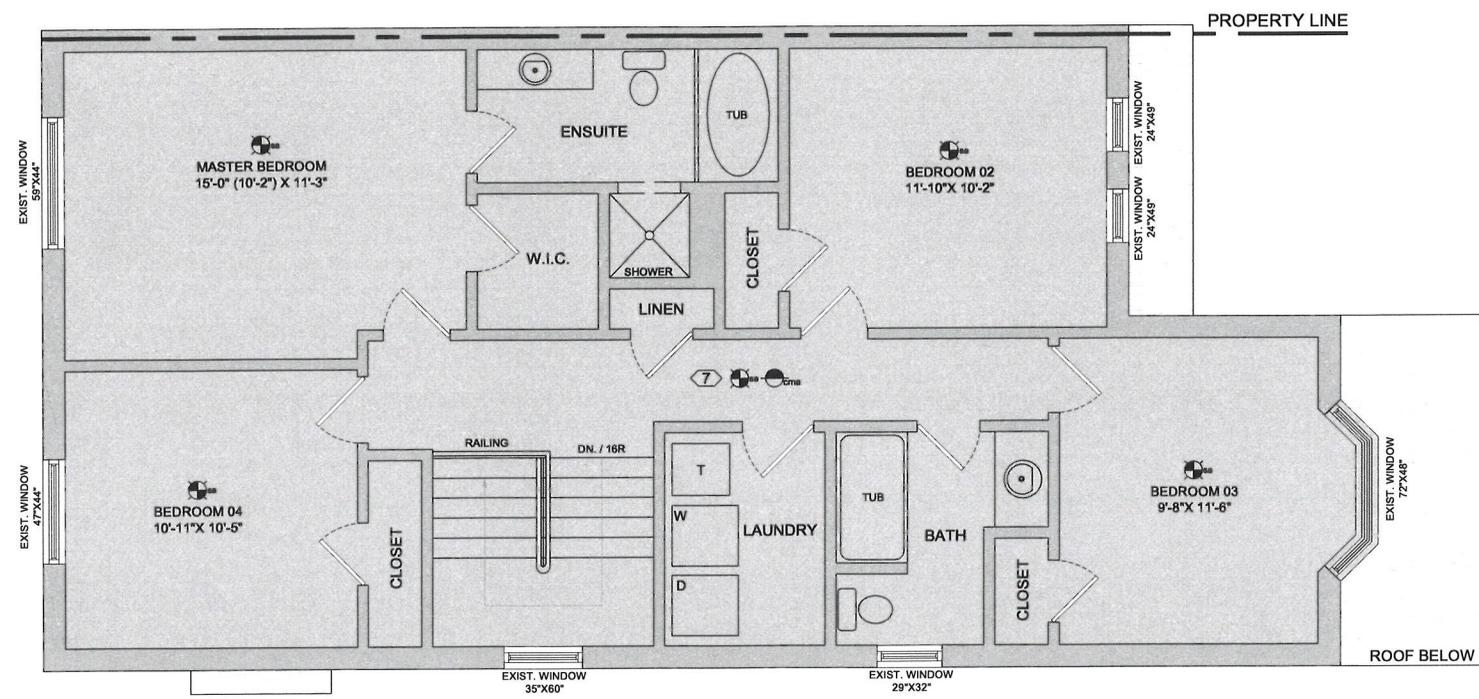
DOOR SCHEDULE

(D001) 2'-8" X 6'-8" 20 MIN. FIRE RATED DOOR

RELEASED FOR BUILDING PERMIT
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ALTERATIONS (SU)
 50 COMMODORE DRIVE, BRAMPTON

SECOND FLOOR - EXISTING LAYOUT
 SCALE: 3/16" = 1'-0"
 DATE: 2024.02.01
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 DRAWING NO:

A-104

REVISION: 00

1 SECOND FLOOR - EXISTING LAYOUT
 A-104 SCALE: 3/16" = 1'-0"

- LEGEND :**
- EXHAUST FAN
 - EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS. REFER TO A-303 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING STEEL & WOODEN POSTS
 - HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
 - CARBON MONOXIDE ALARM

SECOND FLOOR - EXISTING LAYOUT
 SECOND FLOOR AREA = 1081.38 SFT / 100.5 SM
 CEILING HEIGHT = 8'-0"

GLAZED OPENINGS:

WALL AREA: = 966.81 SFT / 89.85 M²
 LIMITING DISTANCE: 1.27 M
 WINDOW AREA PROVIDED: 41.26 SFT / 3.83 M² (4.26%)
 WINDOW AREA ALLOWED: 7%

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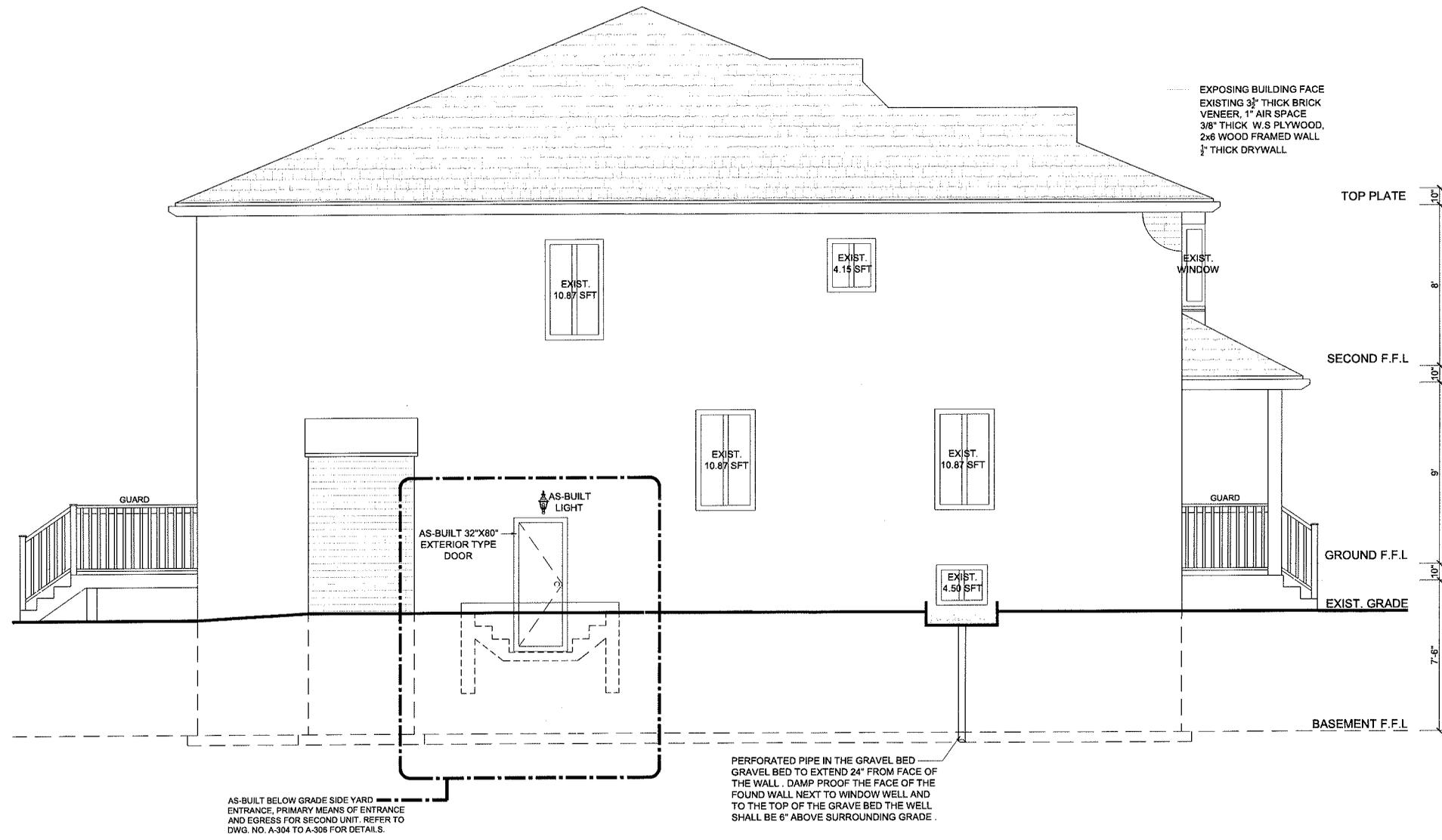
50 COMMODORE DRIVE, BRAMPTON

SOUTH ELEVATION

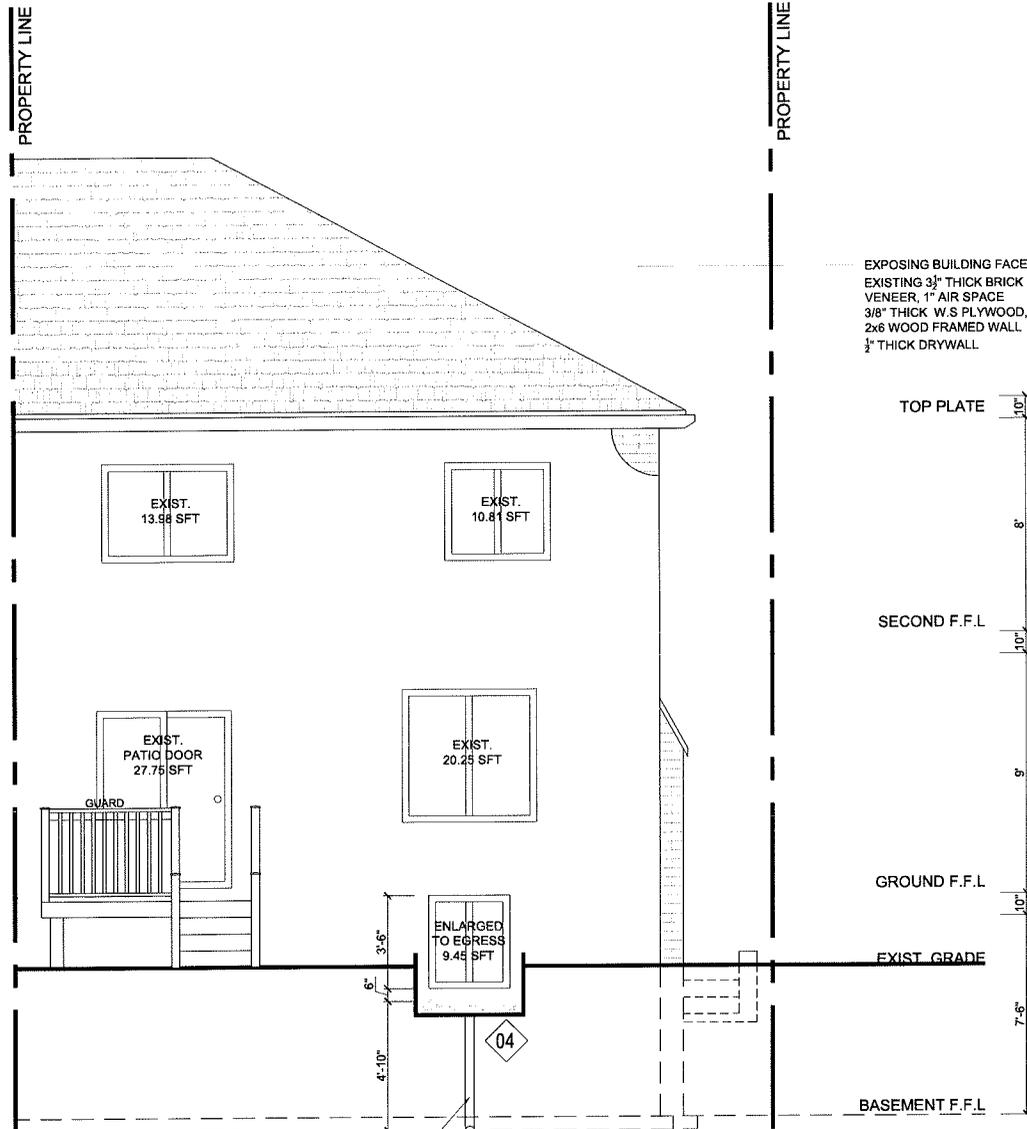
SCALE: 3/16" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-201

REVISION: 00



1 SOUTH ELEVATION
 A-201 SCALE: 3/16" = 1'-0"



EXPOSING BUILDING FACE
 EXISTING 3" THICK BRICK
 VENEER, 1" AIR SPACE
 3/8" THICK W.S PLYWOOD,
 2x6 WOOD FRAMED WALL
 1/2" THICK DRYWALL

PERFORATED PIPE IN THE GRAVEL BED
 GRAVEL BED TO EXTEND 24" FROM FACE OF
 THE WALL. DAMP PROOF THE FACE OF THE
 FOUND WALL NEXT TO WINDOW WELL AND
 TO THE TOP OF THE GRAVE BED THE WELL
 SHALL BE 6" ABOVE SURROUNDING GRADE.

RELEASED FOR BUILDING PERMIT
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 REPORT DISCREPANCIES OF ANY TO THE CONSULTANTS
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ALTERATIONS
 (SU)

50 COMMODORE
 DRIVE, BRAMPTON

EAST ELEVATION

SCALE: 3/16" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-202

REVISION: 00

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200MM OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPA @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

1. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8" W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
 SL1: STEEL LINTEL 3 1/2" X 3 1/2" X 3/8"
 WL1: WOOD LINTEL 2 - 2 X 6 SPP NO.1 OR 2

MIN. CLEAR OPENING AREA OF 0.35 SM (3.8 SFT)

RIGIDLY FASTEN WINDOW

NO DIMENSION LESS THAN 380MM (15") CEILING

MIN. CLEAR OPENING AREA OF 0.35 SM (3.8 SFT)

WINDOW IN OPEN POSITION

NO DIMENSION LESS THAN 380MM (15")

NO LIMIT

FLOOR

FIN. GRADE

WINDOW WELL. DRAIN TO WEEPING TILE

MIN. 48"

RELEASED FOR BUILDING PERMIT
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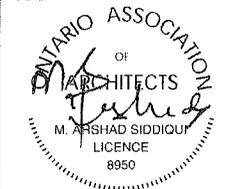
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 ON L6L 0H4
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SEAL



ALTERATIONS (SU)

50 COMMODORE DRIVE, BRAMPTON

EGRESS WINDOW DETAIL

SCALE: 3/8" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-301

REVISION: 00

1
 A-301
EGRESS WINDOW DETAIL
 SCALE: 3/8" = 1'-0"

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 LOCATIONS (AS APPLICABLE) TO THE CONSULTANTS
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SEAL



ALTERATIONS
(SU)

50 COMMODORE
DRIVE, BRAMPTON

TYPICAL DETAILS

SCALE: 3/8" = 1'-0"

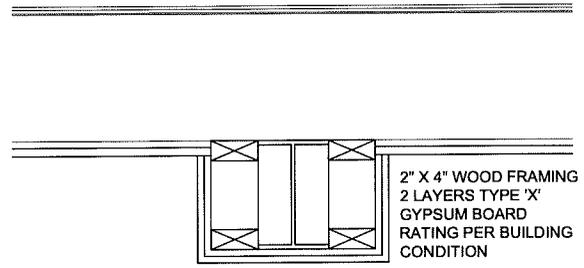
DATE: 2024.02.01

PROJECT: 24-514

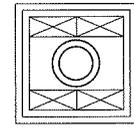
DRAWING NO:

A-302

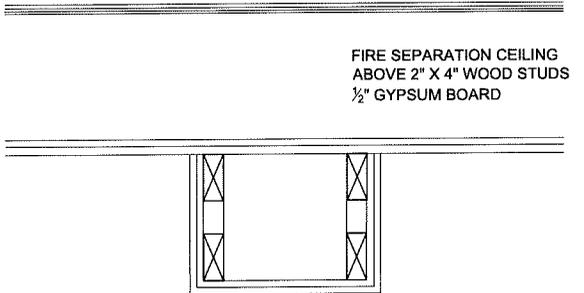
REVISION: 00



1 STEEL BEAM SEPERATION
A-302

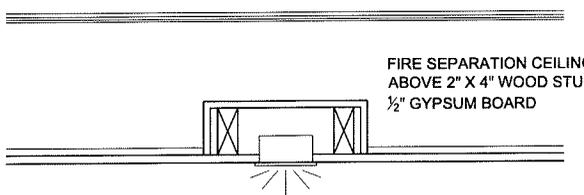


2" X 4" WOOD FRAMING
2 LAYERS TYPE 'X'
GYPSUM BOARD
RATING PER BUILDING
CONDITION

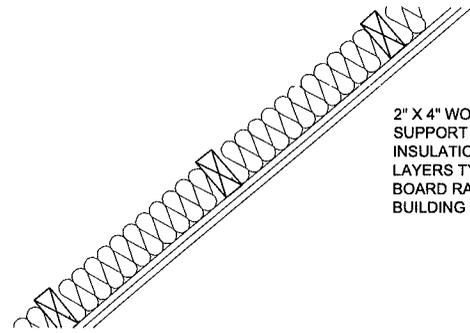


4 STEEL COLUMN SEPERATION
A-302

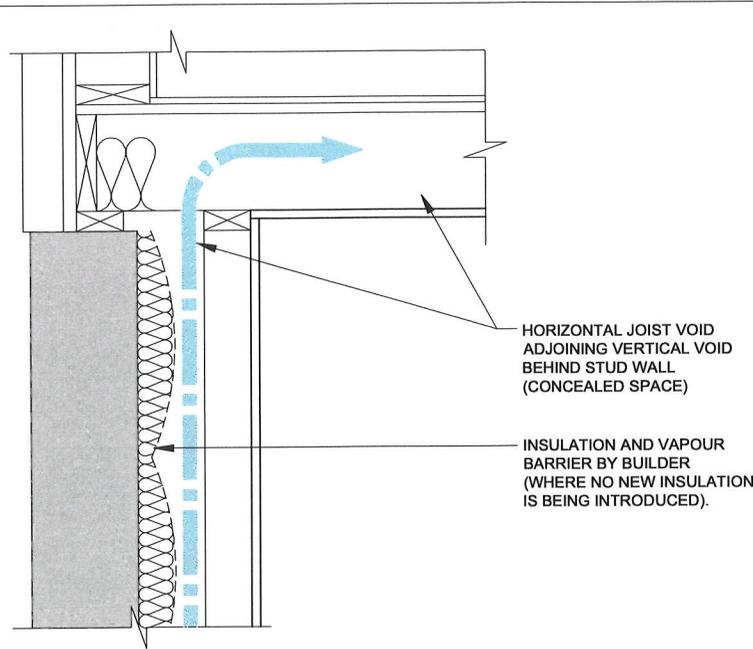
2 BULKHEAD BELOW FIRE SEPERATION
A-302



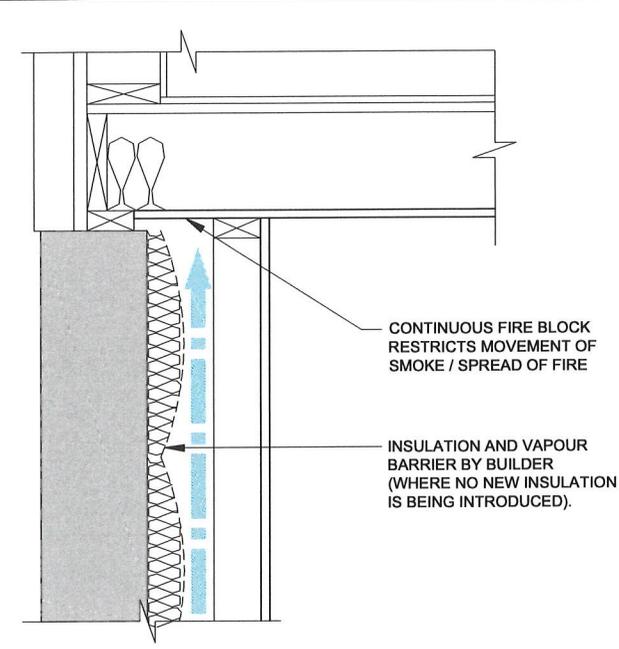
3 POT LIGHT FIRE SEPERATION
A-302



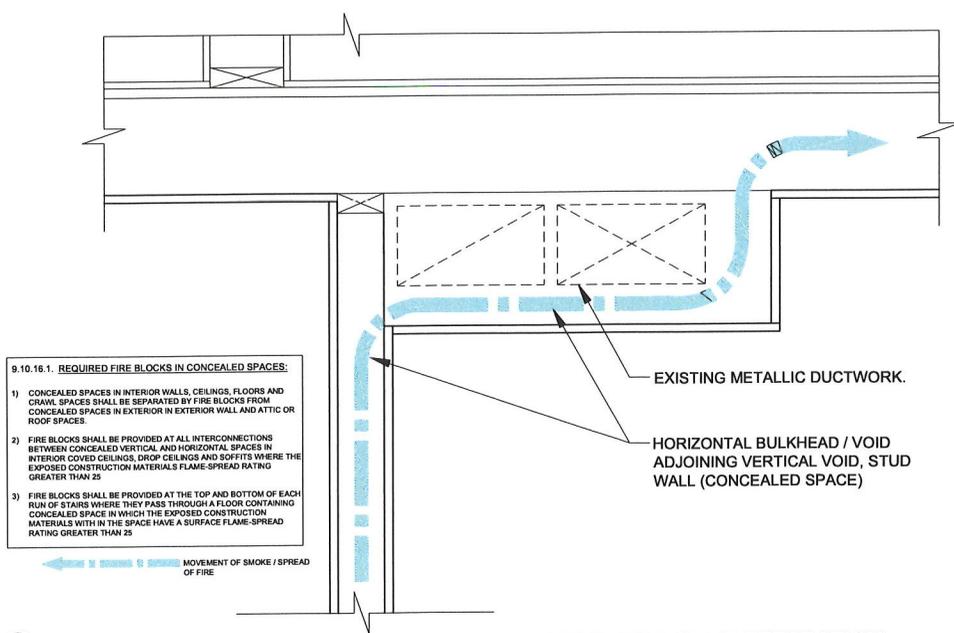
5 UNDERSIDE OF STAIR FIRE SEPERATION
A-302



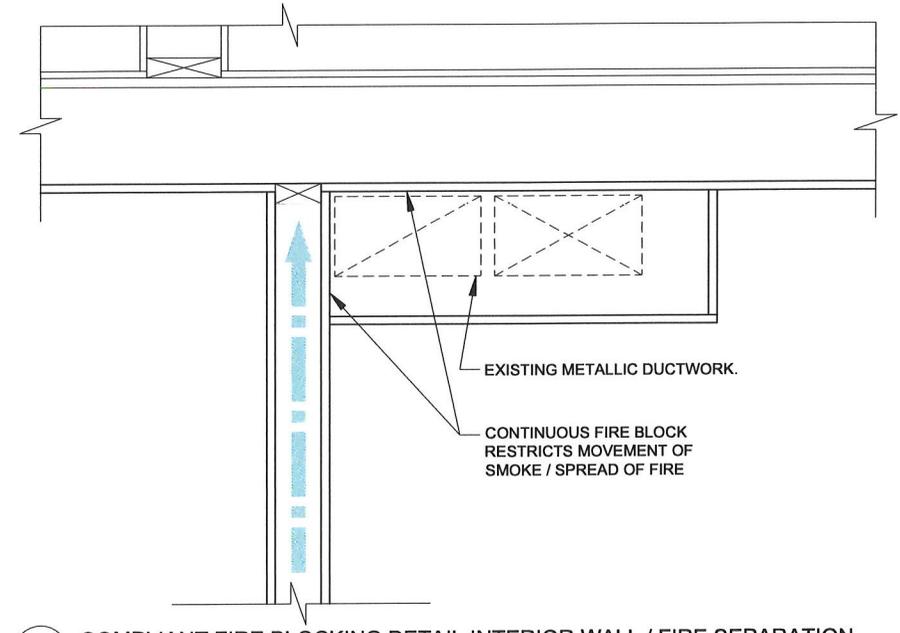
4 NON COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-303



2 COMPLIANT FIRE BLOCKING DETAIL PERIMETER WALL CONDITION
A-303



3 NON COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-303



1 COMPLIANT FIRE BLOCKING DETAIL INTERIOR WALL / FIRE SEPARATION
A-303

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ONTARIO ASSOCIATION
 OF
 ARCHITECTS
 M. ARSHAD SIDDIQUI
 LICENCE
 8950

ALTERATIONS
 (SU)

50 COMMODORE
 DRIVE, BRAMPTON

FIRE BLOCKING
 DETAILS

SCALE: 3/8" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-303

REVISION: 00

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 LICENCE
 8950

ALTERATIONS
 (SU)

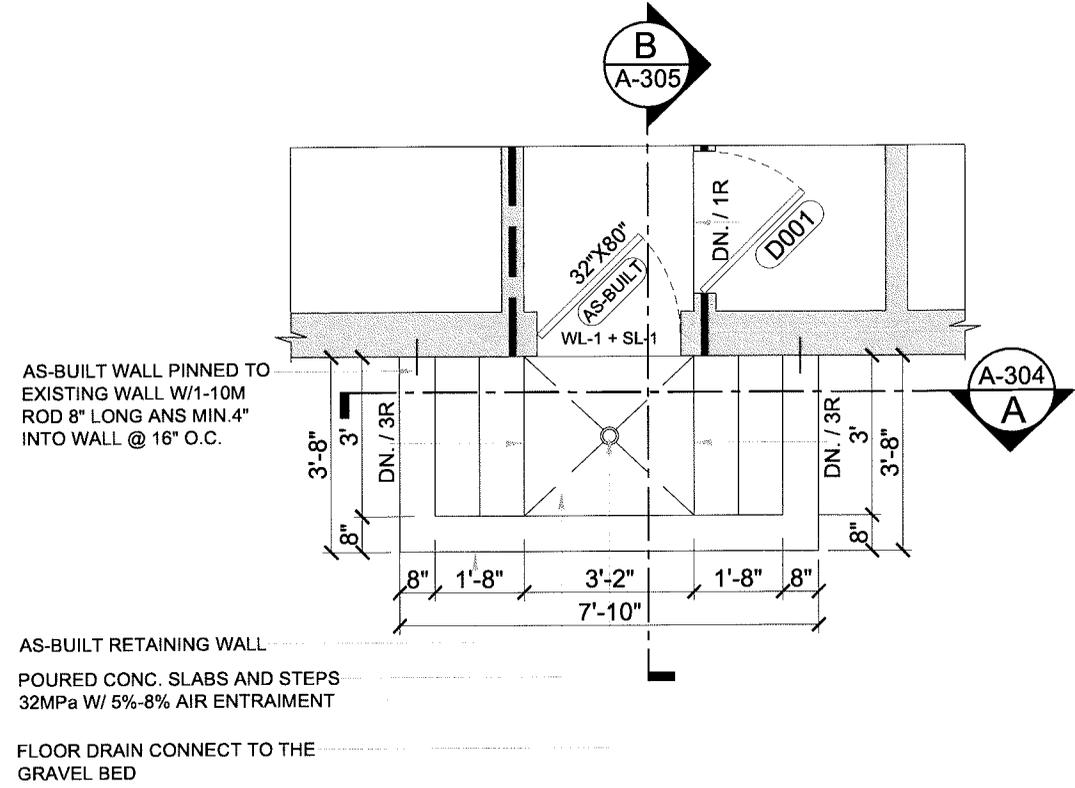
50 COMMODORE
 DRIVE, BRAMPTON

WALKOUT
 DETAILS

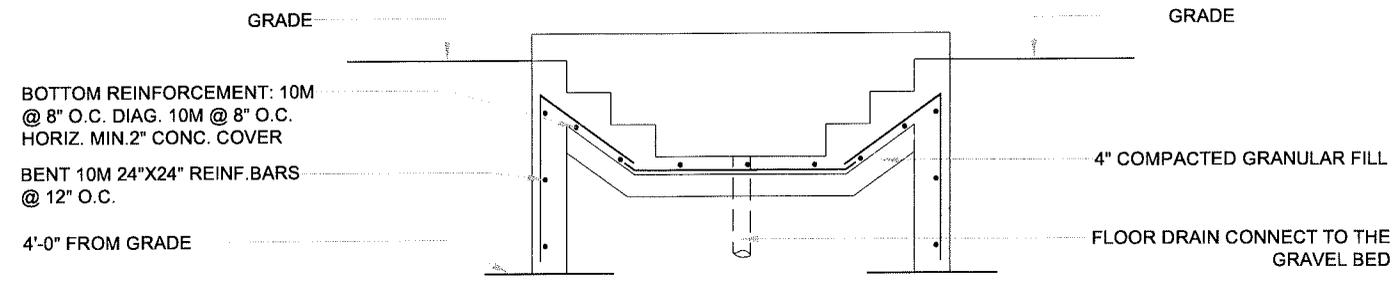
SCALE: 3/8" = 1'-0"
 DATE: 2024.02.01
 PROJECT: 24-514
 DRAWING NO:

A-304

REVISION: 00



1
 A-304 WALK-OUT PLAN
 SCALE: 3/8" = 1'-0"



1
 A-304 WALK-OUT SECTION - A
 SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. FOOTING

FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 KPa

2. HANDRAILS

HANDRAILS SHOULD BE BETWEEN 34 TO 38 ABOVE THE TREAD AT THE LEADING EDGE LINE 2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WINDER

3. EXTERIOR

7 7/8" RISER MAXIMUM 4 7/8" MINIMUM
10" RUN MINIMUM 14" MAXIMUM
10" TREAD MINIMUM 14" MAXIMUM

4. RETAINING WALL

10" POURED CONCRETE WALL DOES NOT REQUIRED REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @12" O.C. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 4'-7"

5. GUARDS (PRE-ENGINEERED)

42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS, MAXIMUM 4" BETWEEN VERTICAL PICKETS

6. LIGHT

ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT

7. EXTERNAL DOOR

EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3 INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOOR SHALL CONFORM TO THE MANUFACTURERS INSTRUCTIONS
ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING

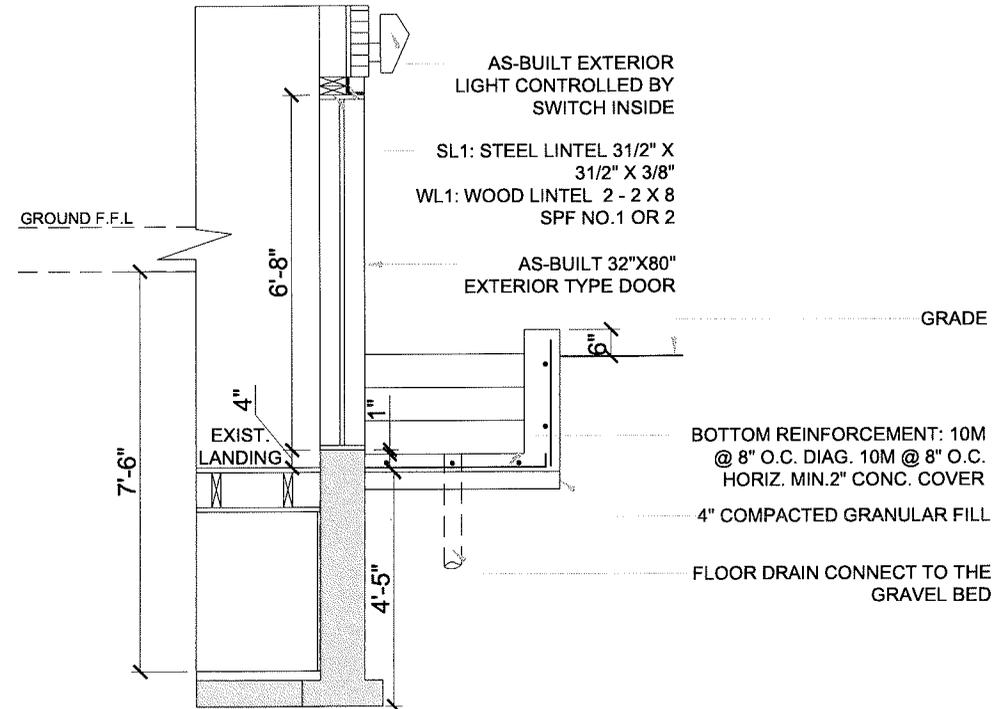
8. INSULATION DETAILS

RIGID INSULATION TO HAVE FOLLOWING SPECIFICATION

- STYROFOAM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
- RSI VALUE 0.87/25MM [R-5 PER 1 INCH]
- BOARD SIZE : AS INDICATED ON DRAWINGS]
- COMPRESSIVE STRENGTH : 210 KPa
- DRAINING CAPACITY > 0.72 M3/ HR/ M

9. INSULATION FINISHING

INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4FT ABOVE FOOTING
INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 21 1/2" GALVANIZED J TRACK ON SECURE AND PROTECT ALL EXPOSED EDGES ALL JOINTS TO THE EXISTING WALL NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH



1 SECTION - B
A-305 SCALE : 3/8" = 1'-0"

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NO	DATE	REVISION / ISSUED
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01	2024 02 01	PERMIT APPLICATION

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ARCHITECT	

OWNER
Ravi Kondapalli

ARCHITECT
C-Architecture Ltd

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SEAL



ALTERATIONS (SU)

50 COMMODORE DRIVE, BRAMPTON

WALKOUT DETAILS

SCALE: 3/8" = 1'-0"
DATE: 2024.02.01
PROJECT: 24-514
DRAWING NO:

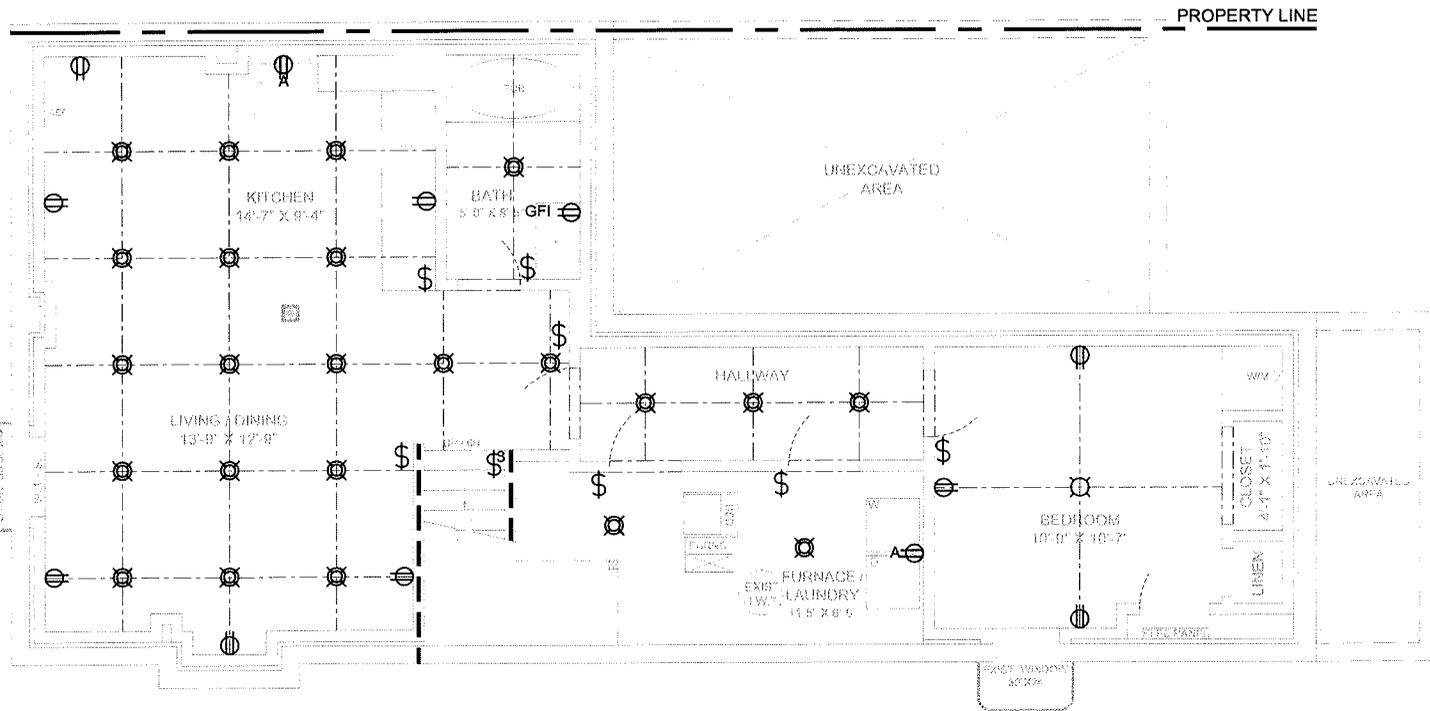
A-305

REVISION: 00

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SEAL



ALTERATIONS
(SU)

50 COMMODORE
DRIVE, BRAMPTON

BASEMENT -
ELECTRICAL
LAYOUT

SCALE: 3/16" = 1'-0"

DATE: 2024.02.01

PROJECT: 24-514

DRAWING NO:

E-101

REVISION: 00

1 BASEMENT - ELECTRICAL LAYOUT
E-101 SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOL :

- \$ 3 OR 4 WAY SWITCH
- \$₃ E EXISTING
- \$₄ N NEW
- ⊕ 15A, 120V DUPLEX RECEPTACLE
- ⊕ C/W WHITE COVER PLATE
- ⊕ GFI- GROUND FAULT TYPE
- ⊕ WP- WEATHERPROOF COVER
- C - ABOVE COUNTER

ELECTRICAL SYMBOL :

- ⊕ A RECEPTACLE 50A, 208V, STOVE OR DRYER OUTLET.
- ⊕ EXHAUST FAN
- ⊕ FD: FLOOR DRAIN
- ⊕ SPRINKLER
- ⊕ EMERGENCY LIGHT
- ⊕ SD: SMOKE ALARM W/ STROBE LIGHT
- ⊕ CO: CARBON MONOXIDE ALARM
- ⊕ LIGHT
- ⊕ POT LIGHT

ELECTRICAL NOTES

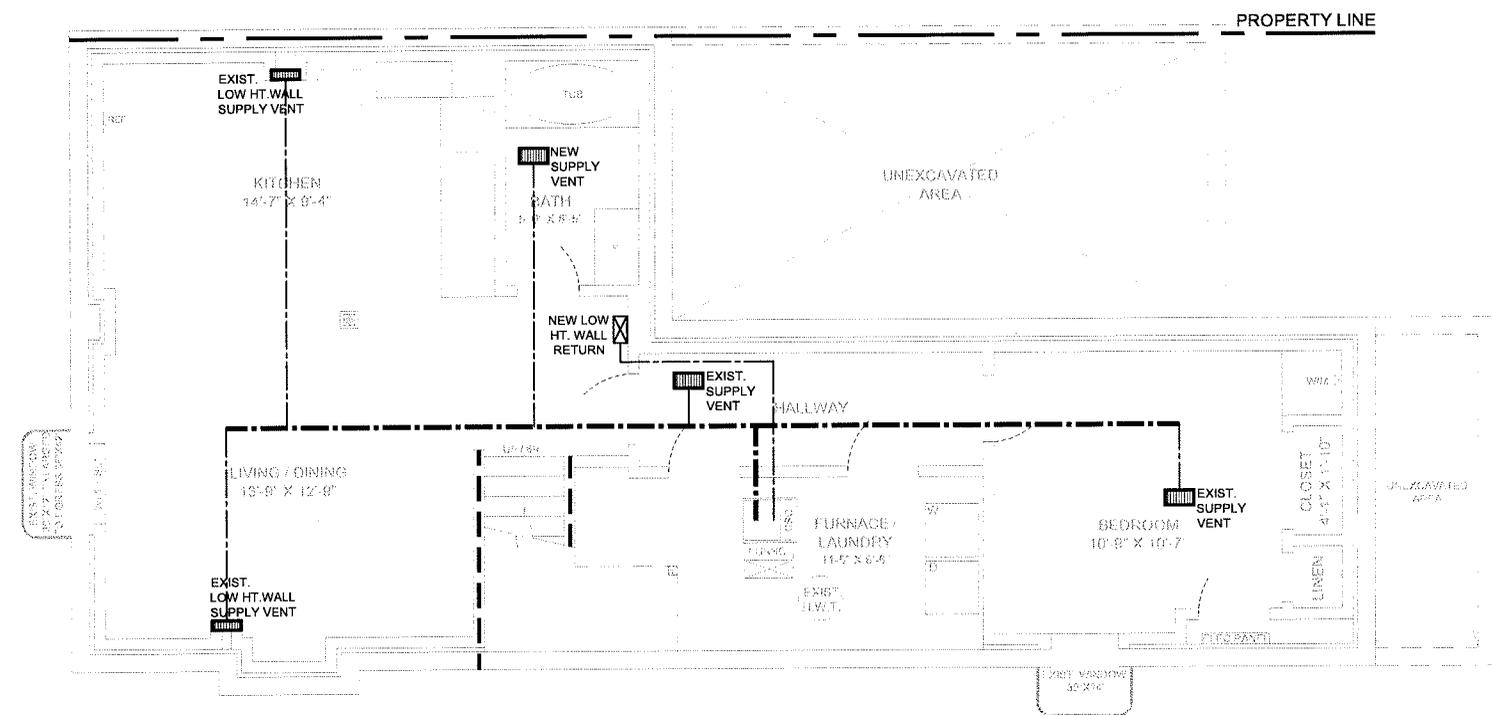
LOCATIONS OF ELECTRICAL ITEMS ARE APPROXIMATE,
ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

WHERE PENETRATING FIRE SEPARATION FOR POT
LIGHT FIXTURES, USE FIRE RATED POT LIGHTS OR
PROVIDE FIRE RATED ENCLOSURE BEHIND LIGHT
FIXTURE TO ENSURE CONTINUITY OF FIRE SEPARATION

RELEASED FOR BUILDING PERMIT
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SEAL



ALTERATIONS
 (SU)

50 COMMODORE
 DRIVE, BRAMPTON

BASEMENT -
 MECHANICAL
 LAYOUT

SCALE: 3/16" = 1'-0"

DATE: 2024.02.01

PROJECT: 24-514

DRAWING NO:

M-101

REVISION: 00

1 BASEMENT - MECHANICAL LAYOUT
 M-101 SCALE: 3/16" = 1'-0"

MECHANICAL NOTES

LOCATIONS OF MECHANICAL ITEMS ARE APPROXIMATE, ACTUAL LOCATION MAY VARY AS PER SITE CONDITIONS

DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION

LOCATION OF SMOKE ALARMS AS PER O.B.C.DIV B. SEC 9.10.19.3

- (1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT,
 - A. THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENT AND,
 - B. ON ANY STOREY OF A DWELLING CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED
 - i. IN EACH ROOM AND,
 - ii. IN A LOCATION BETWEEN THE SLEEPING ROOM AND THE REMINDER OF THE STOREY AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHOULD BE LOCATED IN THE HALLWAY.

- (1) PROVIDE SUPPLY AIR REGISTER (OBC DIV. B.9.33.1(1). REGISTER SHALL BE LOCATED WITHIN 4' OF OUTSIDE WALL (7.6 HRAI DIGEST REQUIREMENTS)
- (2) THE RETURN AIR GRILLE SHALL BE INSTALLED NEAR FLOOR LEVEL (7.7 HRAI DIGEST REQUIREMENTS). UNDERCUT BY MIN 1. THE DOOR TO ANY ROOM WITHOUT RETURN AIR GRILLE
- (3) CLOTHES DRYER EXHAUST SHALL COMPLY WITH OBC DIV. B.8.2.4.11 REQUIREMENTS
- (4) SEPARATE ANY INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES, ETC. BY MIN 900MM (2'11") . OBC DIV B.9.32.3.12. ENSURE ADEQUATE VENTILATION & COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE, PER MANUFACTURER'S REQUIREMENTS.

Zoning Non-compliance Checklist

File No.

A - 2024-0097

Applicant: Arshad Siddiqui

Address: 50 Commodore Dr

Zoning: R2A-1301

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE	To permit an existing exterior stairway leading to a below grade entrance in a required side yard,	whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard.	10.23.1
BELOW GRADE ENTRANCE	To permit an interior side yard setback of 0.18m to an existing exterior stairway leading to a below grade entrance,	whereas the by-law requires a minimum interior side yard setback of 1.2m.	10.23.2
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/03/01

Date